

KEYED NOTES

1. HEADER CURB PER DETAIL 4/C-3.
2. STANDARD C&G PER DETAIL 5/C-3.
3. VALLEY GUTTER PER DETAIL 6/C-3.
4. CONCRETE TURNDOWN PER DETAIL 7/C-3.
5. ASPHALT PAVEMENT PER DETAIL 9/C-3.
6. 12" THICK LAYER OF 6" DIA. R. RIPRAP ON MIRAFI 140N FILTER FABRIC (OR APPROVED EQUAL).
7. 5' TRANSITION FROM CURB PER GRADING PLAN TO MOUNTABLE CURB AND GUTTER WITHIN CURVE.
8. MOUNTABLE C&G PER DETAIL 10/C-3.

DRAINAGE EASEMENT

A PERMANENT DRAINAGE EASEMENT TO SERVE TRACT A-26-A2A-1 OVER TRACT A-26-A2A-2 IS GRANTED BY PLAT TRACT A-26-A2A-2 WILL ACCEPT ALL DEVELOPED RUNOFF FROM TRACT A-26-A2A-1 AND PROVIDE A ROUTE THROUGH TRACT A-26-A2A-2 TO A DISCHARGE POINT ACCEPTABLE TO THE CITY OF ALBUQUERQUE. MAINTENANCE OF SAID ROUTE AND DISCHARGE POINT SHALL BE THE RESPONSIBILITY OF THE OWNER OF TRACT A-26-A2A-1 UNTIL SUCH TIME AS TRACT A-26-A2A-2 IS DEVELOPED AT WHICH TIME MAINTENANCE OF THE MAINTENANCE OF THE DRAINAGE ROUTE WILL REVERT TO THE OWNER TRACT A-26-A2A-2.

LEGAL DESCRIPTION

Tract A-26-A2A-1, TOWN OF ATRISCO GRANT, City of Albuquerque, Bernalillo County, New Mexico.

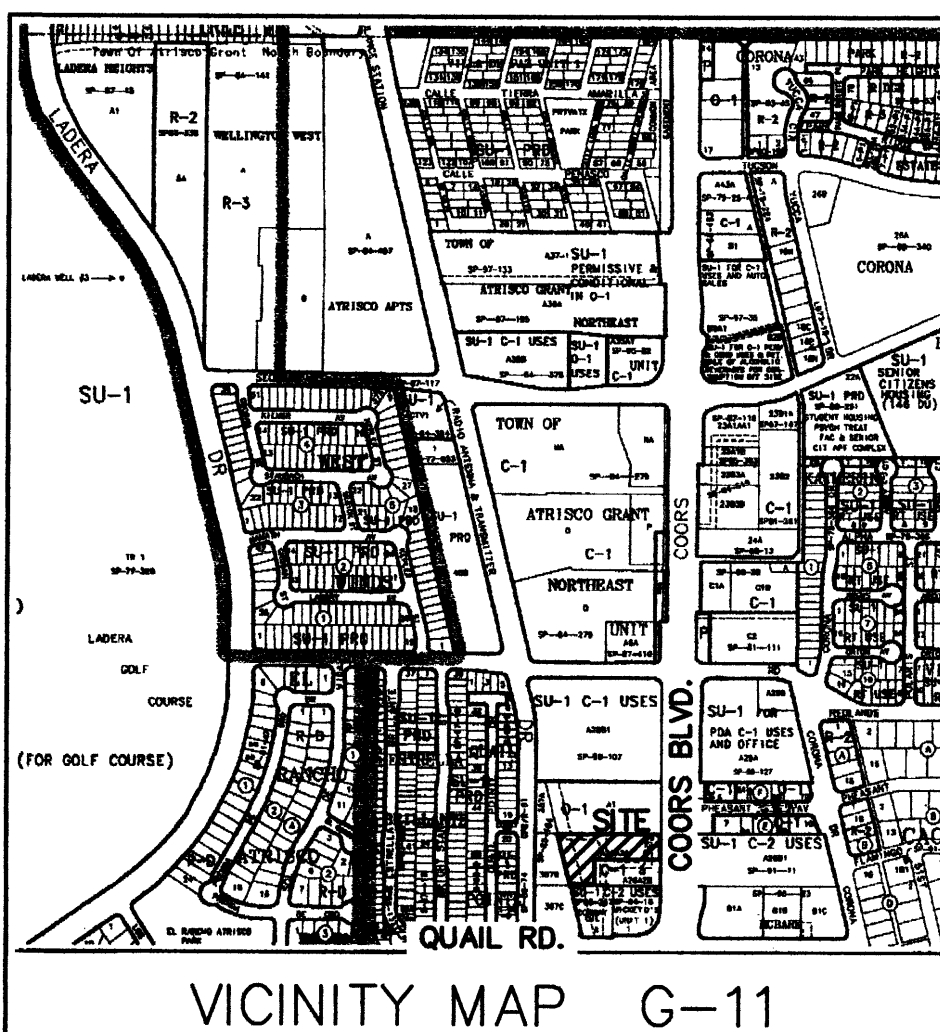
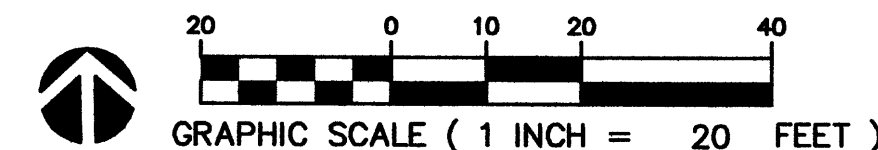
SURVEY NOTES AND BENCHMARK

1. Project coordinates are modified New Mexico State Plane Surface Coordinates, Central Zone, (NAD 1927) and are based on the Albuquerque Control Survey Monument "12-H11" having the following published values:
Y= 1497456.42 X= 365168.46 (NAD 1927)
Ground to Grid Factor = 0.99967688
Elevation= 5102.17 feet (NAVD 1929)
2. Elevations were derived from the Albuquerque Control Survey Monument "12-H11" having an elevation of 5102.17 feet, (NAVD 1929).
3. Contour interval is one foot.
4. This survey does not constitute a boundary survey. No property corners were set by this survey.
5. Field surveys were performed during the month of October, 2001.
6. The locations of existing underground utilities as shown hereon are APPROXIMATE and were derived from As-Built Drawings and surface indications either spotted by the respective utility companies or apparent by visual observation. All utilities should be field verified and spotted by the contractor(s) prior to commencement of any construction.
7. No title report was provided for this property. Any possible easements, conditions or restrictions that may be disclosed by such a report are not shown on this survey.

DRAINAGE CERTIFICATION

I, Larry D. Read, NMPE 10998, of the firm Larry Read & Associates, Inc., hereby certify that this project has been graded and will drain in substantial compliance with and in accordance with the design intent of the approved plan dated 9/8/04. The record information edited onto the original design document has been obtained by Larry D. Read, NMPE 10998, of the firm Larry Read & Associates, Inc. I further certify that I have personally visited the project site on 12/30/2004 and have determined by visual inspection that the survey data provided is representative of actual site conditions and is true and correct to the best of my knowledge and belief. This certification is submitted in support of a request for Certificate of Occupancy.

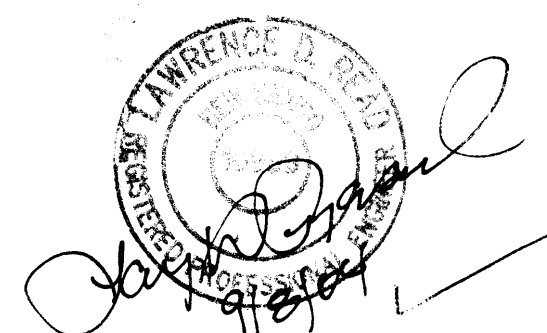
The record information presented hereon is not necessarily complete and intended only to verify substantial compliance of the Grading and Drainage aspects of this project. Those relying on this record document are advised to obtain independent verification of its accuracy before using it for any other purpose.



T A T E F I S H B U R N
A R C H I T E C T

ARCHITECT SEAL

ENGINEER SEAL



PROJECT

NEW CAR WASH FACILITY

COORS BLVD. & QUAIL RD., NW
ALBUQUERQUE, NEW MEXICO

REVISIONS

DATE August 25, 2003

NORTH SCALE

1"=20'

DRAWING NAME

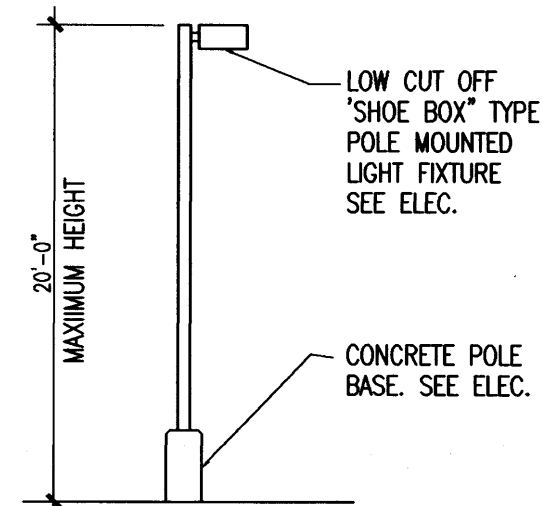
GRADING PLAN

SHEET NUMBER

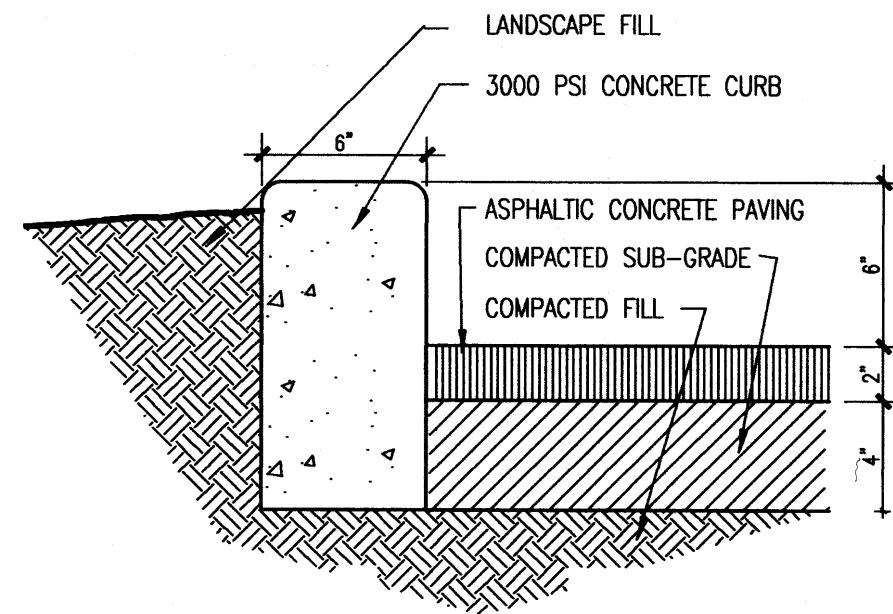
C-2

LARRY READ & ASSOCIATES
Civil Engineers
4800-C Juan Tabo, NE
Albuquerque, New Mexico 87111
(505) 237-8421

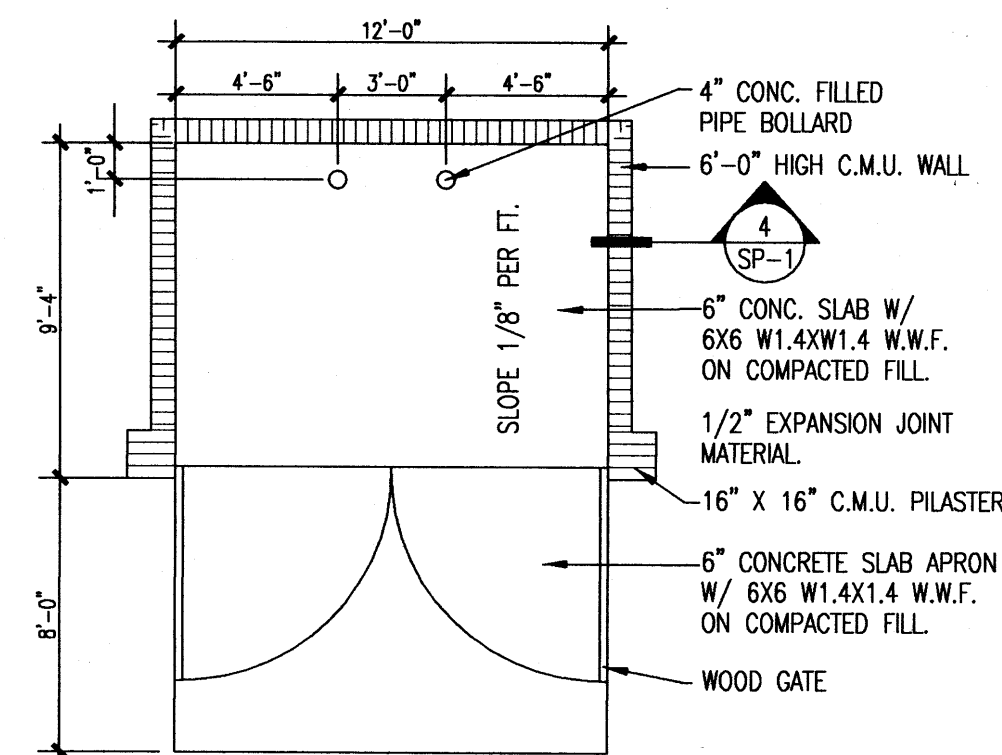




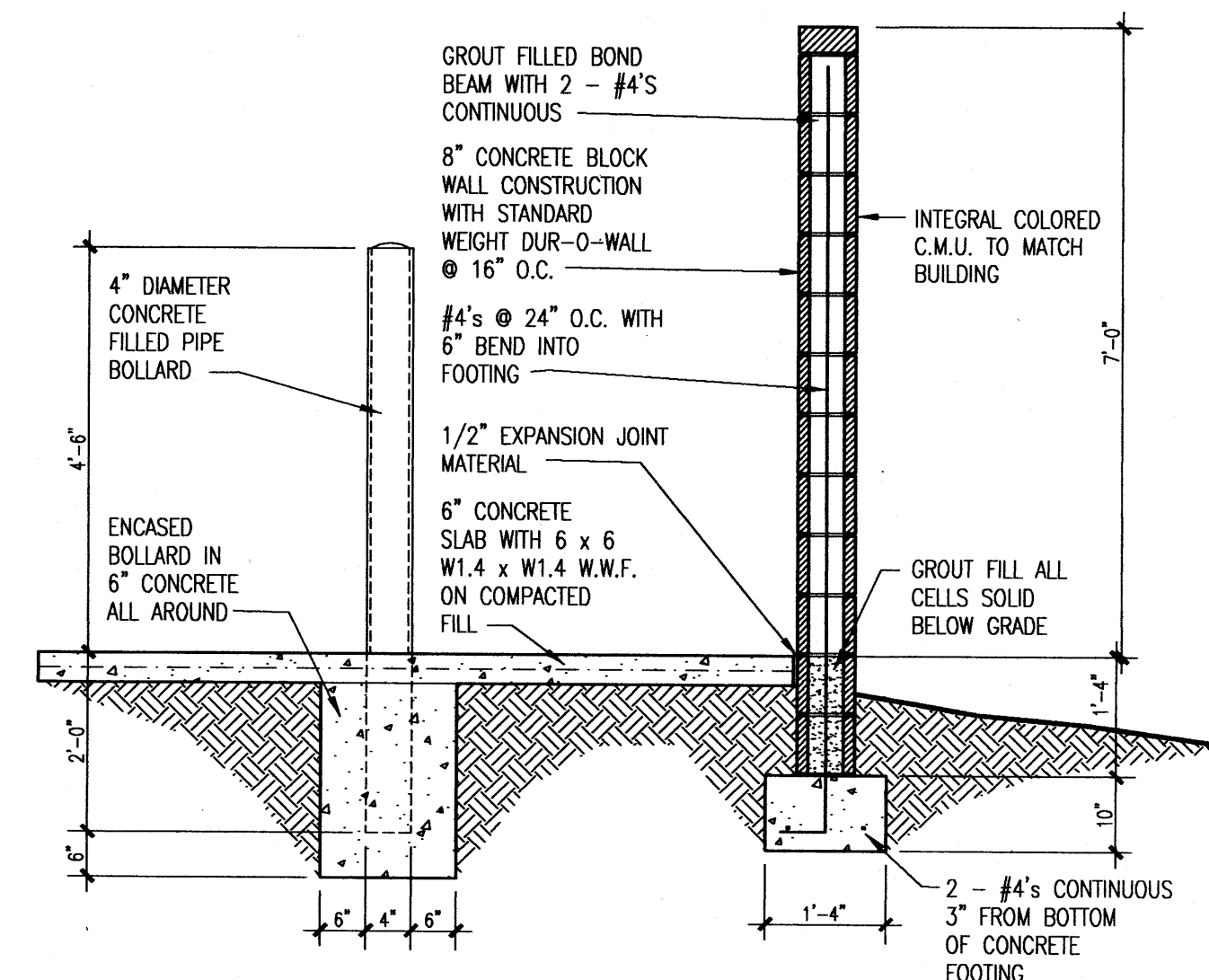
5 TYP. POLE LIGHT
1/8"=1'-0"



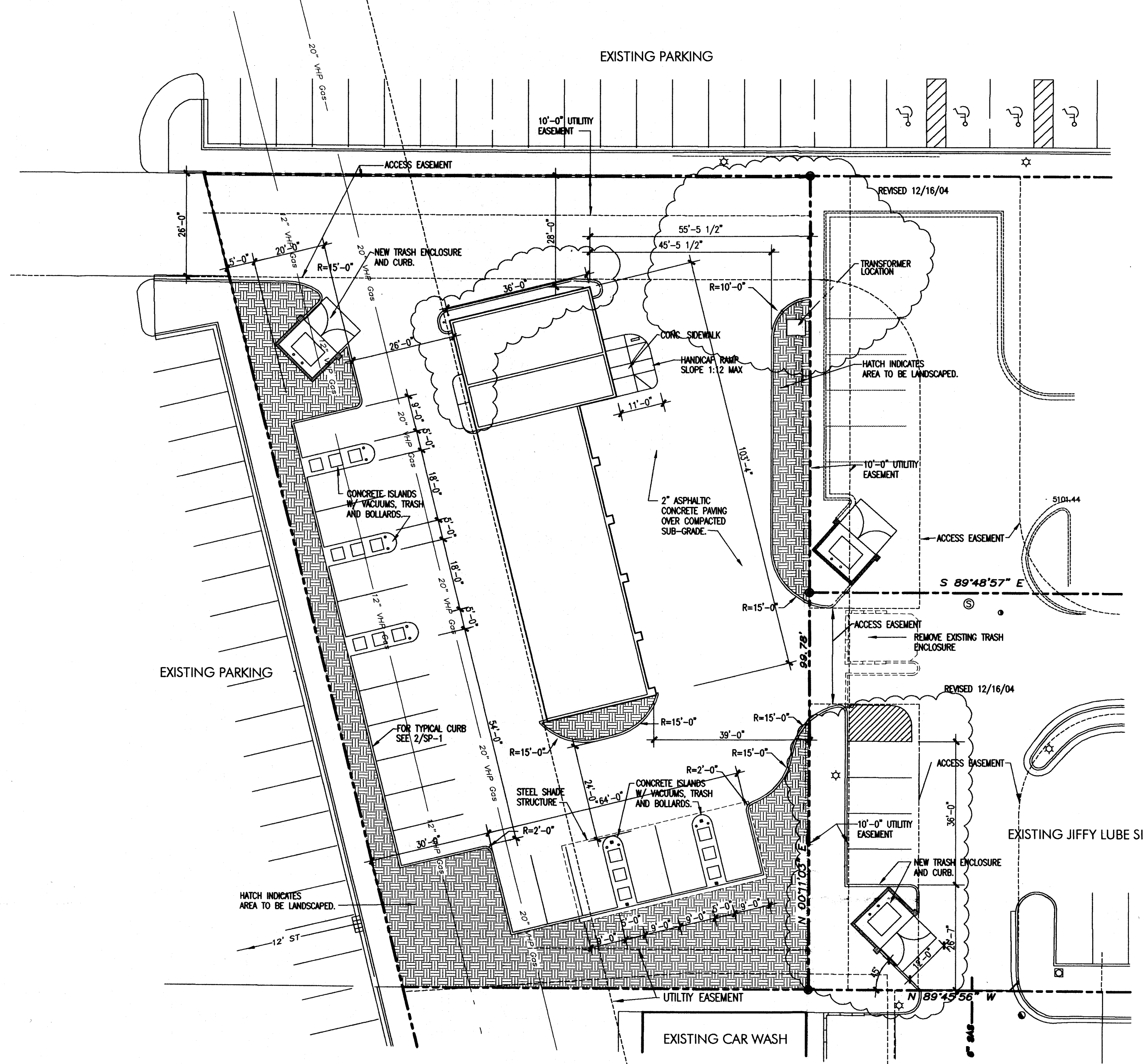
2 TYPICAL CURB DETAIL
1-1/2"=1'-0"



3 TRASH ENCLOSURE
3/16"=1'-0"



4 SECTION THRU ENCLOSURE WALL
1/2"=1'-0"



1 SITE PLAN
1"=20'-0"

PROJECT INFORMATION

PROJECT: NEW SELF-SERVE CAR WASH
LOCATION: 2923 COORS BLVD., N.W.
OWNER: PURPLE SAGE, LLC
20 VISTA SANDIA CT.
PLACITAS, NM 87043 867-3167

ARCHITECT: TATE FISHBURN ARCHITECT
LEGAL DESCRIPTION: TRACT A-26-A2A-1
TOWN OF ATRISCO GRANT
ZONE ATLAS H-11-Z

CURRENT ZONING CLASSIFICATION: C-1

TYPE CONSTRUCTION: TYPE VN

OCCUPANCY: B

ALLOWABLE AREA:

TYPE V-N CONSTRUCTION & B OCCUPANCY = 8,000

GROSS BUILDING AREA: 2,880 S.F.

NET BUILDING AREA: 264 S.F.

OCCUPANT LOAD: 264/100 = 3 OCCUPANTS

EXIT WIDTH REQUIRED: 1 INCH

EXIT WIDTH PROVIDED: 36 INCHES

NUMBER OF EXITS PROVIDED: ONE TOTAL

TOTAL LOT AREA: .59 ACRES +/-

PARKING ANALYSIS: NET AREA = 264

264 / 200 = 2 REQUIRED SPACES

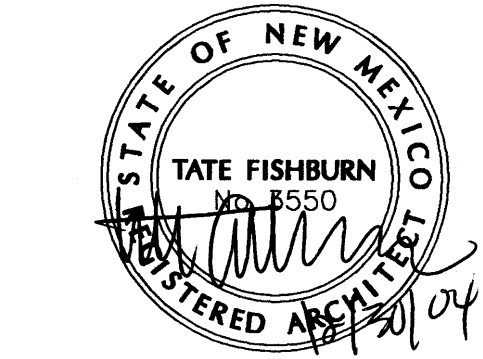
SPACES REQUIRED = 2

SPACES PROVIDED = 17 SPACES

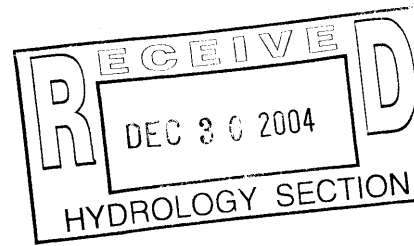
SEISMIC ZONE: 2B

TATE FISHBURN
ARCHITECT

ARCHITECT SEAL



ENGINEER SEAL



PROJECT

TRAFFIC CIRCULATION LAYOUT
NEW CAR WASH FACILITY
2923 COORS BLVD., NW
ALBUQUERQUE, NEW MEXICO

REVISIONS

DATE: DECEMBER 30, 2004

NORTH SCALE



DRAWING NAME

SITE PLAN

SHEET NUMBER

1

SP-1

GENERAL CONSTRUCTION NOTES

GENERAL

CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL REQUIRED CONSTRUCTION PERMITS, INCLUDING A TOP SOIL DISTURBANCE PERMIT, PRIOR TO START OF CONSTRUCTION.

ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE, AND LOCAL LAWS, ORDINANCES, AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.

REFERENCES MADE TO STANDARD SPECIFICATIONS AND STANDARD DRAWINGS REFER TO THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1986 EDITION WITH ALL UPDATES.

THE CONTRACTOR SHALL NOT INSTALL ITEMS AS SHOWN ON THESE PLANS WHEN IT IS OBVIOUS THAT FIELD CONDITIONS ARE DIFFERENT THAN SHOWN IN THE PLANS. SUCH CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER IN A TIMELY MANNER. IN THE EVENT THE CONTRACTOR DOES NOT NOTIFY THE ENGINEER IN A TIMELY MANNER, THE CONTRACTOR ASSUMES FULL RESPONSIBILITY AND EXPENSE FOR ANY REVISIONS NECESSARY, INCLUDING ENGINEERING DESIGN FEES.

EXISTING SITE IMPROVEMENTS WHICH ARE DAMAGED OR DISPLACED BY THE CONTRACTOR SHALL BE REMOVED AND REPLACED BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE. REPAIRS SHALL BE APPROVED BY THE OWNER PRIOR TO CONSTRUCTION OF THE REPAIRS. REPAIRS SHALL BE ACCEPTED BY THE OWNER PRIOR TO FINAL PAYMENT.

EXISTING FENCING THAT IS NOT DESIGNATED FOR REMOVAL SHALL NOT BE DISTURBED. ANY FENCING THAT IS DISTURBED OR ALTERED BY THE CONTRACTOR SHALL BE RESTORED TO ITS ORIGINAL CONDITION AT THE CONTRACTOR'S EXPENSE. IF THE CONTRACTOR DESIRES TO REMOVE FENCING TO ACCOMMODATE CONSTRUCTION ACTIVITIES, THE CONTRACTOR SHALL OBTAIN THE OWNER'S WRITTEN PERMISSION BEFORE THE FENCE IS REMOVED. CONTRACTOR SHALL RESTORE THE FENCE TO ITS ORIGINAL CONDITION AT THE EARLIEST OPPORTUNITY. WHILE ANY FENCING IS REMOVED, THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR SECURITY OF THE SITE UNTIL THE FENCE IS RESTORED.

WORK WITHIN ADJACENT RIGHT-OF-WAY

PRIOR TO BEGINNING ANY CONSTRUCTION ACTIVITIES WITHIN ADJACENT RIGHT-OF-WAYS OR WITHIN PROPERTY NOT OWNED BY THE OWNER OF THE PROJECT SITE, THE CONTRACTOR SHALL ASSURE THAT ALL PERMITS AND PERMISSIONS REQUIRED HAVE BEEN OBTAINED IN WRITING.

SURVEY MONUMENTS, PROPERTY CORNERS, BENCHMARKS

THE CONTRACTOR SHALL NOTIFY THE OWNER AT LEAST SEVEN DAYS BEFORE BEGINNING ANY CONSTRUCTION ACTIVITY THAT COULD DAMAGE OR DISPLACE SURVEY MONUMENTS, PROPERTY CORNERS, OR PROJECT BENCHMARKS SO THESE ITEMS MAY BE RELOCATED.

ANY SURVEY MONUMENTS, PROPERTY CORNERS, OR BENCHMARKS THAT ARE NOT IDENTIFIED FOR RELOCATION ARE THE RESPONSIBILITY OF THE CONTRACTOR TO PRESERVE AND PROTECT. RELOCATION OR REPLACEMENT OF THESE ITEMS SHALL BE DONE BY THE OWNER'S SURVEYOR AT THE EXPENSE OF THE CONTRACTOR.

DIMENSIONS

ALL DIMENSIONS TO CURBS ARE TO THE FLOWLINE UNLESS OTHERWISE NOTED.

ALL STATIONING IS TO THE CENTERLINE OF THE RIGHT-OF-WAY UNLESS OTHERWISE NOTED.

ALL SLOPES AND GRADES ARE IN PERCENT UNLESS OTHERWISE NOTED.

CURB ELEVATIONS ARE SHOWN AT THE FLOW LINE UNLESS OTHERWISE NOTED. SEE THE DETAIL SHEET TO DETERMINE THE CURB HEIGHT ABOVE FLOW LINE.

SOILS

UNLESS OTHERWISE SPECIFIED, SUBGRADE, ENGINEERED FILL, AND STRUCTURAL FILL SHALL BE COMPACTED TO THE FOLLOWING SPECIFICATIONS OF THE ASTM D-1557 MAXIMUM DRY DENSITY.

MATERIAL/LOCATION	PERCENT COMPACTION
STRUCTURAL FILL IN THE BUILDING AREA	95%
SUBBASE FOR SLAB SUPPORT	95%
MISCELLANEOUS BACKFILL BELOW STRUCTURAL FILL OR ROADWAY PAVEMENT	95%
MISCELLANEOUS BACKFILL BELOW UNPAVED, NON-BUILDING AREAS	90%
ROADWAY PAVEMENT SUBGRADE	95%
SIDEWALK SUBGRADE	90%
CURB AND GUTTER SUBGRADE	95%

PAVEMENT




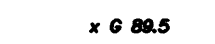





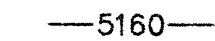




WHEN ABUTTING NEW PAVEMENT TO EXISTING PAVEMENT, CUT EXISTING PAVEMENT EDGE TO A NEAT, STRAIGHT LINE AS NECESSARY TO REMOVE ANY BROKEN OR CRACKED PAVEMENT AND MATCH NEW PAVEMENT ELEVATION TO EXISTING.

ALL UTILITIES AND UTILITY SERVICE LINES SHALL BE INSTALLED AND APPROVED PRIOR TO PAVING.

ALL WATER VALVE BOXES AND ELECTRICAL, TELEPHONE, TELEVISION, AND SEWER MANHOLES IN THE CONSTRUCTION AREA SHALL BE ADJUSTED TO FINISHED GRADE BEFORE PAVING.

WHEN SIDEWALK OR CURB AND GUTTER IS REMOVED, IT SHALL BE REMOVED TO EXISTING CONSTRUCTION JOINTS. CUTTING OR BREAKING SHALL NOT BE ALLOWED.

LEGEND

	EX BLOCK WALL		LIGHT POLE		EX SD INLET
	EX SPOT ELEV.		EX FIRE HYDRANT		CONCRETE
	PROP SPOT ELEV.		EX WATER VALVE		EX WATER METER
	EX BLOCK WALL		EX SD MANHOLE		EXIST. TREE
	TRANSFORMER		EX SAS MANHOLE		

UTILITIES

IF ANY UTILITY LINES, PIPELINES, OR UNDERGROUND UTILITY LINES ARE SHOWN ON THESE DRAWINGS, THEY ARE SHOWN IN AN APPROXIMATE LOCATION ONLY BASED ON THE INFORMATION PROVIDED TO THE ENGINEER BY OTHERS. THIS INFORMATION MAY BE INACCURATE OR INCOMPLETE. ADDITIONALLY, UNDERGROUND LINES MAY EXIST THAT ARE NOT SHOWN. THE CONTRACTOR SHALL VERIFY THE LOCATION OF ANY UTILITY LINE, PIPELINE, OR UNDERGROUND UTILITY LINE IN OR NEAR THE AREA OF THE WORK IN ACCORDANCE WITH CHAPTER 62, ARTICLE 14-1, THROUGH 14-8, NMSA 1978.

THE CONTRACTOR SHALL CONTACT THE STATEWIDE UTILITY LOCATOR SERVICE AT 1-800-321-2537 AT LEAST TWO WORKING DAYS BEFORE BEGINNING CONSTRUCTION. AFTER THE UTILITIES ARE SPOTTED, THE CONTRACTOR SHALL EXPOSE ALL PERTINENT UTILITIES TO VERIFY THEIR VERTICAL AND HORIZONTAL LOCATION. IF A CONFLICT EXISTS BETWEEN EXISTING UTILITIES AND PROPOSED CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH MINIMAL DELAY.

THE CONTRACTOR SHALL EXERCISE DUE CARE TO AVOID DISTURBING ANY EXISTING UTILITIES, ABOVE OR BELOW GROUND. UTILITIES THAT ARE DAMAGED BY CARELESS CONSTRUCTION SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE.

EXISTING VALVES SHALL ONLY BE OPERATED BY THE UTILITY COMPANY. CONTRACTOR SHALL NOTIFY THE UTILITY A MINIMUM OF TWO WORKING DAYS BEFORE ANY VALVE, NEW OR EXISTING, NEEDS TO BE OPERATED.

THE CONTRACTOR SHALL COORDINATE ANY REQUIRED UTILITY INTERRUPTIONS WITH THE OWNER AND AFFECTED UTILITY COMPANY A MINIMUM OF THREE WORKING DAYS BEFORE THE INTERRUPTION.

THE CONTRACTOR SHALL MAINTAIN A RECORD DRAWING SET OF PLANS AND PROMPTLY LOCATE ALL UTILITIES, EXISTING OR NEW, IN THEIR CORRECT LOCATION, HORIZONTAL AND VERTICAL. THIS RECORD SET OF DRAWINGS SHALL BE MAINTAINED ON THE PROJECT SITE AND SHALL BE AVAILABLE TO THE OWNER AND ENGINEER AT ANY TIME DURING CONSTRUCTION.

EROSION CONTROL, ENVIRONMENTAL PROTECTION, AND STORM WATER POLLUTION PREVENTION PLAN

THE CONTRACTOR SHALL CONFORM TO ALL CITY, COUNTY, STATE, AND FEDERAL DUST AND EROSION CONTROL REGULATIONS. THE CONTRACTOR SHALL OBTAIN AND PREPARE ANY DUST CONTROL OR EROSION CONTROL PERMITS REQUIRED FROM THE REGULATORY AGENCIES.

THE CONTRACTOR SHALL PROMPTLY REMOVE ANY MATERIAL EXCAVATED WITH THE PUBLIC RIGHT-OF-WAY OR ADJACENT PROPERTY TO KEEP IT FROM WASHING OFF THE PROJECT SITE.

THE CONTRACTOR SHALL ENSURE THAT NO SOIL ERODES FROM THE SITE ONTO ADJACENT PROPERTY BY CONSTRUCTION OF TEMPORARY EROSION CONTROL BERMS OR INSTALLING SILT FENCES AT THE PROPERTY LINES AND WETTING THE SOIL TO PREVENT IT FROM BLOWING.

WATERING, AS REQUIRED FOR CONSTRUCTION DUST CONTROL, SHALL BE CONSIDERED INCIDENTAL TO CONSTRUCTION AND NO MEASUREMENT OR PAYMENT SHALL BE MADE. CONSTRUCTION AREAS SHALL BE WATERED FOR DUST CONTROL IN COMPLIANCE WITH GOVERNMENT ORDINANCES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING AND SUPPLYING WATER AS REQUIRED.

ANY AREAS DISTURBED BY CONSTRUCTION AND NOT COVERED BY LANDSCAPING OR IMPERVIOUS SURFACES SHALL BE REVEGETATED WITH RECLAMATION SEEDING.

THE CONTRACTOR SHALL PROPERLY HANDLE AND DISPOSE OF ALL ASPHALT REMOVED ON THE PROJECT BY HAULING IT TO AN APPROVED DISPOSAL SITE IN ACCORDANCE WITH THE REQUIREMENTS OF THE NEW MEXICO SOLID WASTE ACT.

ALL WASTE PRODUCTS FROM THE CONSTRUCTION SITE, INCLUDING ITEMS DESIGNED FOR REMOVAL, CONSTRUCTION WASTE, CONSTRUCTION EQUIPMENT WASTE PRODUCTS (OIL, GAS, TIRES, ETC.), GARBAGE, GRUBBING, EXCESS CUT MATERIAL, VEGETATIVE DEBRIS, ETC., SHALL BE APPROPRIATELY DISPOSED OF OFFSET AT NO ADDITIONAL COST TO THE OWNER. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN ANY PERMITS REQUIRED FOR HAUL OR DISPOSAL OF WASTE PRODUCTS. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT THE WASTE DISPOSAL SITE COMPLIES WITH GOVERNMENT REGULATIONS REGARDING THE ENVIRONMENT, ENDANGERED SPECIES, AND ARCHAEOLOGICAL RESOURCES.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CLEANUP AND REPORTING OF SPILLS OF HAZARDOUS MATERIALS ASSOCIATED WITH THE CONSTRUCTION SITE. HAZARDOUS MATERIALS INCLUDE GASOLINE, DIESEL FUEL, MOTOR OIL, SOLVENTS, CHEMICALS, PAINT, ETC. WHICH MAY BE A THREAT TO THE ENVIRONMENT. THE CONTRACTOR SHALL REPORT THE DISCOVERY OF PAST OR PRESENT SPILLS TO THE NEW MEXICO EMERGENCY RESPONSE AT 1-800-219-6157.

THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE REGULATIONS CONCERNING SURFACE AND UNDERGROUND WATER. CONTACT WITH SURFACE WATER BY CONSTRUCTION EQUIPMENT AND PERSONNEL SHALL BE MINIMIZED. EQUIPMENT MAINTENANCE AND REFUELING OPERATIONS SHALL BE PERFORMED IN AN ENVIRONMENTALLY SAFE MANNER IN COMPLIANCE WITH GOVERNMENT REGULATIONS.

THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE REGULATIONS CONCERNING CONSTRUCTION NOISE AND HOURS OF OPERATION.

ACCESSIBLE FACILITIES

ALL SURFACES ALONG ACCESSIBLE ROUTES AND FOR HANDICAP RAMPS SHALL BE STABLE FIRM, SLIDE RESISTANT AND SHALL COMPLY WITH UNIFORM FEDERAL ACCESSIBILITY STANDARDS, PARAGRAPH 4.5.

LONGITUDINAL SLOPES ALONG ACCESSIBLE ROUTE SIDEWALKS, EXCEPT AT HANDICAP RAMPS, SHALL NOT BE STEEPER THAN 1:20. CROSS SLOPES ALONG ACCESSIBLE ROUTE SIDEWALKS EXCEPT AT HANDICAP RAMPS, SHALL NOT BE STEEPER THAN 1:48. SLOPES IN ACCESSIBLE PARKING SPACES, ACCESS AISLES, AND PASSENGER LOADING ZONES SHALL NOT BE STEEPER THAN 1:48 IN ALL DIRECTIONS.

THE SITE SHALL COMPLY WITH ANSI A117.1-1992, "ACCESSIBLE AND USABLE BUILDINGS AND FACILITIES".

TRAFFIC CONTROL

THE CONTRACTOR SHALL PROVIDE ALL REQUIRED TRAFFIC CONTROL PLANS. ALL SIGNS, BARRICADES, CHANNELIZATION DEVICES, SIGN FRAMES AND ERECTION OF SUCH DEVICES SHALL CONFORM TO THE REQUIREMENTS OF "MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS" LATEST EDITION. PRIOR TO CONSTRUCTION, TRAFFIC CONTROL PLANS SHALL BE APPROVED BY THE GOVERNING AUTHORITY.

ABBREVIATIONS

BM	=	BENCHMARK
CATV	=	CABLE TELEVISION LINE
CO	=	CLEANOUT
COA	=	CITY OF ALBUQUERQUE
CONC	=	CONCRETE
CL	=	CENTERLINE
DIA	=	DIAMETER
DTL	=	DETAIL
DWG	=	DRAWING
E	=	ELECTRIC LINE
ELEC.	=	ELECTRIC
ELEV	=	ELEVATION
EX	=	EXISTING
FF	=	FINISHED FLOOR ELEVATION
FG	=	FINISHED GRADE
FH	=	FIRE HYDRANT
FL	=	FLOW LINE
G	=	GAS PIPE
GM	=	GAS METER
GV	=	GATE VALVE
INV	=	INVERT ELEVATION
LF	=	LINEAL FEET
LP	=	LIGHT POLE
L/S	=	LANDSCAPING
MH	=	MANHOLE
NG	=	NATURAL GROUND
OE	=	OVERHEAD ELECTRIC LINE
OT	=	OVERHEAD TELEPHONE LINE
PCC	=	PORTLAND CEMENT CONCRETE
PP	=	POWER POLE
PROP	=	PROPOSED
PVC	=	POLYVINYL CHLORIDE PIPE
RCP	=	REINFORCED CONCRETE PIPE
R/W	=	RIGHT-OF-WAY
S	=	SLOPE
SAS	=	SANITARY SEWER
SD	=	STORM DRAIN
STA	=	STATION
STD	=	STANDARD
SW	=	SIDEWALK
T	=	TELEPHONE
TA	=	TOP OF ASPHALT PAVEMENT
TC	=	TOP OF CONCRETE SLAB (PAVEMENT)
TCC	=	TOP OF CONCRETE CURB
TG	=	TOP OF GRATE
TS	=	TOP OF SIDEWALK
TW	=	TOP OF WALL
TYP	=	TYPICAL
UE	=	UNDERGROUND ELECTRIC
UT	=	UNDERGROUND TELEPHONE
W	=	WATER
WM	=	WATER METER
WV	=	WATER VALVE

T A T E F I S H B U R N
A R C H I T E C T

ARCHITECT SEAL

ENGINEER SEAL



PROJECT

NEW CAR WASH FACILITY

COORS BLVD. & QUAIL RD., NW
ALBUQUERQUE, NEW MEXICO

REVISIONS

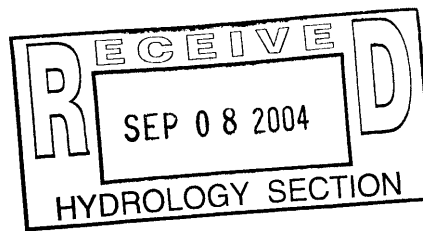
DATE August 25, 2003

NORTH SCALE 1"=20'

DRAWING NAME

GENERAL NOTES

SHEET NUMBER



LARRY READ & ASSOCIATES
Civil Engineers
4800-C Juan Tabo, NE
Albuquerque, New Mexico 87111
(505) 237-8421

C-1



NEW CAR WASH FACILITY

COORS BLVD. & QUAIL RD., NW
ALBUQUERQUE, NEW MEXICO

REVISIONS

DATE August 25, 2003

SCALE

NORTH
1"=20'

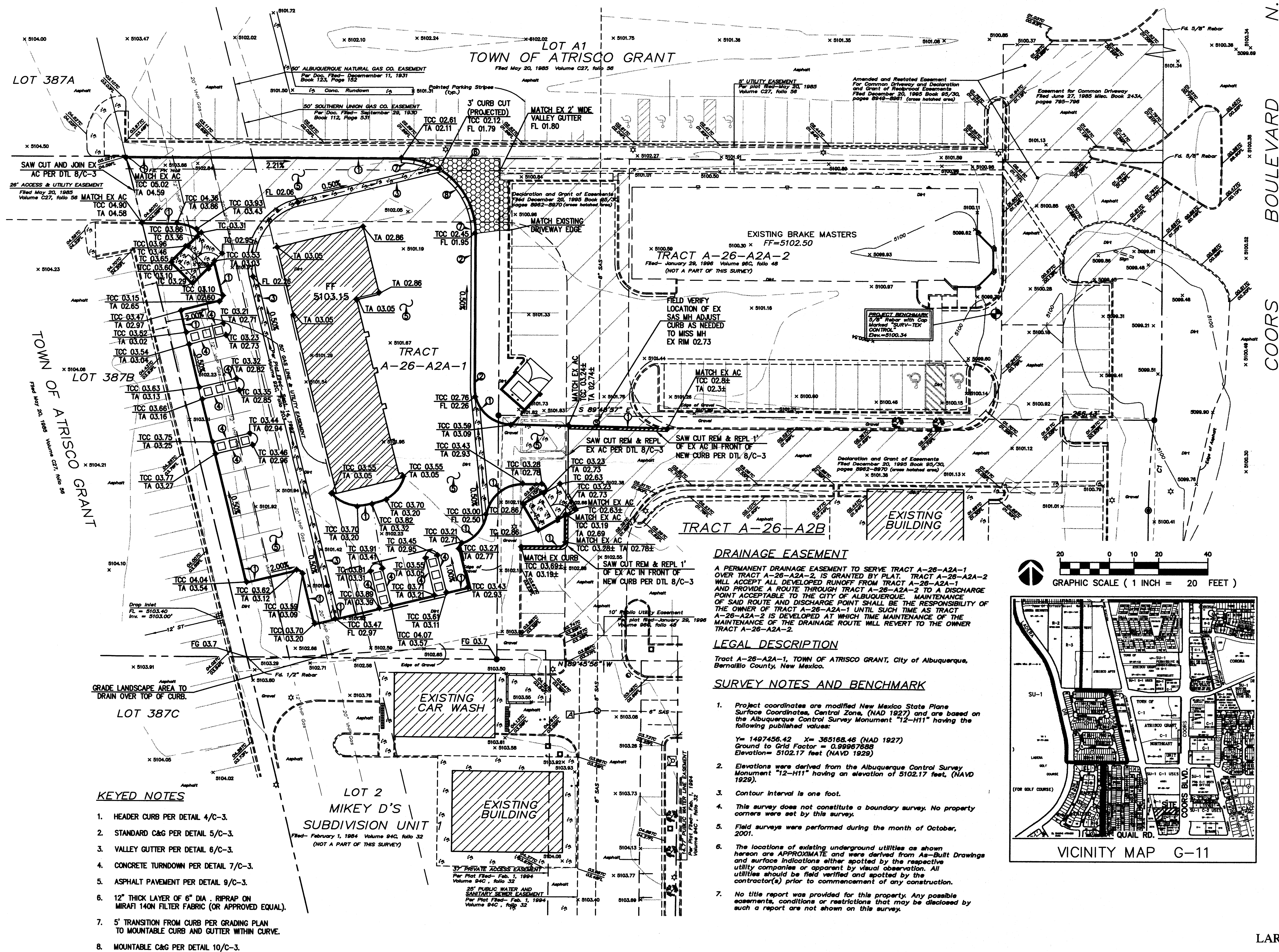
DRAWING NAME

GRADING PLAN

SHEET NUMBER

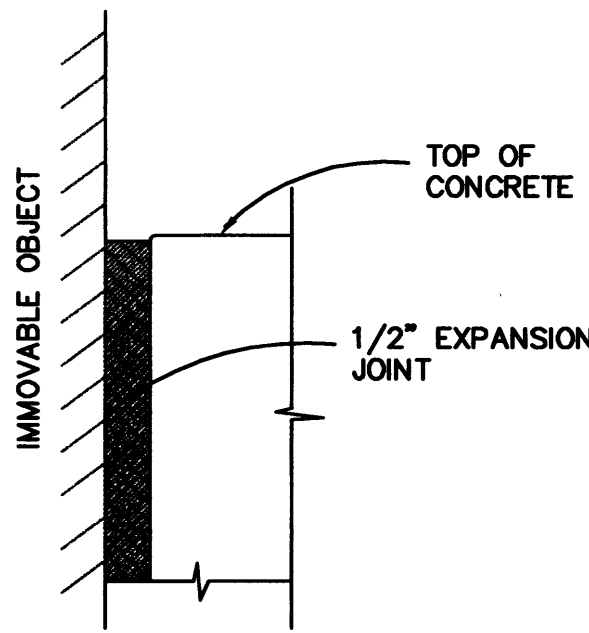
C-2

LARRY READ & ASSOCIATES

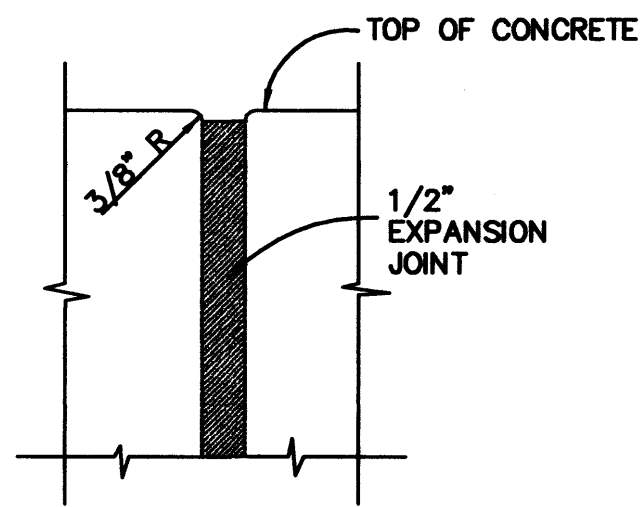
Civil Engineers
4800-C Juan Tabo, NE
Albuquerque, New Mexico 87111
(505) 237-8421

LARRY READ & ASSOCIATES

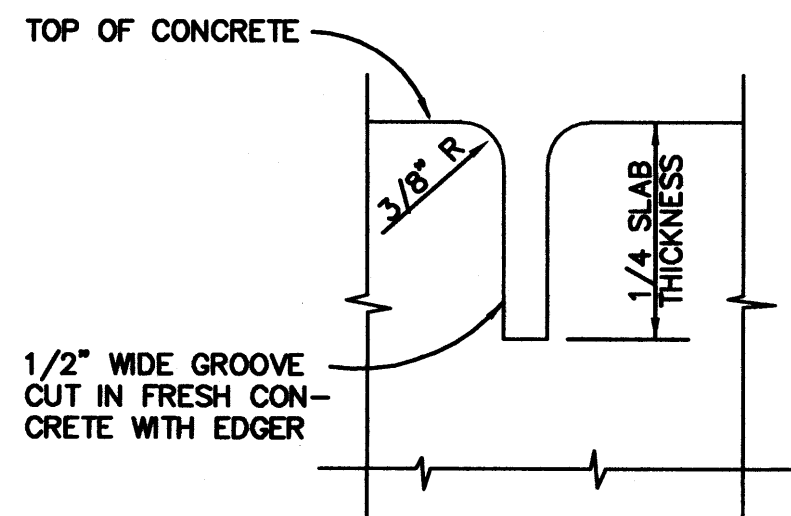
Civil Engineers
4800-C Juan Tabo, NE
Albuquerque, New Mexico 87111
(505) 237-8421



1 EXPANSION JOINT AT
C-3 IMMMOVABLE OBJECT
N. T. S.

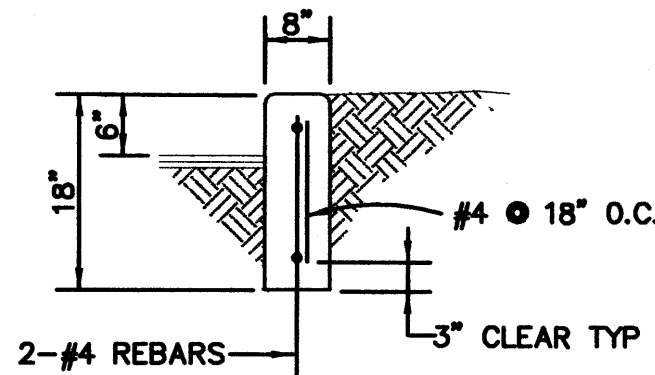


2 EXPANSION JOINT DETAIL
C-3 N. T. S.



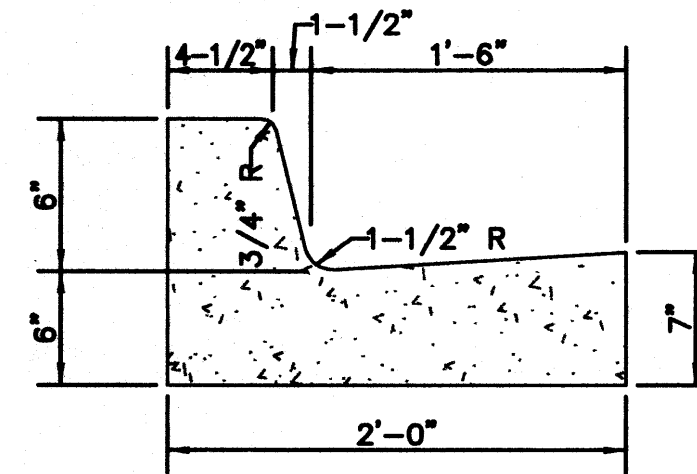
3 CONTRACTION JOINT DETAIL
C-3 N. T. S.

- CONSTRUCTION NOTES:
1. PROVIDE 1/2" EXPANSION JOINTS AT 36' O.C., AT IMMMOVABLE OBJECTS, AND AT THE BEGINNING AND END OF CURVES.
 2. PROVIDE CONTRACTION JOINTS @ 6' O.C.
 3. ALL EXPOSED CONCRETE CORNERS TO HAVE 3/4" RADII.



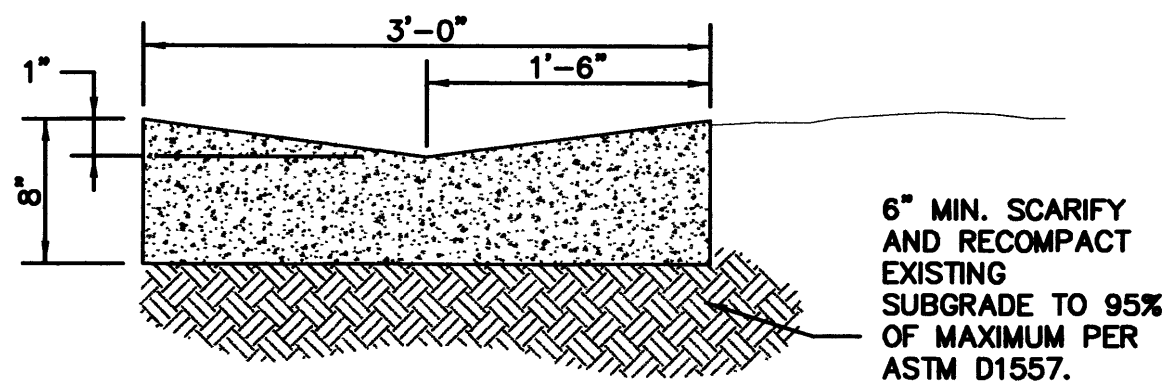
4 CONCRETE HEADER CURB DETAIL
C-3 N. T. S.

- CONSTRUCTION NOTES:
1. PROVIDE 1/2" EXPANSION JOINTS AT 36' O.C., AT IMMMOVABLE OBJECTS AND AT THE BEGINNING AND END OF CURVES.
 2. PROVIDE CONTRACTION JOINTS AT 6' O.C.
 3. ALL EXPOSED CONCRETE CORNERS TO HAVE 1/2" RADII.



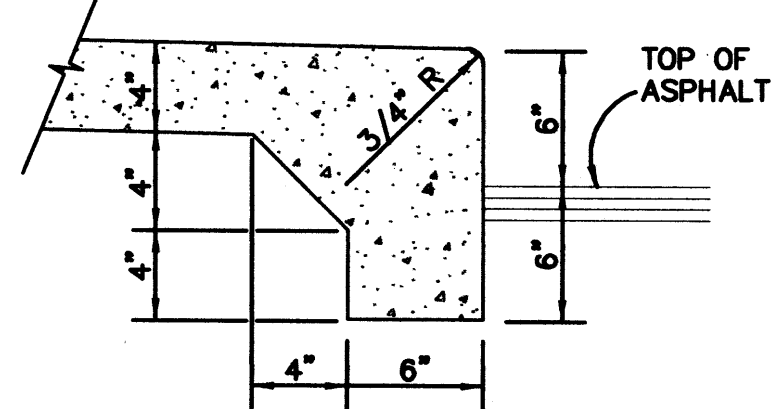
5 STANDARD CURB AND GUTTER
C-3 N. T. S.

- CONSTRUCTION NOTES:
1. PROVIDE 1/2" EXPANSION JOINTS AT 36' O.C., AT IMMMOVABLE OBJECTS AND AT PERPENDICULAR CURBS PER DETAIL THIS SHEET
 2. PROVIDE CONTRACTION JOINTS @ 6' O.C. PER DETAIL THIS SHEET

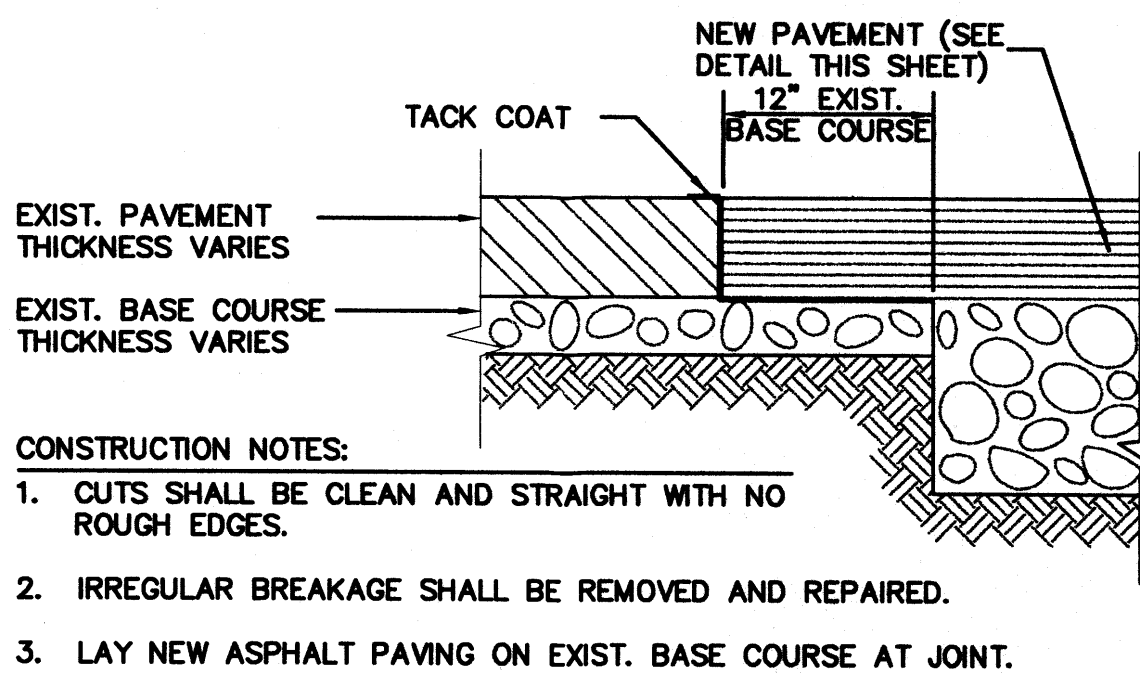


6 CONCRETE VALLEY GUTTER
C-3 N. T. S.

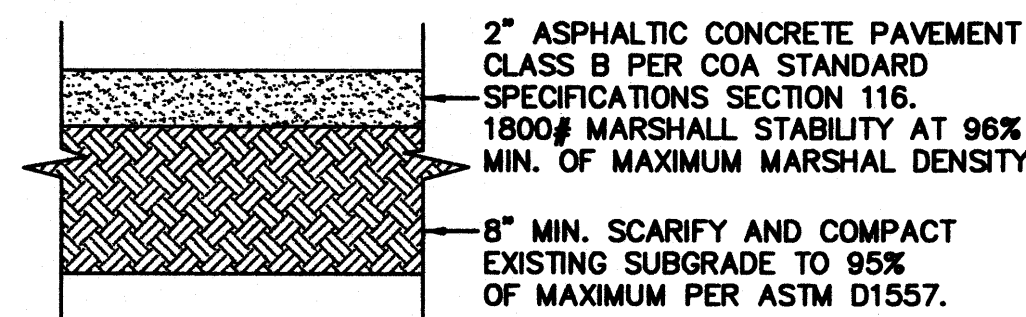
- CONSTRUCTION NOTES:
1. 1/2" EXPANSION JOINTS SHALL BE INSTALLED WHERE CONCRETE ABUTS RIGID STRUCTURES, SUCH AS CURBS, BUILDINGS, OR LIGHT STANDARDS. SEE DETAIL THIS SHEET.
 2. CONCRETE SHALL HAVE CONTRACTION JOINTS AT 6' INTERVALS, UNLESS OTHERWISE SHOWN ON PLANS. SEE DETAIL THIS SHEET.



7 CONCRETE TURNDOWN (TYP ALL VACUUM STATIONS)
C-3 N. T. S.

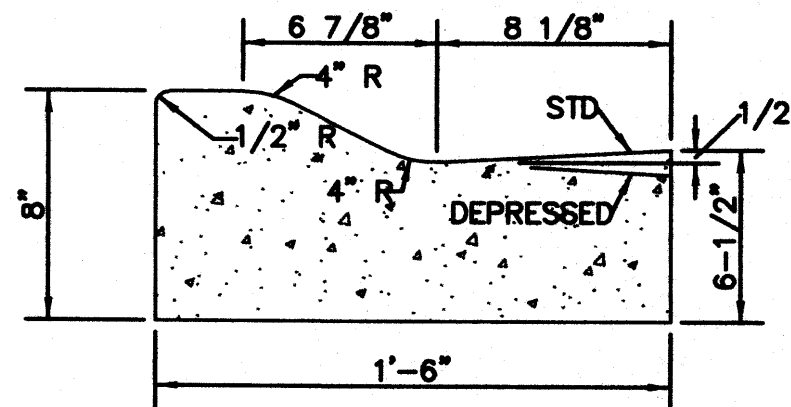


8 PAVEMENT CUT AND PATCH DETAIL
C-3 N. T. S.



9 ASPHALT PAVEMENT SECTION
C-3 N. T. S.

- CONSTRUCTION NOTES:
1. PROVIDE 1/2" EXPANSION JOINTS AT 36' O.C., AT IMMMOVABLE OBJECTS AND AT THE BEGINNING AND END OF CURVES.
 2. PROVIDE CONTRACTION JOINTS AT 6' O.C.
 3. ALL EXPOSED CONCRETE CORNERS TO HAVE 1/2" RADII.



10 MOUNTABLE CURB AND GUTTER
C-3 N. T. S.

DRAINAGE REPORT

LOCATION & DESCRIPTION

THE PROPOSED SITE IS 0.59 ACRES, LOCATED ON THE WEST END OF LOT A-26-A2A, AS SHOWN ON THE GRADING PLAN ON SHEET C-2. LOT A-26-A2A IS LOCATED NORTH OF QUAIL ROAD AND WEST OF COORS BOULEVARD, AS SHOWN ON THE VICINITY MAP ON SHEET C-2. ALL OF THE PROPERTIES AROUND THIS SITE ARE ALREADY DEVELOPED AND UTILIZE FREE DISCHARGE TO COORS BOULEVARD WHERE THE FLOW IS INTERCEPTED BY A STORM DRAIN. THIS LOT HAS A SLIGHT SLOPE TOWARD COORS BOULEVARD ENABLING IT TO DRAIN TO THE EAST.

FLOODPLAIN STATUS

THIS PROJECT, AS SHOWN ON FEMA'S FLOOD INSURANCE RATE MAP 35001C0337 D, DATED SEPTEMBER 20, 1996 IS NOT WITHIN ANY DESIGNATED 100-YEAR FLOODPLAIN. THE SITE IS DESIGNATED ON THE FIRM PANEL ON THIS SHEET.

METHODOLOGY

THE HYDROLOGY FOR THIS PROJECT WAS ANALYZED USING THE QUICK CALCULATIONS OF THE JUNE 1997 RELEASE OF THE CITY OF ALBUQUERQUE DEVELOPMENT PROCESS MANUAL, SECTION 22.2.

PRECIPITATION

THE 100-YR 6-HR DURATION STORM WAS USED AS THE DESIGN STORM FOR THIS ANALYSIS. THIS SITE IS WITHIN ZONE 1 AS IDENTIFIED IN THE CITY OF ALBUQUERQUE DEVELOPMENT PROCESS MANUAL, SECTION 22.2. TABLES WITHIN THIS SECTION WAS USED TO ESTABLISH THE 6-HOUR PRECIPITATION, EXCESS PRECIPITATION, AND PEAK DISCHARGE.

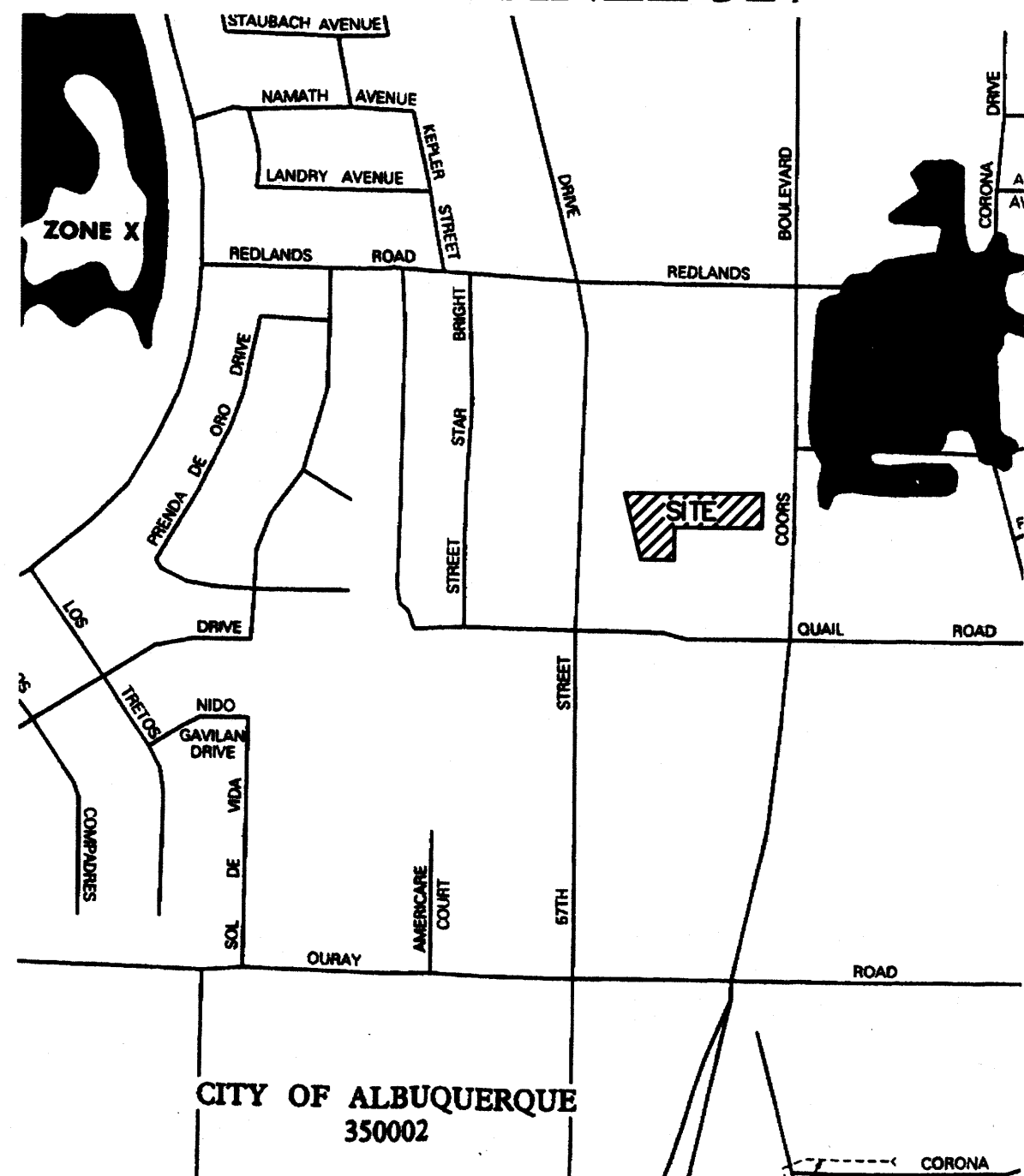
EXISTING DRAINAGE

THE SITE IS UNDEVELOPED AS DESCRIBED IN "LOCATION AND DESCRIPTION" ABOVE. ALL OF THE ADJACENT SITES HAVE BEEN FILLED TO DRAIN AWAY FROM THIS PROPERTY. THEREFORE, THERE ARE NO OFF SITE BASINS CONTRIBUTING DRAINAGE TO THIS SITE. A STORM DRAIN IN COORS BOULEVARD HAS BEEN DESIGNED AND CONSTRUCTED TO INTERCEPT DEVELOPED FLOWS FROM THIS TRACT OF LAND.

DEVELOPED CONDITION

AT THIS TIME THE REMAINING 0.59 ACRES OF THE 1.24 ACRE SITE WILL BE DEVELOPED AS A CAR WASH. THE REMAINING 0.64 ACRES HAS PREVIOUSLY BEEN DEVELOPED AS A BRAKEMASTERS FACILITY WITH ASSOCIATED PARKING. THE "100-YEAR HYDROLOGIC CALCULATIONS", ON THIS SHEET, DEMONSTRATE THAT THIS DEVELOPMENT WILL INCREASE THE RUNOFF FROM THIS SITE FROM 0.77 CFS TO 2.36 CFS. HOWEVER, THE AREA BEING DEVELOPED AS A CAR WASH IS ONLY 73.66% IMPERVIOUS WHICH IS LESS THAN THE DPM SECTION 22.2 ALLOWANCE OF 90% FOR COMMERCIAL SITES. THEREFORE, THIS DEVELOPMENT DISCHARGES LESS RUNOFF THAN WHAT WAS ANTICIPATED WHEN THE COORS STORM DRAIN WAS DESIGNED. GRADES HAVE BEEN SET TO ASSURE THAT SURFACE RUNOFF WILL CONTINUE TO CROSS THE BRAKEMASTERS PORTION OF THIS LOT AND DRAIN TO COORS BOULEVARD. THEREFORE, THIS SITE CAN BE DEVELOPED ACCORDING TO THIS GRADING AND DRAINAGE PLAN WITHOUT ADVERSELY AFFECTING DOWNSTREAM PROPERTY.

FIRM PANEL 327



100-YEAR HYDROLOGIC CALCULATIONS

BASIN #	AREA (acre)	LAND TREATMENT				WEIGHTED E (in)	V (6-hr) (cu-ft)	V (6-hr) (acre-ft)	V(10 day) (acre-ft)	V(10 day) (cu-ft)	Q (cfs)
		A (%)	B (%)	C (%)	D (%)						
EXISTING CONDITIONS											
CAR WASH	0.5938	100.00	0.00	0.00	0.00	0.44	0.02	948	0.02	948	0.77
REMAINDER	0.6442	0.00	5.00	5.00	90.00	1.86	0.10	4,340	0.17	7,434	2.69
TOTAL	1.2380						0.12	5,288	0.19	8,382	3.46
PROPOSED CONDITIONS											
CAR WASH	0.5938	0.00	0.00	28.34	73.66	1.71	0.08	3,880	0.14	6,024	2.36
REMAINDER	0.6442	0.00	5.00	5.00	90.00	1.86	0.10	4,340	0.17	7,434	2.69
TOTAL	1.2380						0.18	8,220	0.31	13,457	5.05
EXCESS PRECIP.											
		0.44	0.67	0.99	1.97	E (in)					
PEAK DISCHARGE		1.29	2.03	2.87	4.37	Q ₆ (cfs)					
							ZONE = 1				
WEIGHTED E (in) = (E _A)(%A) + (E _B)(%B) + (E _C)(%C) + (E _D)(%D)							P _{6hr} (in.) = 2.20				
V _{6hr} (acre-ft) = (WEIGHTED E)(AREA)/12							P _{10day} (in.) = 2.66				
V _{10day} (acre-ft) = V _{6hr} + (A ₆)(P _{10day} - P _{6hr})/12							P _{24hr} (in.) = 3.67				
Q (cfs) = (Q _{6hr})(A ₆) + (Q _{10day})(A ₁₀) + (Q _{24hr})(A ₂₄) + (Q _{36hr})(A ₃₆)											

LARRY READ & ASSOCIATES
Civil Engineers
4800-C Juan Tabo, NE
Albuquerque, New Mexico 87111
(505) 237-8421

NEW CAR WASH FACILITY
COORS BLVD. & QUAIL RD., NW
ALBUQUERQUE, NEW MEXICO

ENGINEER SEAL



PROJECT

REVISIONS

DATE August 25, 2003

SCALE

1"=20'

DRAWING NAME

DETAILS AND
DRAINAGE PLAN

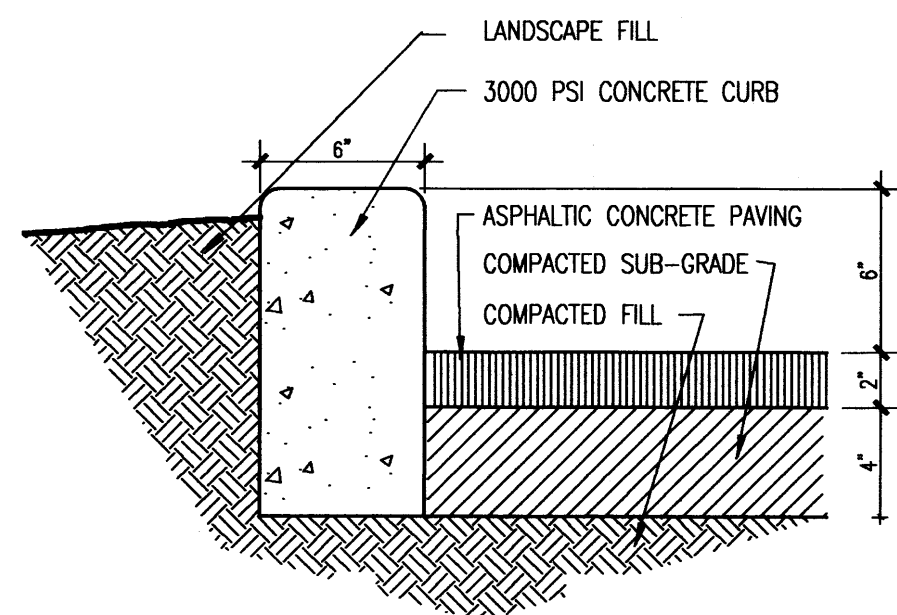
SHEET NUMBER

C-3

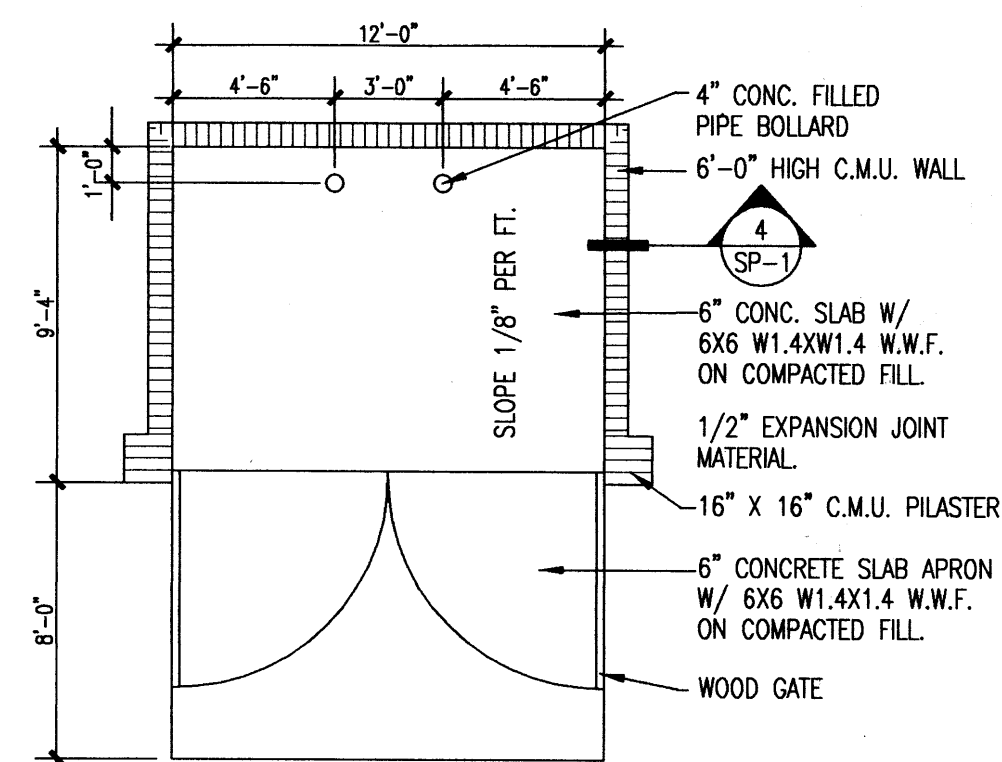
T A T E F I S H B U R N
T A R C H I T E C T

ARCHITECT SEAL

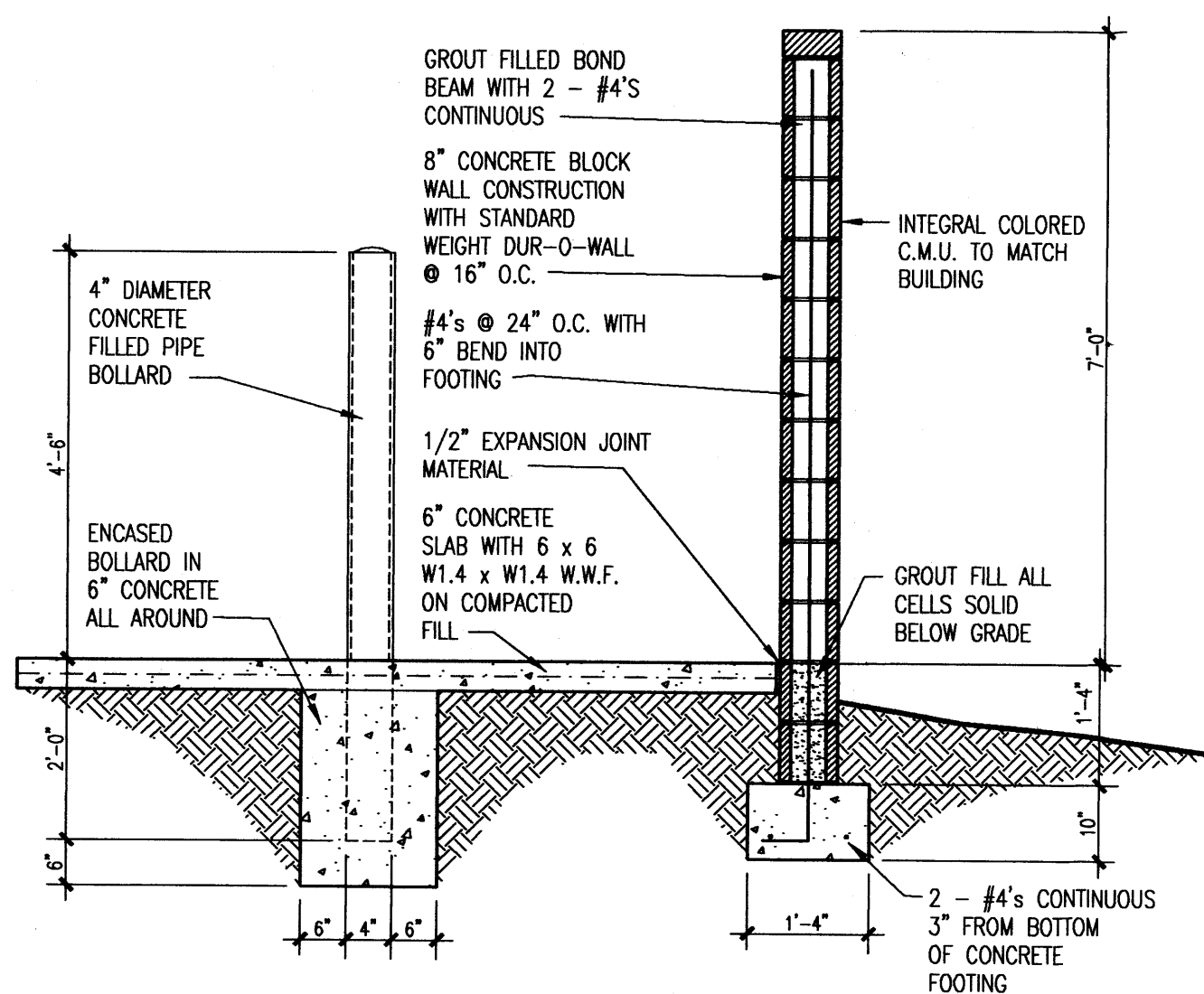
BOX 2941 CORRALES NEW MEXICO 87048 505-892-8911



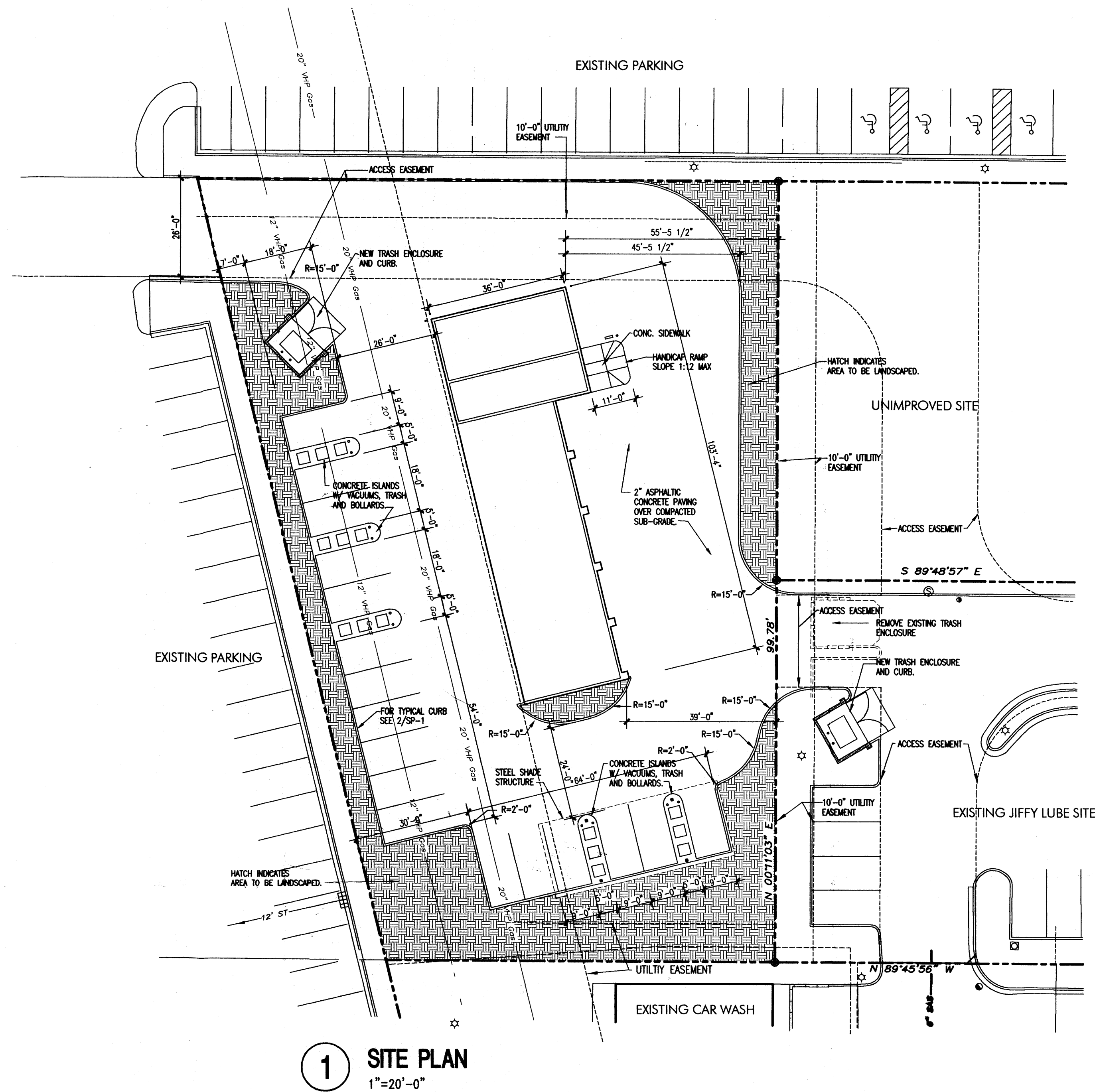
2 TYPICAL CURB DETAIL
1-1/2"=1'-0"



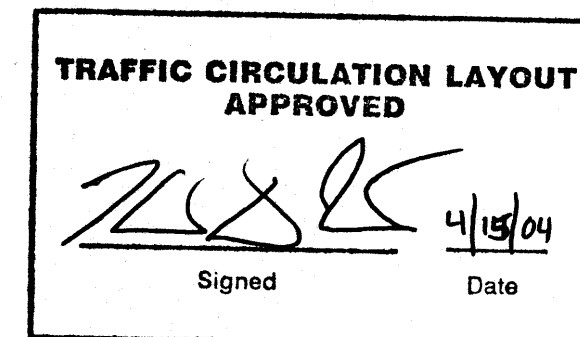
3 TRASH ENCLOSURE
3/16"=1'-0"



4 SECTION THRU ENCLOSURE WALL
1/2"=1'-0"



1 SITE PLAN
1"=20'-0"



PROJECT INFORMATION

PROJECT: NEW SELF-SERVE CAR WASH
LOCATION: 2923 COORS BLVD., N.W.
OWNER: PURPLE SAGE, LLC
20 VISTA SANDIA CT.
PLACITAS, NM 87043 867-3167

ARCHITECT: TATE FISHBURN ARCHITECT

LEGAL DESCRIPTION: TRACT A-26-A2A-1
TOWN OF ATRISCO GRANT
ZONE ATLAS H-11-Z
C-1

CURRENT ZONING CLASSIFICATION: C-1

TYPE CONSTRUCTION: TYPE VN

OCCUPANCY: B

ALLOWABLE AREA: TYPE V-N CONSTRUCTION & B OCCUPANCY = 8,000

GROSS BUILDING AREA: 2,880 S.F.

NET BUILDING AREA: 264 S.F.

OCCUPANT LOAD: 264/100 = 3 OCCUPANTS

EXIT WIDTH REQUIRED: 1 INCH

EXIT WIDTH PROVIDED: 36 INCHES

NUMBER OF EXITS PROVIDED: ONE TOTAL

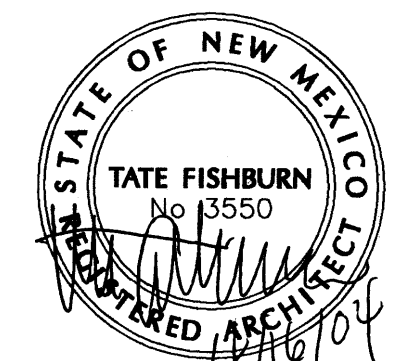
TOTAL LOT AREA: .59 ACRES +/-

PARKING ANALYSIS: NET AREA = 264
264 / 200 = 2 REQUIRED SPACES
SPACES REQUIRED = 2
SPACES PROVIDED = 17 SPACES

SEISMIC ZONE:

TATE FISHBURN
ARCHITECT

ARCHITECT SEAL



ENGINEER SEAL

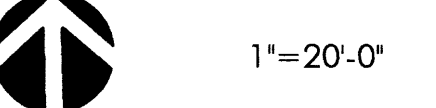
PROJECT

TRAFFIC CIRCULATION LAYOUT
NEW CAR WASH FACILITY
2923 COORS BLVD., NW
ALBUQUERQUE, NEW MEXICO

REVISIONS

DATE: APRIL 8, 2004

NORTH SCALE

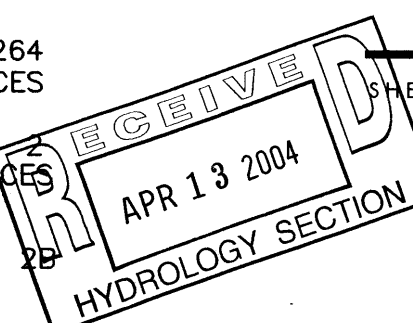


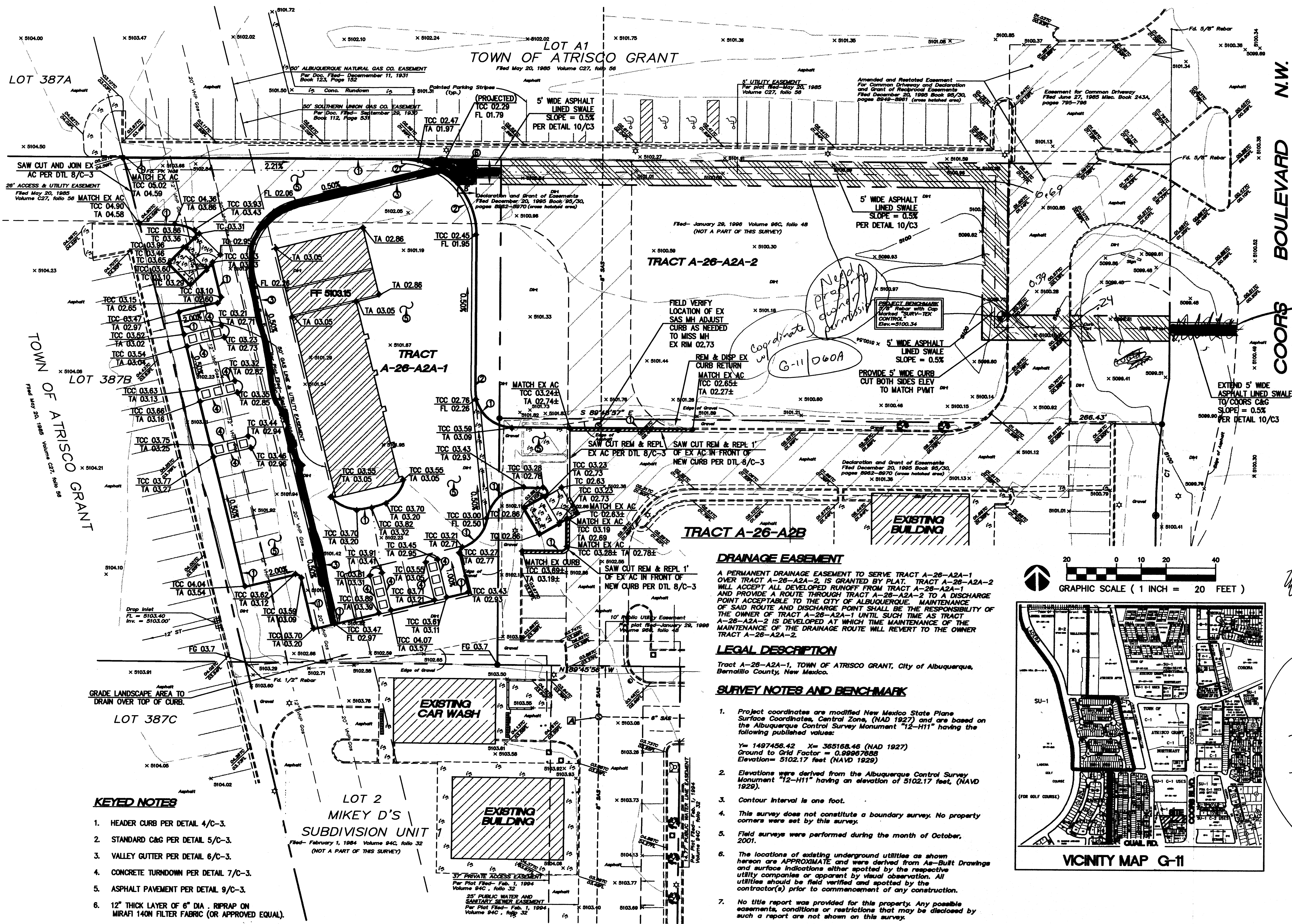
DRAWING NAME

SITE PLAN

SHEET NUMBER

SP-1





(Suggest Remove)
Not necessary, won't work too low
5019 Required

220 ft → 1.1ft
60 ft → 0.3ft
30 ft → 0.15ft

Chalk
G-11/D60A
- does it show drain easement
- does it show asphalt swale?

T A T E F I S H B U R N
A R C H I T E C T

ARCHITECT SEAL

ENGINEER SEAL



PROJECT

NEW CAR WASH FACILITY

REVISIONS

DATE August 25, 2003

NORTH SCALE 1"=20'

DRAWING NAME

GRADING PLAN

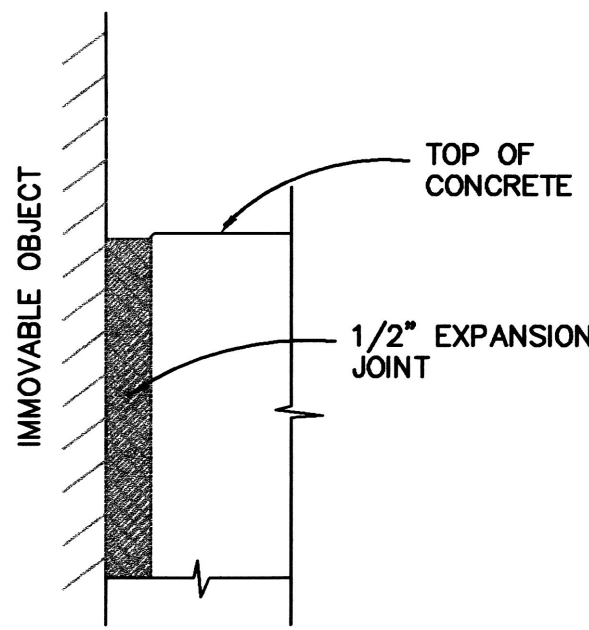
SHEET NUMBER

LARRY READ & ASSOCIATES
Civil Engineers
4800-C Juan Tabo, NE
Albuquerque, New Mexico 87111
(505) 237-8421

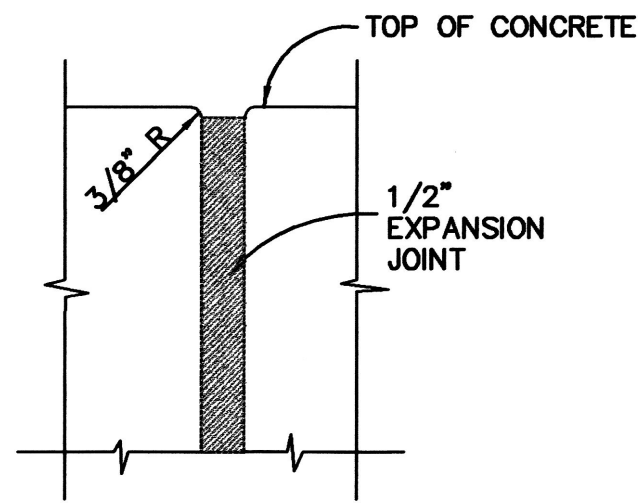
C-2

COORS BLVD. & QUAIL RD., NW
ALBUQUERQUE, NEW MEXICO

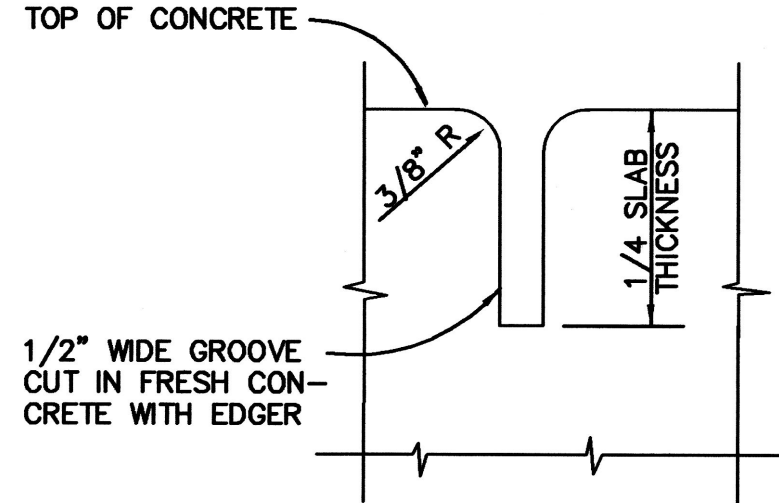
BOX 2941 CORRALES NEW MEXICO 87048 505 892 8911



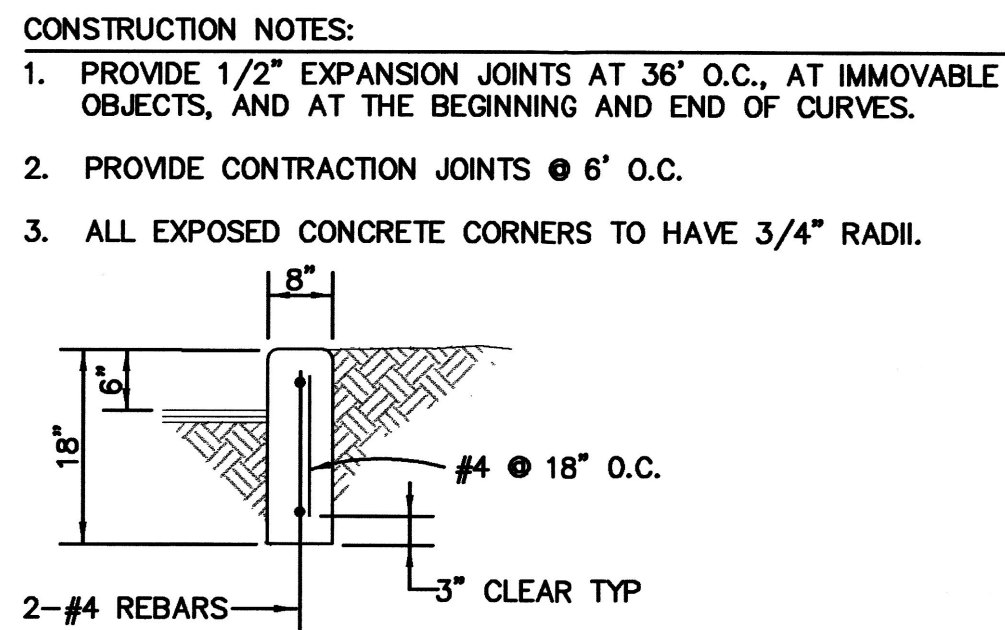
1 EXPANSION JOINT AT
C-3 IMMovable OBJECT
N. T. S.



2 EXPANSION JOINT DETAIL
C-3 N. T. S.

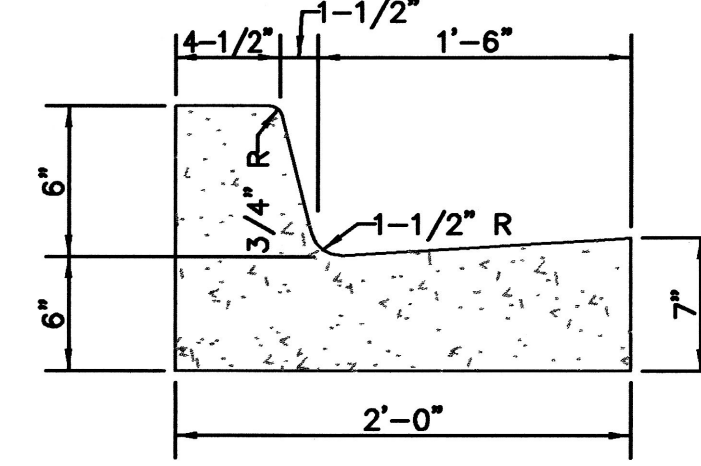


3 CONTRACTION JOINT DETAIL
C-3 N. T. S.



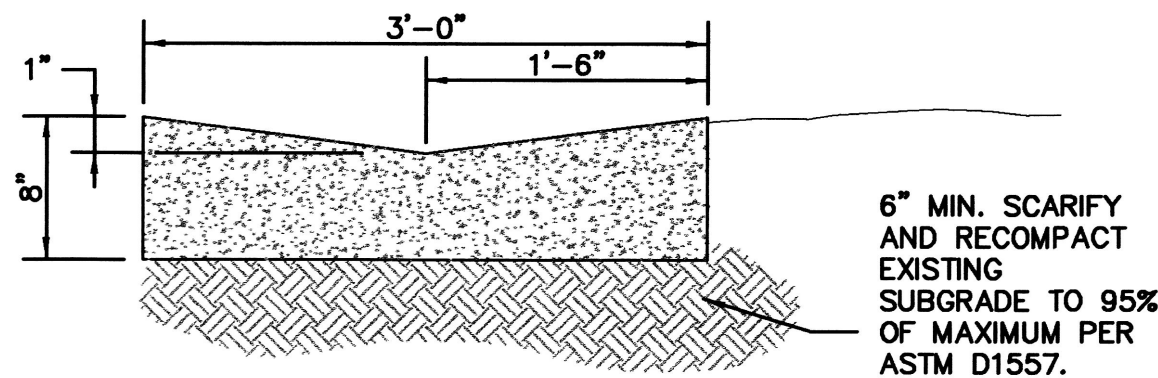
4 CONCRETE HEADER CURB DETAIL
C-3 N. T. S.

- CONSTRUCTION NOTES:
1. PROVIDE 1/2" EXPANSION JOINTS AT 36' O.C., AT IMMOVABLE OBJECTS AND AT THE BEGINNING AND END OF CURVES.
 2. PROVIDE CONTRACTION JOINTS @ 6' O.C.
 3. ALL EXPOSED CONCRETE CORNERS TO HAVE 1/2" RADII.



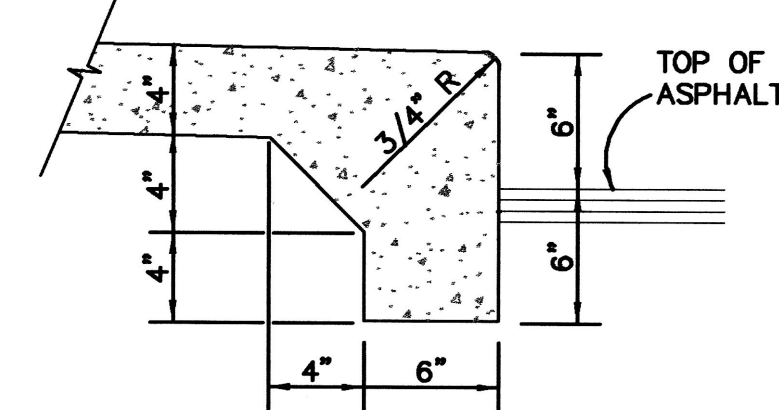
5 STANDARD CURB AND GUTTER
C-3 N. T. S.

- CONSTRUCTION NOTES:
1. PROVIDE 1/2" EXPANSION JOINTS AT 36' O.C., AT IMMOVABLE OBJECTS AND AT PERPENDICULAR CURBS PER DETAIL THIS SHEET
 2. PROVIDE CONTRACTION JOINTS @ 6' O.C. PER DETAIL THIS SHEET

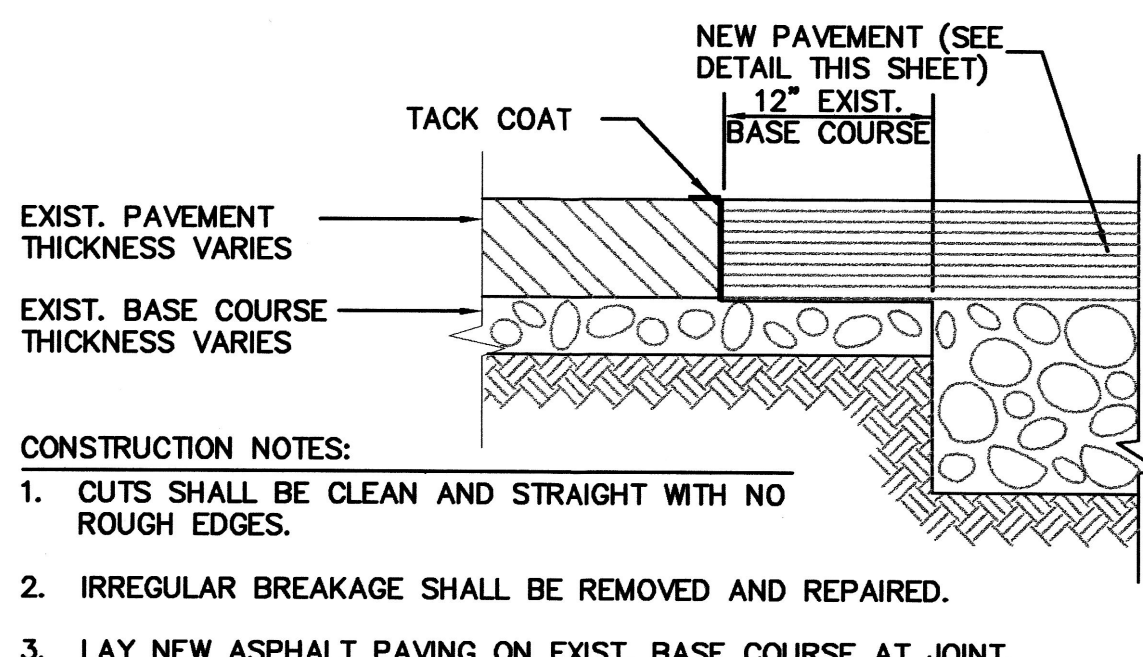


6 CONCRETE VALLEY GUTTER
C-3 N. T. S.

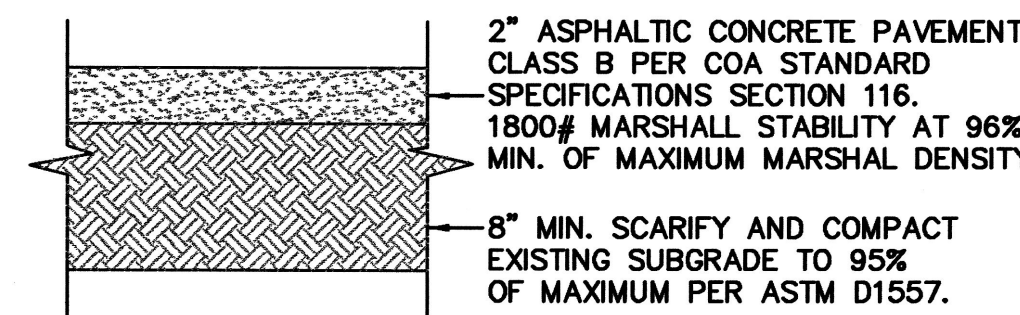
- CONSTRUCTION NOTES:
1. 1/2" EXPANSION JOINTS SHALL BE INSTALLED WHERE CONCRETE ABUTS RIGID STRUCTURES, SUCH AS CURBS, BUILDINGS, OR LIGHT STANDARDS. SEE DETAIL THIS SHEET.
 2. CONCRETE SHALL HAVE CONTRACTION JOINTS AT 6' INTERVALS, UNLESS OTHERWISE SHOWN ON PLANS. SEE DETAIL THIS SHEET.



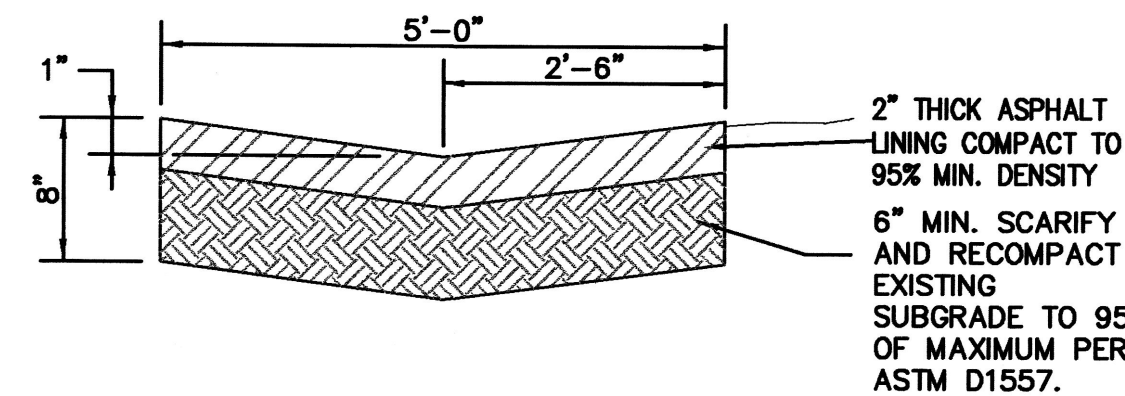
7 CONCRETE TURNDOWN (TYP ALL VACUUM STATIONS)
C-3 N. T. S.



8 PAVEMENT CUT AND PATCH DETAIL
C-3 N. T. S.



9 ASPHALT PAVEMENT SECTION
C-3 N. T. S.



10 TEMPORARY ASPHALT SWALE
C-3

DRAINAGE REPORT

LOCATION & DESCRIPTION

THE PROPOSED SITE IS 0.59 ACRES, LOCATED ON THE WEST END OF LOT A-26-A2A, AS SHOWN ON THE GRADING PLAN ON SHEET C-2. LOT A-26-A2A IS LOCATED NORTH OF QUAIL ROAD AND WEST OF COORS BOULEVARD, AS SHOWN ON THE VICINITY MAP ON SHEET C-2. ALL OF THE PROPERTIES AROUND THIS SITE ARE ALREADY DEVELOPED AND UTILIZE FREE DISCHARGE TO COORS BOULEVARD WHERE THE FLOW IS INTERCEPTED BY A STORM DRAIN. THIS LOT HAS A SLIGHT SLOPE TOWARD COORS BOULEVARD ENABLING IT TO DRAIN TO THE EAST.

FLOODPLAIN STATUS

THIS PROJECT, AS SHOWN ON FEMA'S FLOOD INSURANCE RATE MAP 35001C0337 D, DATED SEPTEMBER 20, 1996 IS **NOT WITHIN ANY** DESIGNATED 100-YEAR FLOODPLAIN. THE SITE IS DESIGNATED ON THE FIRM PANEL ON THIS SHEET.

METHODOLOGY

THE HYDROLOGY FOR THIS PROJECT WAS ANALYZED USING THE QUICK CALCULATIONS OF THE JUNE 1997 RELEASE OF THE CITY OF ALBUQUERQUE DEVELOPMENT PROCESS MANUAL, SECTION 22.2.

PRECIPITATION

THE 100-YR 6-HR DURATION STORM WAS USED AS THE DESIGN STORM FOR THIS ANALYSIS. THIS SITE IS WITHIN ZONE 1 AS IDENTIFIED IN THE CITY OF ALBUQUERQUE DEVELOPMENT PROCESS MANUAL, SECTION 22.2. TABLES WITHIN THIS SECTION WAS USED TO ESTABLISH THE 6-HOUR PRECIPITATION, EXCESS PRECIPITATION, AND PEAK DISCHARGE.

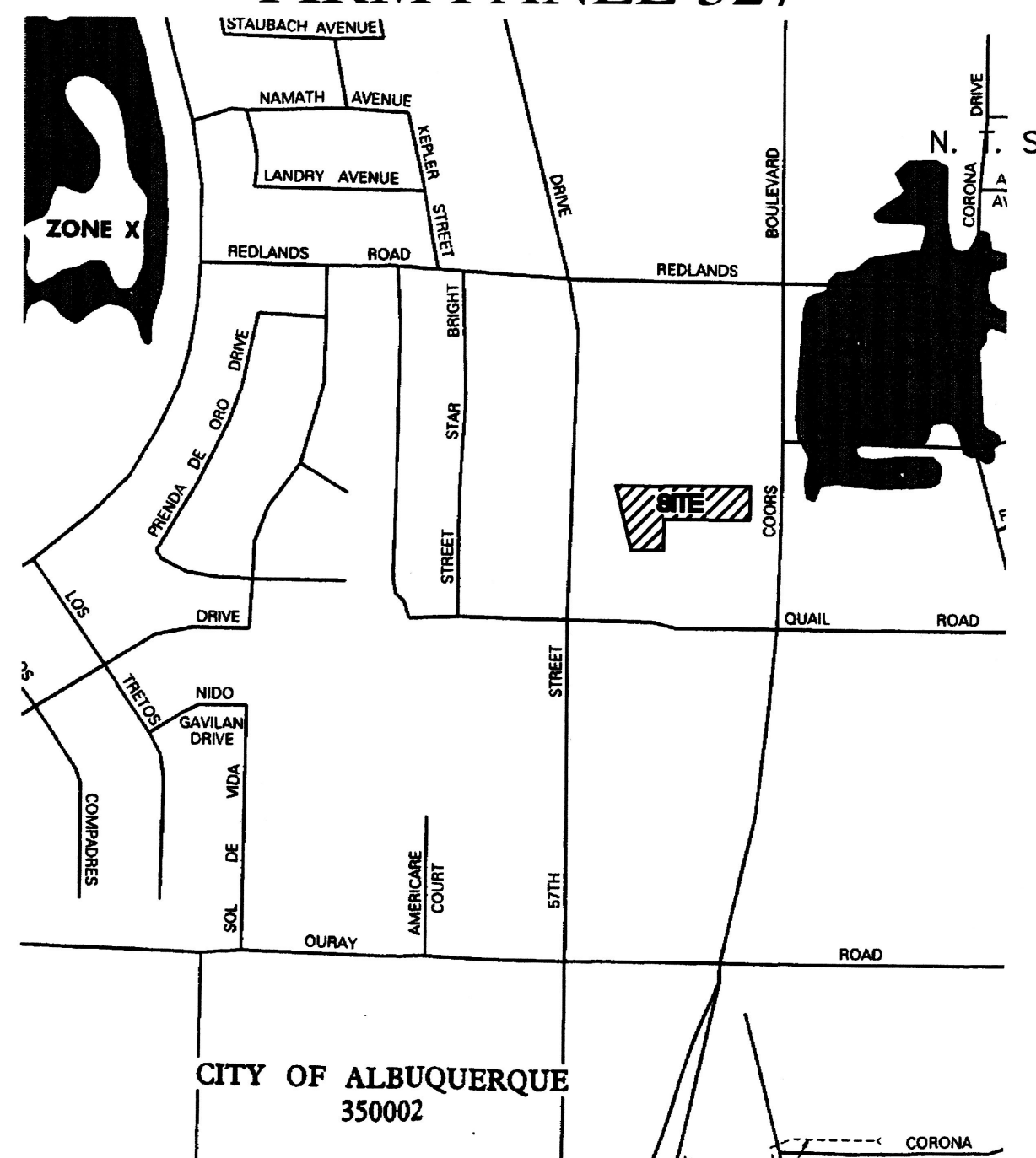
EXISTING DRAINAGE

THE SITE IS UNDEVELOPED AS DESCRIBED IN "LOCATION AND DESCRIPTION" ABOVE. ALL OF THE ADJACENT SITES HAVE BEEN FILLED TO DRAIN AWAY FROM THIS PROPERTY. THEREFORE, THERE ARE NO OFF-SITE BASINS CONTRIBUTING DRAINAGE TO THIS SITE. A STORM DRAIN IN COORS BOULEVARD HAS BEEN DESIGNED AND CONSTRUCTED TO INTERCEPT DEVELOPED FLOWS FROM THIS TRACT OF LAND.

DEVELOPED CONDITION

AT THIS TIME ONLY 0.59 ACRES OF THE 1.24 ACRE SITE WILL BE DEVELOPED AS A CAR WASH. THE REMAINING 0.64 ACRES WILL REMAIN UNDEVELOPED. THE "100-YEAR HYDROLOGIC CALCULATIONS", ON THIS SHEET, DEMONSTRATE THAT THIS DEVELOPMENT WILL INCREASE THE RUNOFF FROM THIS SITE FROM 0.77 CFS TO 2.36 CFS. HOWEVER, THE AREA BEING DEVELOPED AS A CAR WASH IS ONLY 73.66% IMPERVIOUS WHICH IS LESS THAN THE DPM SECTION-22.2 ALLOWANCE OF 90% FOR COMMERCIAL SITES. THEREFORE, THIS DEVELOPMENT DISCHARGES LESS RUNOFF THAN WHAT WAS ANTICIPATED WHEN THE COORS STORM DRAIN WAS DESIGNED. GRADES HAVE BEEN SET TO ASSURE THAT SURFACE RUNOFF WILL CONTINUE TO CROSS THE UNDEVELOPED PORTION OF THIS LOT AND DRAIN TO COORS BOULEVARD WITHOUT OBSTRUCTING FUTURE DEVELOPMENT ON THE REMAINDER OF THE LOT. THEREFORE, THIS SITE CAN BE DEVELOPED ACCORDING TO THIS GRADING AND DRAINAGE PLAN WITHOUT ADVERSELY AFFECTING DOWNSTREAM PROPERTY.

FIRM PANEL 327



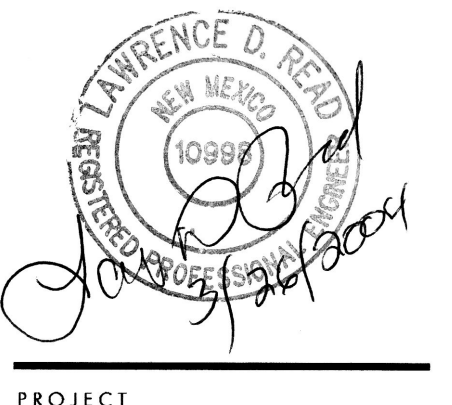
100-YEAR HYDROLOGIC CALCULATIONS

BASIN #	AREA (acre)	LAND TREATMENT				WEIGHTED E (in)	V (6-hr) (acre-ft)	V (6-hr) (cu-ft)	V(10 day) (acre-ft)	V(10 day) (cu-ft)	Q (cfs)
		A (%)	B (%)	C (%)	D (%)						
EXISTING CONDITIONS											
CAR WASH	0.5938	100.00	0.00	0.00	0.00	0.44	0.02	948	0.02	948	0.77
REMAINDER	0.6442	75.62	0.00	10.83	13.54	0.71	0.04	1,653	0.05	2,118	1.21
TOTAL	1.2380						0.06	2,601	0.07	3,067	1.98
PROPOSED CONDITIONS											
CAR WASH	0.5938	0.00	0.00	26.34	73.66	1.71	0.08	3,690	0.14	6,024	2.36
REMAINDER	0.6442	75.62	0.00	10.83	13.54	0.71	0.04	1,653	0.05	2,118	1.21
TOTAL	1.2380						0.12	5,343	0.19	8,142	3.57
EXCESS PRECIP.											
		0.44	0.67	0.99	1.97	E (in)					
PEAK DISCHARGE		1.29	2.03	2.87	4.37	Q _p (cfs)					
ZONE = 1											
WEIGHTED E (in) = (E _A)(%A) + (E _B)(%B) + (E _C)(%C) + (E _D)(%D)								P _{6hr} (in.) = 2.20			
V _{6hr} (acre-ft) = (WEIGHTED E)(AREA)/12								P _{24hr} (in.) = 2.66			
V _{10day} (acre-ft) = V _{6hr} + (A ₀)(P _{10day} - P _{6hr})/12								P _{10day} (in.) = 3.67			
Q (cfs) = (Q _{6hr})(A ₀) + (Q _{10hr})(A ₀) + (Q _{24hr})(A ₀) + (Q _{48hr})(A ₀)											

LARRY READ & ASSOCIATES
Civil Engineers
4800-C Juan Tabo, NE
Albuquerque, New Mexico 87111
(505) 237-8421

T A T E F I S H B U R N
A R C H I T E C T
ARCHITECT SEAL

ENGINEER SEAL



PROJECT

NEW CAR WASH FACILITY
COORS BLVD. & QUAIL RD., NW
ALBUQUERQUE, NEW MEXICO

REVISIONS

DATE August 25, 2003

SCALE

1"=20'

DRAWING NAME

DETAILS AND
DRAINAGE PLAN

SHEET NUMBER

C-3

GENERAL CONSTRUCTION NOTES

GENERAL

CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL REQUIRED CONSTRUCTION PERMITS, INCLUDING A TOP SOIL DISTURBANCE PERMIT, PRIOR TO START OF CONSTRUCTION.

ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE, AND LOCAL LAWS, ORDINANCES, AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.

REFERENCES MADE TO STANDARD SPECIFICATIONS AND STANDARD DRAWINGS REFER TO THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1986 EDITION WITH ALL UPDATES.

THE CONTRACTOR SHALL NOT INSTALL ITEMS AS SHOWN ON THESE PLANS WHEN IT IS OBVIOUS THAT FIELD CONDITIONS ARE DIFFERENT THAN SHOWN IN THE PLANS. SUCH CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER IN A TIMELY MANNER. IN THE EVENT THE CONTRACTOR DOES NOT NOTIFY THE ENGINEER IN A TIMELY MANNER, THE CONTRACTOR ASSUMES FULL RESPONSIBILITY AND EXPENSE FOR ANY REVISIONS NECESSARY, INCLUDING ENGINEERING DESIGN FEES.

EXISTING SITE IMPROVEMENTS WHICH ARE DAMAGED OR DISPLACED BY THE CONTRACTOR SHALL BE REMOVED AND REPLACED BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE. REPAIRS SHALL BE APPROVED BY THE OWNER PRIOR TO CONSTRUCTION OF THE REPAIRS. REPAIRS SHALL BE ACCEPTED BY THE OWNER PRIOR TO FINAL PAYMENT.

EXISTING FENCING THAT IS NOT DESIGNATED FOR REMOVAL SHALL NOT BE DISTURBED. ANY FENCING THAT IS DISTURBED OR ALTERED BY THE CONTRACTOR SHALL BE RESTORED TO ITS ORIGINAL CONDITION AT THE CONTRACTORS EXPENSE. IF THE CONTRACTOR DESIRES TO REMOVE FENCING TO ACCOMMODATE CONSTRUCTION ACTIVITIES, THE CONTRACTOR SHALL OBTAIN THE OWNER'S WRITTEN PERMISSION BEFORE THE FENCE IS REMOVED. CONTRACTOR SHALL RESTORE THE FENCE TO ITS ORIGINAL CONDITION AT THE EARLIEST OPPORTUNITY. WHILE ANY FENCING IS REMOVED, THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR SECURITY OF THE SITE UNTIL THE FENCE IS RESTORED.

WORK WITHIN ADJACENT RIGHT-OF-WAY

PRIOR TO BEGINNING ANY CONSTRUCTION ACTIVITIES WITHIN ADJACENT RIGHT-OF-WAYS OR WITHIN PROPERTY NOT OWNED BY THE OWNER OF THE PROJECT SITE, THE CONTRACTOR SHALL ASSURE THAT ALL PERMITS AND PERMISSIONS REQUIRED HAVE BEEN OBTAINED IN WRITING.

SURVEY MONUMENTS, PROPERTY CORNERS, BENCHMARKS

THE CONTRACTOR SHALL NOTIFY THE OWNER AT LEAST SEVEN DAYS BEFORE BEGINNING ANY CONSTRUCTION ACTIVITY THAT COULD DAMAGE OR DISPLACE SURVEY MONUMENTS, PROPERTY CORNERS, OR PROJECT BENCHMARKS SO THESE ITEMS MAY BE RELOCATED.

ANY SURVEY MONUMENTS, PROPERTY CORNERS, OR BENCHMARKS THAT ARE NOT IDENTIFIED FOR RELOCATION ARE THE RESPONSIBILITY OF THE CONTRACTOR TO PRESERVE AND PROTECT, RELOCATION OR REPLACEMENT OF THESE ITEMS SHALL BE DONE BY THE OWNER'S SURVEYOR AT THE EXPENSE OF THE CONTRACTOR.

DIMENSIONS

ALL DIMENSIONS TO CURBS ARE TO THE FLOWLINE UNLESS OTHERWISE NOTED.

ALL STATIONING IS TO THE CENTERLINE OF THE RIGHT-OF-WAY UNLESS OTHERWISE NOTED.

ALL SLOPES AND GRADES ARE IN PERCENT UNLESS OTHERWISE NOTED.

CURB ELEVATIONS ARE SHOWN AT THE FLOW LINE UNLESS OTHERWISE NOTED. SEE THE DETAIL SHEET TO DETERMINE THE CURB HEIGHT ABOVE FLOW LINE.

SOILS

UNLESS OTHERWISE SPECIFIED, SUBGRADE, ENGINEERED FILL, AND STRUCTURAL FILL SHALL BE COMPACTED TO THE FOLLOWING SPECIFICATIONS OF THE ASTM D-1557 MAXIMUM DRY DENSITY.

MATERIAL/LOCATION	PERCENT COMPACTION
STRUCTURAL FILL IN THE BUILDING AREA	95%
SUBBASE FOR SLAB SUPPORT	95%
MISCELLANEOUS BACKFILL BELOW STRUCTURAL FILL OR ROADWAY PAVEMENT	95%
MISCELLANEOUS BACKFILL BELOW UNPAVED, NON-BUILDING AREAS	90%
ROADWAY PAVEMENT SUBGRADE	95%
SIDEWALK SUBGRADE	90%
CURB AND GUTTER SUBGRADE	95%

PAVEMENT

WHEN ABUTTING NEW PAVEMENT TO EXISTING PAVEMENT, CUT EXISTING PAVEMENT EDGE TO A NEAT, STRAIGHT LINE AS NECESSARY TO REMOVE ANY BROKEN OR CRACKED PAVEMENT AND MATCH NEW PAVEMENT ELEVATION TO EXISTING.

ALL UTILITIES AND UTILITY SERVICE LINES SHALL BE INSTALLED AND APPROVED PRIOR TO PAVING.

ALL WATER VALVE BOXES AND ELECTRICAL, TELEPHONE, TELEVISION, AND SEWER MANHOLES IN THE CONSTRUCTION AREA SHALL BE ADJUSTED TO FINISHED GRADE BEFORE PAVING.

WHEN SIDEWALK OR CURB AND GUTTER IS REMOVED, IT SHALL BE REMOVED TO EXISTING CONSTRUCTION JOINTS. CUTTING OR BREAKING SHALL NOT BE ALLOWED.

LEGEND

	EX BLOCK WALL		LIGHT POLE		EX SD INLET
	EX SPOT ELEV.		EX FIRE HYDRANT		CONCRETE
	PROP SPOT ELEV.		EX WATER VALVE		EX WATER METER
	EX BLOCK WALL		EX SD MANHOLE		EXIST. TREE
	TRANSFORMER		EX SAS MANHOLE		

UTILITIES

IF ANY UTILITY LINES, PIPELINES, OR UNDERGROUND UTILITY LINES ARE SHOWN ON THESE DRAWINGS, THEY ARE SHOWN IN AN APPROXIMATE LOCATION ONLY BASED ON THE INFORMATION PROVIDED TO THE ENGINEER BY OTHERS. THIS INFORMATION MAY BE INACCURATE OR INCOMPLETE. ADDITIONALLY, UNDERGROUND LINES MAY EXIST THAT ARE NOT SHOWN. THE CONTRACTOR SHALL VERIFY THE LOCATION OF ANY UTILITY LINE, PIPELINE, OR UNDERGROUND UTILITY LINE IN OR NEAR THE AREA OF THE WORK IN ACCORDANCE WITH CHAPTER 62, ARTICLE 14-1, THROUGH 14-8, NMSA 1978.

THE CONTRACTOR SHALL CONTACT THE STATEWIDE UTILITY LOCATOR SERVICE AT 1-800-321-2537 AT LEAST TWO WORKING DAYS BEFORE BEGINNING CONSTRUCTION. AFTER THE UTILITIES ARE SPOTTED, THE CONTRACTOR SHALL EXPOSE ALL PERTINENT UTILITIES TO VERIFY THEIR VERTICAL AND HORIZONTAL LOCATION. IF A CONFLICT EXISTS BETWEEN EXISTING UTILITIES AND PROPOSED CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH MINIMAL DELAY.

THE CONTRACTOR SHALL EXERCISE DUE CARE TO AVOID DISTURBING ANY EXISTING UTILITIES, ABOVE OR BELOW GROUND. UTILITIES THAT ARE DAMAGED BY CARELESS CONSTRUCTION SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE.

EXISTING VALVES SHALL ONLY BE OPERATED BY THE UTILITY COMPANY. CONTRACTOR SHALL NOTIFY THE UTILITY A MINIMUM OF TWO WORKING DAYS BEFORE ANY VALVE, NEW OR EXISTING, NEEDS TO BE OPERATED.

THE CONTRACTOR SHALL COORDINATE ANY REQUIRED UTILITY INTERRUPTIONS WITH THE OWNER AND AFFECTED UTILITY COMPANY A MINIMUM OF THREE WORKING DAYS BEFORE THE INTERRUPTION.

THE CONTRACTOR SHALL MAINTAIN A RECORD DRAWING SET OF PLANS AND PROMPTLY LOCATE ALL UTILITIES, EXISTING OR NEW, IN THEIR CORRECT LOCATION, HORIZONTAL AND VERTICAL. THIS RECORD SET OF DRAWINGS SHALL BE MAINTAINED ON THE PROJECT SITE AND SHALL BE AVAILABLE TO THE OWNER AND ENGINEER AT ANY TIME DURING CONSTRUCTION.

EROSION CONTROL, ENVIRONMENTAL PROTECTION, AND STORM WATER POLLUTION PREVENTION PLAN

THE CONTRACTOR SHALL CONFORM TO ALL CITY, COUNTY, STATE, AND FEDERAL DUST AND EROSION CONTROL REGULATIONS. THE CONTRACTOR SHALL OBTAIN AND PREPARE ANY DUST CONTROL OR EROSION CONTROL PERMITS REQUIRED FROM THE REGULATORY AGENCIES.

THE CONTRACTOR SHALL PROMPTLY REMOVE ANY MATERIAL EXCAVATED WITH THE PUBLIC RIGHT-OF-WAY OR ADJACENT PROPERTY TO KEEP IT FROM WASHING OFF THE PROJECT SITE.

THE CONTRACTOR SHALL ENSURE THAT NO SOIL ERODES FROM THE SITE ONTO ADJACENT PROPERTY BY CONSTRUCTION OF TEMPORARY EROSION CONTROL BERMS OR INSTALLING SILT FENCES AT THE PROPERTY LINES AND WETTING THE SOIL TO PREVENT IT FROM BLOWING.

WATERING, AS REQUIRED FOR CONSTRUCTION DUST CONTROL, SHALL BE CONSIDERED INCIDENTAL TO CONSTRUCTION AND NO MEASUREMENT OR PAYMENT SHALL BE MADE. CONSTRUCTION AREAS SHALL BE WATERED FOR DUST CONTROL IN COMPLIANCE WITH GOVERNMENT ORDINANCES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING AND SUPPLYING WATER AS REQUIRED.

ANY AREAS DISTURBED BY CONSTRUCTION AND NOT COVERED BY LANDSCAPING OR IMPERVIOUS SURFACES SHALL BE REVEGETATED WITH RECLAMATION SEEDING.

THE CONTRACTOR SHALL PROPERLY HANDLE AND DISPOSE OF ALL ASPHALT REMOVED ON THE PROJECT BY HAULING IT TO AN APPROVED DISPOSAL SITE IN ACCORDANCE WITH THE REQUIREMENTS OF THE NEW MEXICO SOLID WASTE ACT.

ALL WASTE PRODUCTS FROM THE CONSTRUCTION SITE, INCLUDING ITEMS DESIGNED FOR REMOVAL, CONSTRUCTION WASTE, CONSTRUCTION EQUIPMENT WASTE PRODUCTS (OIL, GAS, TIRES, ETC.), GARBAGE, GRUBBING, EXCESS CUT MATERIAL, VEGETATIVE DEBRIS, ETC., SHALL BE APPROPRIATELY DISPOSED OF OFFSET AT NO ADDITIONAL COST TO THE OWNER. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN ANY PERMITS REQUIRED FOR HAUL OR DISPOSAL OF WASTE PRODUCTS. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT THE WASTE DISPOSAL SITE COMPLIES WITH GOVERNMENT REGULATIONS REGARDING THE ENVIRONMENT, ENDANGERED SPECIES, AND ARCHAEOLOGICAL RESOURCES.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CLEANUP AND REPORTING OF SPILLS OF HAZARDOUS MATERIALS ASSOCIATED WITH THE CONSTRUCTION SITE. HAZARDOUS MATERIALS INCLUDE GASOLINE, DIESEL FUEL, MOTOR OIL, SOLVENTS, CHEMICALS, PAINT, ETC. WHICH MAY BE A THREAT TO THE ENVIRONMENT. THE CONTRACTOR SHALL REPORT THE DISCOVERY OF PAST OR PRESENT SPILLS TO THE NEW MEXICO EMERGENCY RESPONSE AT 1-800-219-6157.

THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE REGULATIONS CONCERNING SURFACE AND UNDERGROUND WATER. CONTACT WITH SURFACE WATER BY CONSTRUCTION EQUIPMENT AND PERSONNEL SHALL BE MINIMIZED. EQUIPMENT MAINTENANCE AND REFUELING OPERATIONS SHALL BE PERFORMED IN AN ENVIRONMENTALLY SAFE MANNER IN COMPLIANCE WITH GOVERNMENT REGULATIONS.

THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE REGULATIONS CONCERNING CONSTRUCTION NOISE AND HOURS OF OPERATION.

ACCESSIBLE FACILITIES

ALL SURFACES ALONG ACCESSIBLE ROUTES AND FOR HANDICAP RAMPS SHALL BE STABLE FIRM, SLIDE RESISTANT AND SHALL COMPLY WITH UNIFORM FEDERAL ACCESSIBILITY STANDARDS, PARAGRAPH 4.5.

LONGITUDINAL SLOPES ALONG ACCESSIBLE ROUTE SIDEWALKS, EXCEPT AT HANDICAP RAMPS, SHALL NOT BE STEEPER THAN 1:20. CROSS SLOPES ALONG ACCESSIBLE ROUTE SIDEWALKS EXCEPT AT HANDICAP RAMPS, SHALL NOT BE STEEPER THAN 1:48. SLOPES IN ACCESSIBLE PARKING SPACES, ACCESS AISLES, AND PASSENGER LOADING ZONES SHALL NOT BE STEEPER THAN 1:48 IN ALL DIRECTIONS.

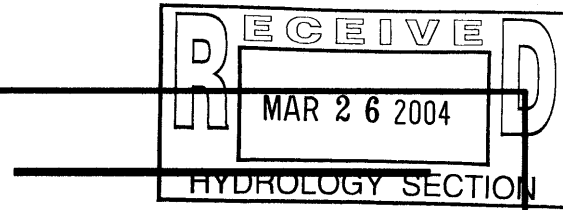
THE SITE SHALL COMPLY WITH ANSI A117.1-1992, "ACCESSIBLE AND USABLE BUILDINGS AND FACILITIES".

TRAFFIC CONTROL

THE CONTRACTOR SHALL PROVIDE ALL REQUIRED TRAFFIC CONTROL PLANS. ALL SIGNS, BARRICADES, CHANNELIZATION DEVICES, SIGN FRAMES AND ERECTION OF SUCH DEVICES SHALL CONFORM TO THE REQUIREMENTS OF "MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS" LATEST EDITION. PRIOR TO CONSTRUCTION, TRAFFIC CONTROL PLANS SHALL BE APPROVED BY THE GOVERNING AUTHORITY.

ABBREVIATIONS

BM	=	BENCHMARK
CATV	=	CABLE TELEVISION LINE
CO	=	CLEANOUT
COA	=	CITY OF ALBUQUERQUE
CONC	=	CONCRETE
CL	=	CENTERLINE
DIA	=	DIAMETER
DTL	=	DETAIL
DWG	=	DRAWING
E	=	ELECTRIC LINE
ELEC.	=	ELECTRIC
ELEV	=	ELEVATION
EX	=	EXISTING
FF	=	FINISHED FLOOR ELEVATION
FG	=	FINISHED GRADE
FH	=	FIRE HYDRANT
FL	=	FLOW LINE
G	=	GAS PIPE
GM	=	GAS METER
GV	=	GATE VALVE
INV	=	INVERT ELEVATION
LF	=	LINEAL FEET
LP	=	LIGHT POLE
L/S	=	LANDSCAPING
MH	=	MANHOLE
NG	=	NATURAL GROUND
OE	=	OVERHEAD ELECTRIC LINE
OT	=	OVERHEAD TELEPHONE LINE
PCC	=	PORTLAND CEMENT CONCRETE
PP	=	POWER POLE
PROP	=	PROPOSED
PVC	=	POLYVINYL CHLORIDE PIPE
RCP	=	REINFORCED CONCRETE PIPE
R/W	=	RIGHT-OF-WAY
S	=	SLOPE
SAS	=	SANITARY SEWER
SD	=	STORM DRAIN
STA	=	STATION
STD	=	STANDARD
SW	=	SIDEWALK
T	=	TELEPHONE
TA	=	TOP OF ASPHALT PAVEMENT
TC	=	TOP OF CONCRETE SLAB (PAVEMENT)
TCC	=	TOP OF CONCRETE CURB
TG	=	TOP OF GRATE
TS	=	TOP OF SIDEWALK
TW	=	TOP OF WALL
TYP	=	TYPICAL
UE	=	UNDERGROUND ELECTRIC
UT	=	UNDERGROUND TELEPHONE
W	=	WATER
WM	=	WATER METER
WV	=	WATER VALVE



T A T E F I S H B U R N
T A R C H I T E C T

ARCHITECT SEAL

ENGINEER SEAL



PROJECT

NEW CAR WASH FACILITY
COORS BLVD. & QUAIL RD., NW
ALBUQUERQUE, NEW MEXICO

REVISIONS

DATE August 25, 2003

NORTH SCALE

1"=20'

DRAWING NAME

GENERAL NOTES

SHEET NUMBER

LARRY READ & ASSOCIATES
Civil Engineers
4800-C Juan Tabo, NE
Albuquerque, New Mexico 87111
(505) 237-8421

C-1

GENERAL CONSTRUCTION NOTES

GENERAL

CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL REQUIRED CONSTRUCTION PERMITS, INCLUDING A TOP SOIL DISTURBANCE PERMIT, PRIOR TO START OF CONSTRUCTION.

ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE, AND LOCAL LAWS, ORDINANCES, AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.

REFERENCES MADE TO STANDARD SPECIFICATIONS AND STANDARD DRAWINGS REFER TO THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1986 EDITION WITH ALL UPDATES.

THE CONTRACTOR SHALL NOT INSTALL ITEMS AS SHOWN ON THESE PLANS WHEN IT IS OBVIOUS THAT FIELD CONDITIONS ARE DIFFERENT THAN SHOWN IN THE PLANS. SUCH CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER IN A TIMELY MANNER. IN THE EVENT THE CONTRACTOR DOES NOT NOTIFY THE ENGINEER IN A TIMELY MANNER, THE CONTRACTOR ASSUMES FULL RESPONSIBILITY AND EXPENSE FOR ANY REVISIONS NECESSARY, INCLUDING ENGINEERING DESIGN FEES.

EXISTING SITE IMPROVEMENTS WHICH ARE DAMAGED OR DISPLACED BY THE CONTRACTOR SHALL BE REMOVED AND REPLACED BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE. REPAIRS SHALL BE APPROVED BY THE OWNER PRIOR TO CONSTRUCTION OF THE REPAIRS. REPAIRS SHALL BE ACCEPTED BY THE OWNER PRIOR TO FINAL PAYMENT.

EXISTING FENCING THAT IS NOT DESIGNATED FOR REMOVAL SHALL NOT BE DISTURBED. ANY FENCING THAT IS DISTURBED OR ALTERED BY THE CONTRACTOR SHALL BE RESTORED TO ITS ORIGINAL CONDITION AT THE CONTRACTORS EXPENSE. IF THE CONTRACTOR DESIRES TO REMOVE FENCING TO ACCOMMODATE CONSTRUCTION ACTIVITIES, THE CONTRACTOR SHALL OBTAIN THE OWNER'S WRITTEN PERMISSION BEFORE THE FENCE IS REMOVED. CONTRACTOR SHALL RESTORE THE FENCE TO ITS ORIGINAL CONDITION AT THE EARLIEST OPPORTUNITY. WHILE ANY FENCING IS REMOVED, THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR SECURITY OF THE SITE UNTIL THE FENCE IS RESTORED.

WORK WITHIN ADJACENT RIGHT-OF-WAY

PRIOR TO BEGINNING ANY CONSTRUCTION ACTIVITIES WITHIN ADJACENT RIGHT-OF-WAYS OR WITHIN PROPERTY NOT OWNED BY THE OWNER OF THE PROJECT SITE, THE CONTRACTOR SHALL ASSURE THAT ALL PERMITS AND PERMISSIONS REQUIRED HAVE BEEN OBTAINED IN WRITING.

SURVEY MONUMENTS, PROPERTY CORNERS, BENCHMARKS

THE CONTRACTOR SHALL NOTIFY THE OWNER AT LEAST SEVEN DAYS BEFORE BEGINNING ANY CONSTRUCTION ACTIVITY THAT COULD DAMAGE OR DISPLACE SURVEY MONUMENTS, PROPERTY CORNERS, OR PROJECT BENCHMARKS SO THESE ITEMS MAY BE RELOCATED.

ANY SURVEY MONUMENTS, PROPERTY CORNERS, OR BENCHMARKS THAT ARE NOT IDENTIFIED FOR RELOCATION ARE THE RESPONSIBILITY OF THE CONTRACTOR TO PRESERVE AND PROTECT. RELOCATION OR REPLACEMENT OF THESE ITEMS SHALL BE DONE BY THE OWNER'S SURVEYOR AT THE EXPENSE OF THE CONTRACTOR.

DIMENSIONS

ALL DIMENSIONS TO CURBS ARE TO THE FLOWLINE UNLESS OTHERWISE NOTED.

ALL STATIONING IS TO THE CENTERLINE OF THE RIGHT-OF-WAY UNLESS OTHERWISE NOTED.

ALL SLOPES AND GRADES ARE IN PERCENT UNLESS OTHERWISE NOTED.

CURB ELEVATIONS ARE SHOWN AT THE FLOW LINE UNLESS OTHERWISE NOTED. SEE THE DETAIL SHEET TO DETERMINE THE CURB HEIGHT ABOVE FLOW LINE.

SOILS

UNLESS OTHERWISE SPECIFIED, SUBGRADE, ENGINEERED FILL, AND STRUCTURAL FILL SHALL BE COMPACTED TO THE FOLLOWING SPECIFICATIONS OF THE ASTM D-1557 MAXIMUM DRY DENSITY.

MATERIAL/LOCATION	PERCENT COMPACTION
STRUCTURAL FILL IN THE BUILDING AREA	95%
SUBBASE FOR SLAB SUPPORT	95%
MISCELLANEOUS BACKFILL BELOW STRUCTURAL FILL OR ROADWAY PAVEMENT	95%
MISCELLANEOUS BACKFILL BELOW UNPAVED, NON-BUILDING AREAS	90%
ROADWAY PAVEMENT SUBGRADE	95%
SIDEWALK SUBGRADE	90%
CURB AND GUTTER SUBGRADE	95%

PAVEMENT

WHEN ABUTTING NEW PAVEMENT TO EXISTING PAVEMENT, CUT EXISTING PAVEMENT EDGE TO A NEAT, STRAIGHT LINE AS NECESSARY TO REMOVE ANY BROKEN OR CRACKED PAVEMENT AND MATCH NEW PAVEMENT ELEVATION TO EXISTING.

ALL UTILITIES AND UTILITY SERVICE LINES SHALL BE INSTALLED AND APPROVED PRIOR TO PAVING.

ALL WATER VALVE BOXES AND ELECTRICAL, TELEPHONE, TELEVISION, AND SEWER MANHOLES IN THE CONSTRUCTION AREA SHALL BE ADJUSTED TO FINISHED GRADE BEFORE PAVING.

WHEN SIDEWALK OR CURB AND GUTTER IS REMOVED, IT SHALL BE REMOVED TO EXISTING CONSTRUCTION JOINTS. CUTTING OR BREAKING SHALL NOT BE ALLOWED.

LEGEND

	EX BLOCK WALL		LIGHT POLE		EX SD INLET
	EX SPOT ELEV.		EX FIRE HYDRANT		CONCRETE
	PROP SPOT ELEV.		EX WATER VALVE		EX WATER METER
	EX BLOCK WALL		EX SD MANHOLE		EXIST. TREE
	TRANSFORMER		EX SAS MANHOLE		

UTILITIES

IF ANY UTILITY LINES, PIPELINES, OR UNDERGROUND UTILITY LINES ARE SHOWN ON THESE DRAWINGS, THEY ARE SHOWN IN AN APPROXIMATE LOCATION ONLY BASED ON THE INFORMATION PROVIDED TO THE ENGINEER BY OTHERS. THIS INFORMATION MAY BE INACCURATE OR INCOMPLETE. ADDITIONALLY, UNDERGROUND LINES MAY EXIST THAT ARE NOT SHOWN. THE CONTRACTOR SHALL VERIFY THE LOCATION OF ANY UTILITY LINE, PIPELINE, OR UNDERGROUND UTILITY LINE IN OR NEAR THE AREA OF THE WORK IN ACCORDANCE WITH CHAPTER 82, ARTICLE 14-1, THROUGH 14-8, NMSA 1978.

THE CONTRACTOR SHALL CONTACT THE STATEWIDE UTILITY LOCATOR SERVICE AT 1-800-321-2537 AT LEAST TWO WORKING DAYS BEFORE BEGINNING CONSTRUCTION. AFTER THE UTILITIES ARE SPOTTED, THE CONTRACTOR SHALL EXPOSE ALL PERTINENT UTILITIES TO VERIFY THEIR VERTICAL AND HORIZONTAL LOCATION. IF A CONFLICT EXISTS BETWEEN EXISTING UTILITIES AND PROPOSED CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH MINIMAL DELAY.

THE CONTRACTOR SHALL EXERCISE DUE CARE TO AVOID DISTURBING ANY EXISTING UTILITIES, ABOVE OR BELOW GROUND. UTILITIES THAT ARE DAMAGED BY CARELESS CONSTRUCTION SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE.

EXISTING VALVES SHALL ONLY BE OPERATED BY THE UTILITY COMPANY. CONTRACTOR SHALL NOTIFY THE UTILITY A MINIMUM OF TWO WORKING DAYS BEFORE ANY VALVE, NEW OR EXISTING, NEEDS TO BE OPERATED.

THE CONTRACTOR SHALL COORDINATE ANY REQUIRED UTILITY INTERRUPTIONS WITH THE OWNER AND AFFECTED UTILITY COMPANY A MINIMUM OF THREE WORKING DAYS BEFORE THE INTERRUPTION.

THE CONTRACTOR SHALL MAINTAIN A RECORD DRAWING SET OF PLANS AND PROMPTLY LOCATE ALL UTILITIES, EXITING OR NEW, IN THEIR CORRECT LOCATION, HORIZONTAL AND VERTICAL. THIS RECORD SET OF DRAWINGS SHALL BE MAINTAINED ON THE PROJECT SITE AND SHALL BE AVAILABLE TO THE OWNER AND ENGINEER AT ANY TIME DURING CONSTRUCTION.

EROSION CONTROL, ENVIRONMENTAL PROTECTION, AND STORM WATER POLLUTION PREVENTION PLAN

THE CONTRACTOR SHALL CONFORM TO ALL CITY, COUNTY, STATE, AND FEDERAL DUST AND EROSION CONTROL REGULATIONS. THE CONTRACTOR SHALL OBTAIN AND PREPARE ANY DUST CONTROL OR EROSION CONTROL PERMITS REQUIRED FROM THE REGULATORY AGENCIES.

THE CONTRACTOR SHALL PROMPTLY REMOVE ANY MATERIAL EXCAVATED WITH THE PUBLIC RIGHT-OF-WAY OR ADJACENT PROPERTY TO KEEP IT FROM WASHING OFF THE PROJECT SITE.

THE CONTRACTOR SHALL ENSURE THAT NO SOIL ERODES FROM THE SITE ONTO ADJACENT PROPERTY BY CONSTRUCTION OF TEMPORARY EROSION CONTROL BERM'S OR INSTALLING SILT FENCES AT THE PROPERTY LINES AND WETTING THE SOIL TO PREVENT IT FROM BLOWING.

WATERING, AS REQUIRED FOR CONSTRUCTION DUST CONTROL, SHALL BE CONSIDERED INCIDENTAL TO CONSTRUCTION AND NO MEASUREMENT OR PAYMENT SHALL BE MADE. CONSTRUCTION AREAS SHALL BE WATERED FOR DUST CONTROL IN COMPLIANCE WITH GOVERNMENT ORDINANCES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING AND SUPPLYING WATER AS REQUIRED.

ANY AREAS DISTURBED BY CONSTRUCTION AND NOT COVERED BY LANDSCAPING OR IMPERVIOUS SURFACES SHALL BE REVEGETATED WITH RECLAMATION SEEDING.

THE CONTRACTOR SHALL PROPERLY HANDLE AND DISPOSE OF ALL ASPHALT REMOVED ON THE PROJECT BY HAULING IT TO AN APPROVED DISPOSAL SITE IN ACCORDANCE WITH THE REQUIREMENTS OF THE NEW MEXICO SOLID WASTE ACT.

ALL WASTE PRODUCTS FROM THE CONSTRUCTION SITE, INCLUDING ITEMS DESIGNED FOR REMOVAL, CONSTRUCTION WASTE, CONSTRUCTION EQUIPMENT WASTE PRODUCTS (OIL, GAS, TIRES, ETC.), GARBAGE, GRUBBING, EXCESS CUT MATERIAL, VEGETATIVE DEBRIS, ETC., SHALL BE APPROPRIATELY DISPOSED OF OFFSET AT NO ADDITIONAL COST TO THE OWNER. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN ANY PERMITS REQUIRED FOR HAUL OR DISPOSAL OF WASTE PRODUCTS, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT THE WASTE DISPOSAL SITE COMPLIES WITH GOVERNMENT REGULATIONS REGARDING THE ENVIRONMENT, ENDANGERED SPECIES, AND ARCHAEOLOGICAL RESOURCES.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CLEANUP AND REPORTING OF SPILLS OF HAZARDOUS MATERIALS ASSOCIATED WITH THE CONSTRUCTION SITE. HAZARDOUS MATERIALS INCLUDE GASOLINE, DIESEL FUEL, MOTOR OIL, SOLVENTS, CHEMICALS, PAINT, ETC. WHICH MAY BE A THREAT TO THE ENVIRONMENT. THE CONTRACTOR SHALL REPORT THE DISCOVERY OF PAST OR PRESENT SPILLS TO THE NEW MEXICO EMERGENCY RESPONSE AT 1-800-219-6157.

THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE REGULATIONS CONCERNING SURFACE AND UNDERGROUND WATER. CONTACT WITH SURFACE WATER BY CONSTRUCTION EQUIPMENT AND PERSONNEL SHALL BE MINIMIZED. EQUIPMENT MAINTENANCE AND REFUELING OPERATIONS SHALL BE PERFORMED IN AN ENVIRONMENTALLY SAFE MANNER IN COMPLIANCE WITH GOVERNMENT REGULATIONS.

THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE REGULATIONS CONCERNING CONSTRUCTION NOISE AND HOURS OF OPERATION.

ACCESSIBLE FACILITIES

ALL SURFACES ALONG ACCESSIBLE ROUTES AND FOR HANDICAP RAMPS SHALL BE STABLE FIRM, SLIDE RESISTANT AND SHALL COMPLY WITH UNIFORM FEDERAL ACCESSIBILITY STANDARDS, PARAGRAPH 4.5.

LONGITUDINAL SLOPES ALONG ACCESSIBLE ROUTE SIDEWALKS, EXCEPT AT HANDICAP RAMPS, SHALL NOT BE STEEPER THAN 1:20. CROSS SLOPES ALONG ACCESSIBLE ROUTE SIDEWALKS EXCEPT AT HANDICAP RAMPS, SHALL NOT BE STEEPER THAN 1:48. SLOPES IN ACCESSIBLE PARKING SPACES, ACCESS AISLES, AND PASSENGER LOADING ZONES SHALL NOT BE STEEPER THAN 1:48 IN ALL DIRECTIONS.

THE SITE SHALL COMPLY WITH ANSI A117.1-1992, "ACCESSIBLE AND USABLE BUILDINGS AND FACILITIES".

TRAFFIC CONTROL

THE CONTRACTOR SHALL PROVIDE ALL REQUIRED TRAFFIC CONTROL PLANS. ALL SIGNS, BARRICADES, CHANNELIZATION DEVICES, SIGN FRAMES AND ERECTION OF SUCH DEVICES SHALL CONFORM TO THE REQUIREMENTS OF "MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS" LATEST EDITION. PRIOR TO CONSTRUCTION, TRAFFIC CONTROL PLANS SHALL BE APPROVED BY THE GOVERNING AUTHORITY.

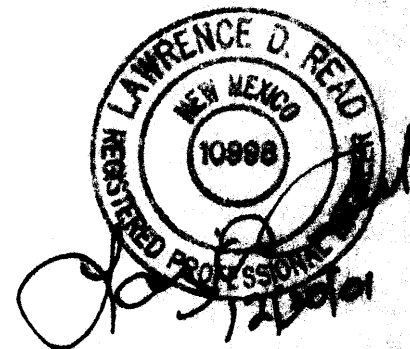
ABBREVIATIONS

BM	=	BENCHMARK
CATV	=	CABLE TELEVISION LINE
CO	=	CLEANOUT
COA	=	CITY OF ALBUQUERQUE
CONC	=	CONCRETE
CL	=	CENTERLINE
DIA	=	DIAMETER
DTL	=	DETAIL
DWG	=	DRAWING
E	=	ELECTRIC LINE
ELEC.	=	ELECTRIC
ELEV	=	ELEVATION
EX	=	EXISTING
FF	=	FINISHED FLOOR ELEVATION
FG	=	FINISHED GRADE
FH	=	FIRE HYDRANT
FL	=	FLOW LINE
G	=	GAS PIPE
GM	=	GAS METER
GV	=	GATE VALVE
INV	=	INVERT ELEVATION
LF	=	LINEAL FEET
LP	=	LIGHT POLE
L/S	=	LANDSCAPING
MH	=	MANHOLE
NG	=	NATURAL GROUND
OE	=	OVERHEAD ELECTRIC LINE
OT	=	OVERHEAD TELEPHONE LINE
PCC	=	PORTLAND CEMENT CONCRETE
PP	=	POWER POLE
PROP	=	PROPOSED
PVC	=	POLYVINYL CHLORIDE PIPE
ROP	=	REINFORCED CONCRETE PIPE
R/W	=	RIGHT-OF-WAY
S	=	SLOPE
SAS	=	SANITARY SEWER
SD	=	STORM DRAIN
STA	=	STATION
STD	=	STANDARD
SW	=	SIDEWALK
T	=	TELEPHONE
TA	=	TOP OF ASPHALT PAVEMENT
TC	=	TOP OF CONCRETE SLAB (PAVEMENT)
TCC	=	TOP OF CONCRETE CURB
TG	=	TOP OF GRATE
TS	=	TOP OF SIDEWALK
TW	=	TOP OF WALL
TYP	=	TYPICAL
UE	=	UNDERGROUND ELECTRIC
UT	=	UNDERGROUND TELEPHONE
W	=	WATER
WM	=	WATER METER
WV	=	WATER VALVE

T A T E F I S H B U R N
T A R C

ARCHITECT SEAL

ENGINEER SEAL



PROJECT

NEW CAR WASH FACILITY
FOR LUBRICAR, INC.
COORS BLVD. & QUAIL RD., NW
ALBUQUERQUE, NEW MEXICO

REVISIONS

DATE OCTOBER 25, 2001

NORTH SCALE

1"=20'

DRAWING NAME

GENERAL NOTES

SHEET NUMBER

LARRY READ & ASSOCIATES
Civil Engineers
4800-C Juan Tabo, NE
Albuquerque, New Mexico 87111
(505) 237-8421

C-1



**NEW CAR WASH FACILITY
FOR LUBRICAR, INC.
COORS BLVD. & QUAIL RD., NW
ALBUQUERQUE, NEW MEXICO**

REVISIONS

DATE OCTOBER 25, 2001

NORTH SCALE

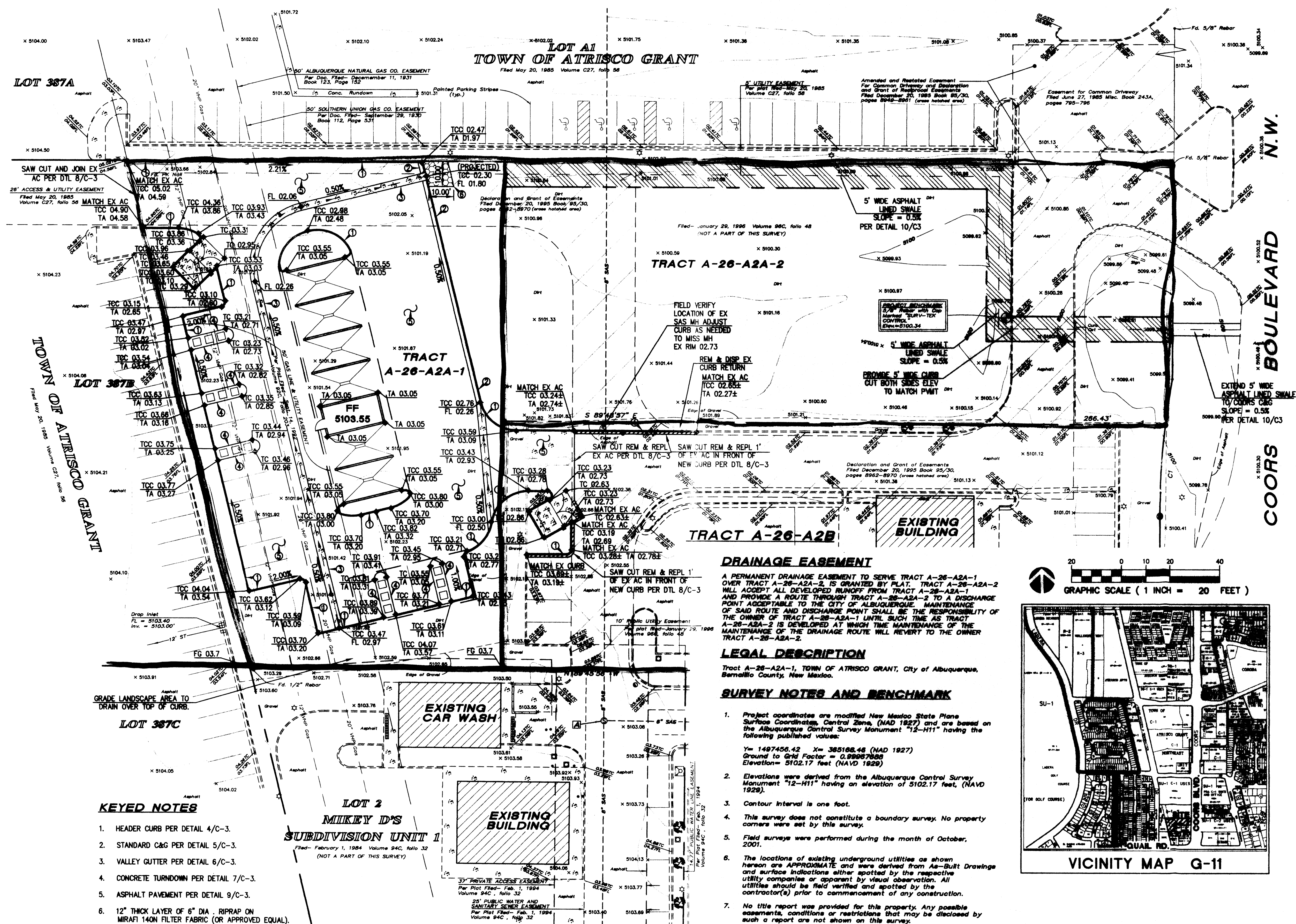
1"=20'

DRAWING NAME

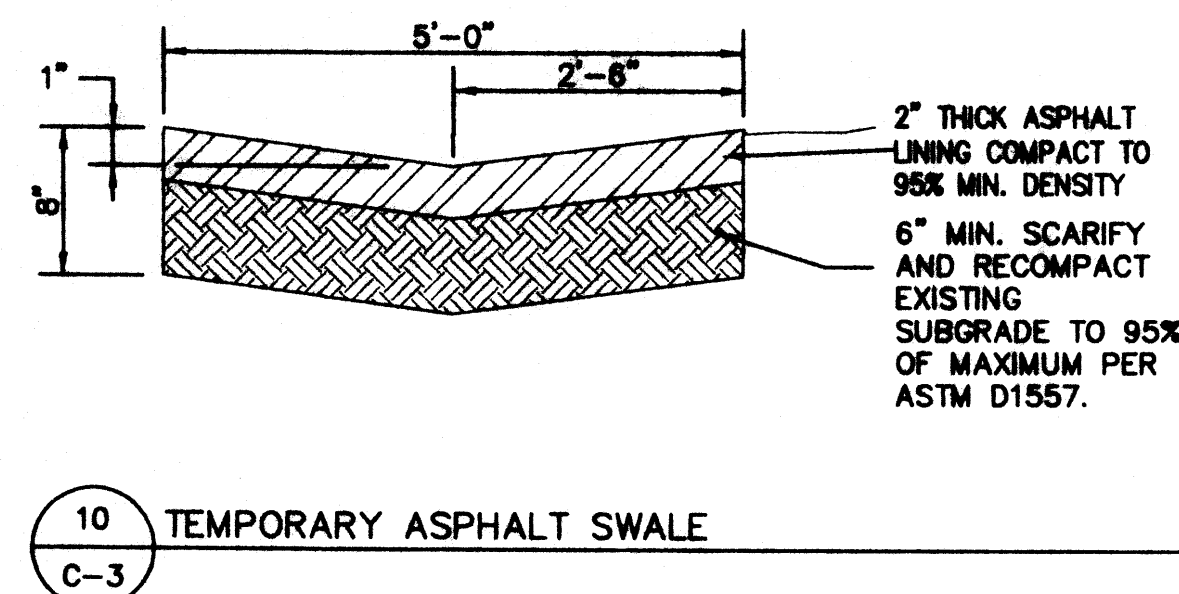
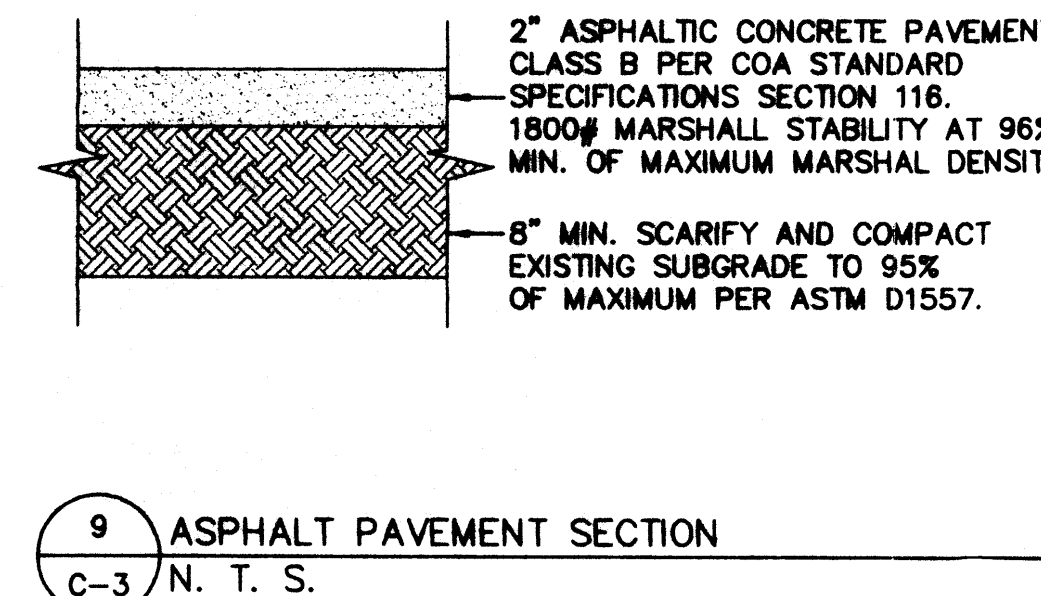
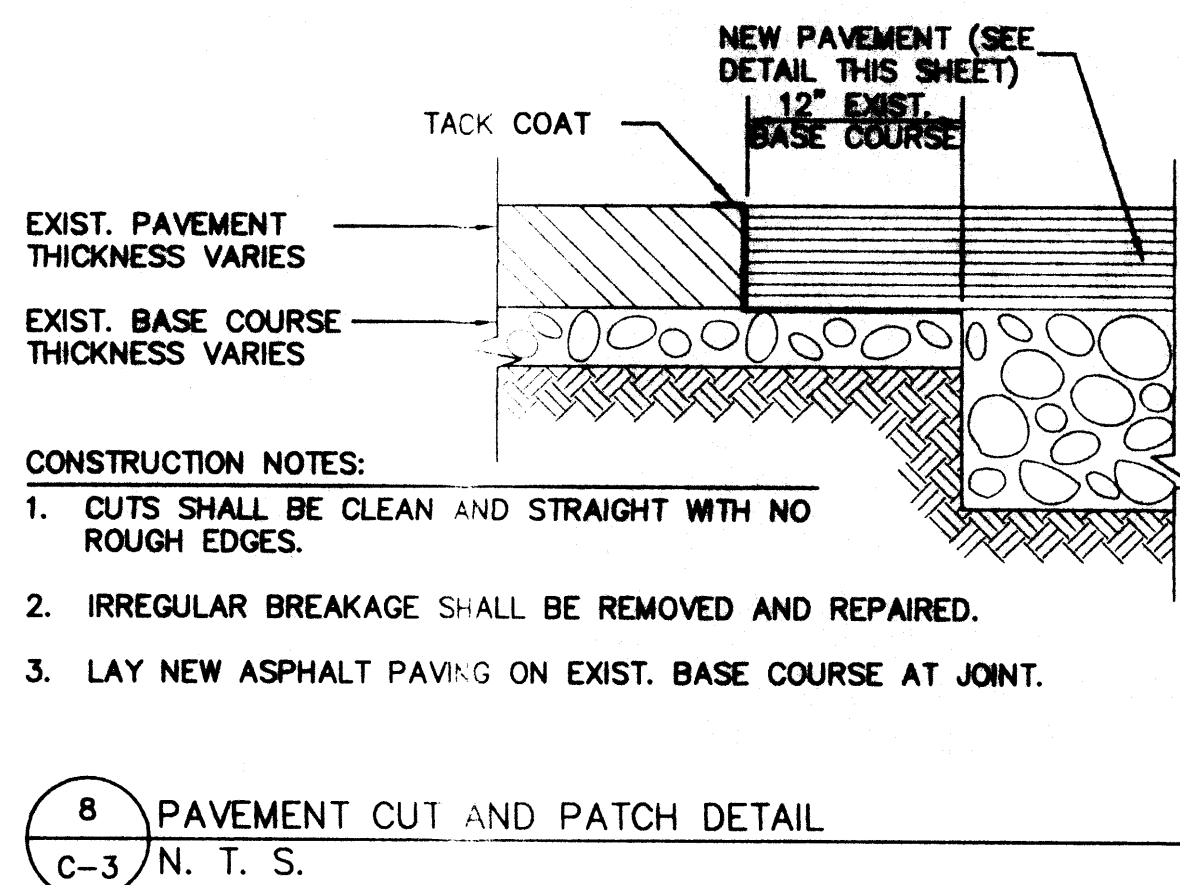
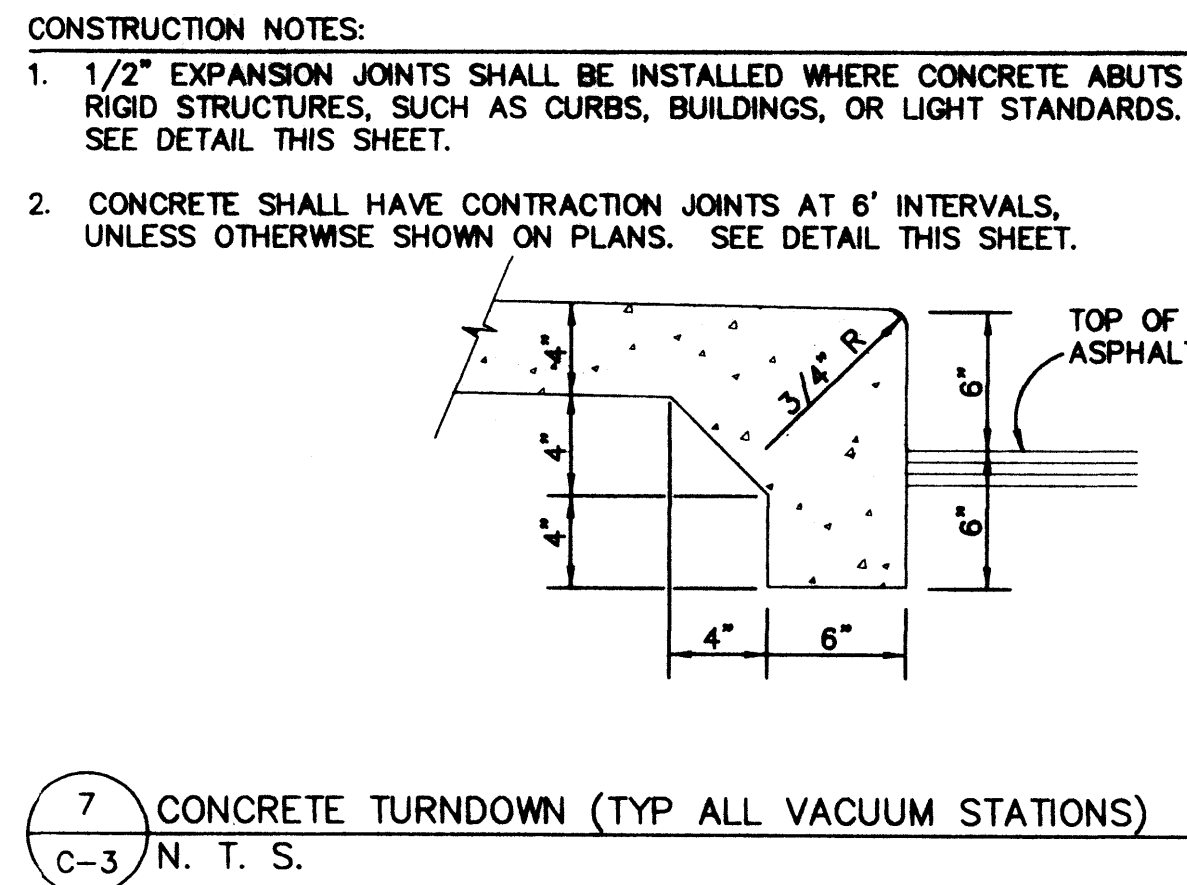
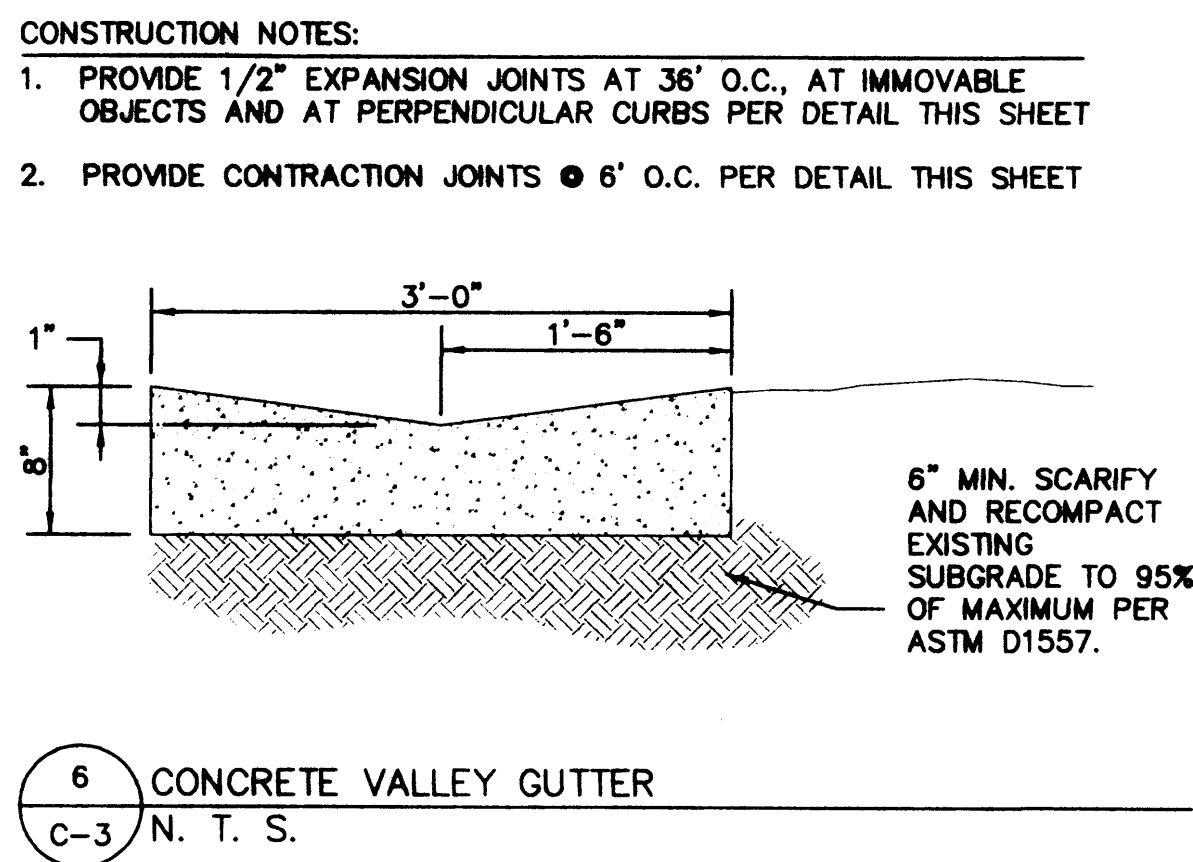
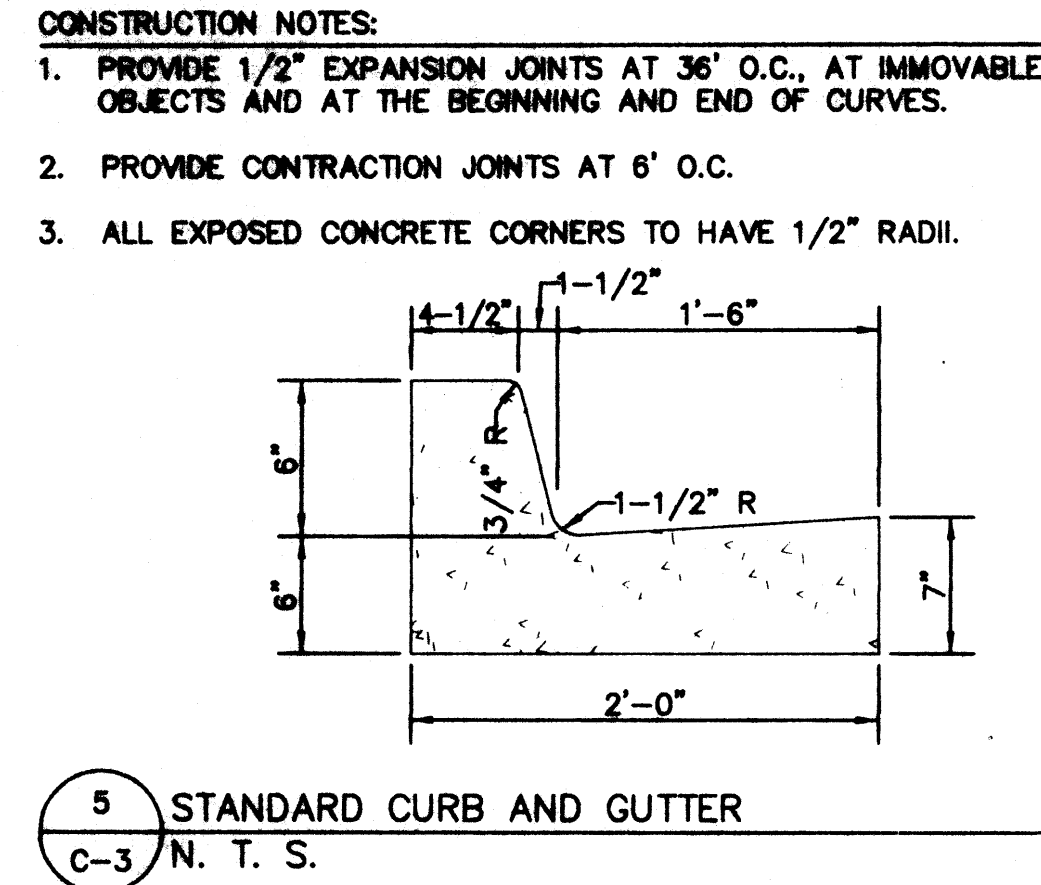
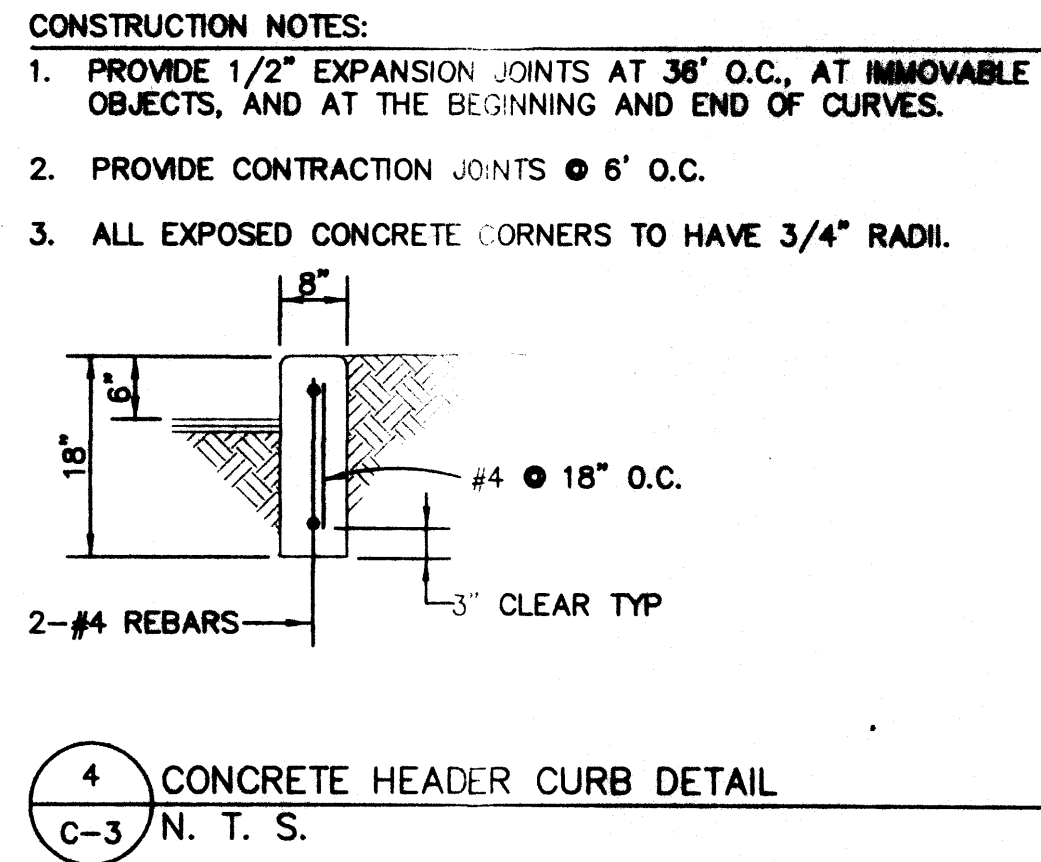
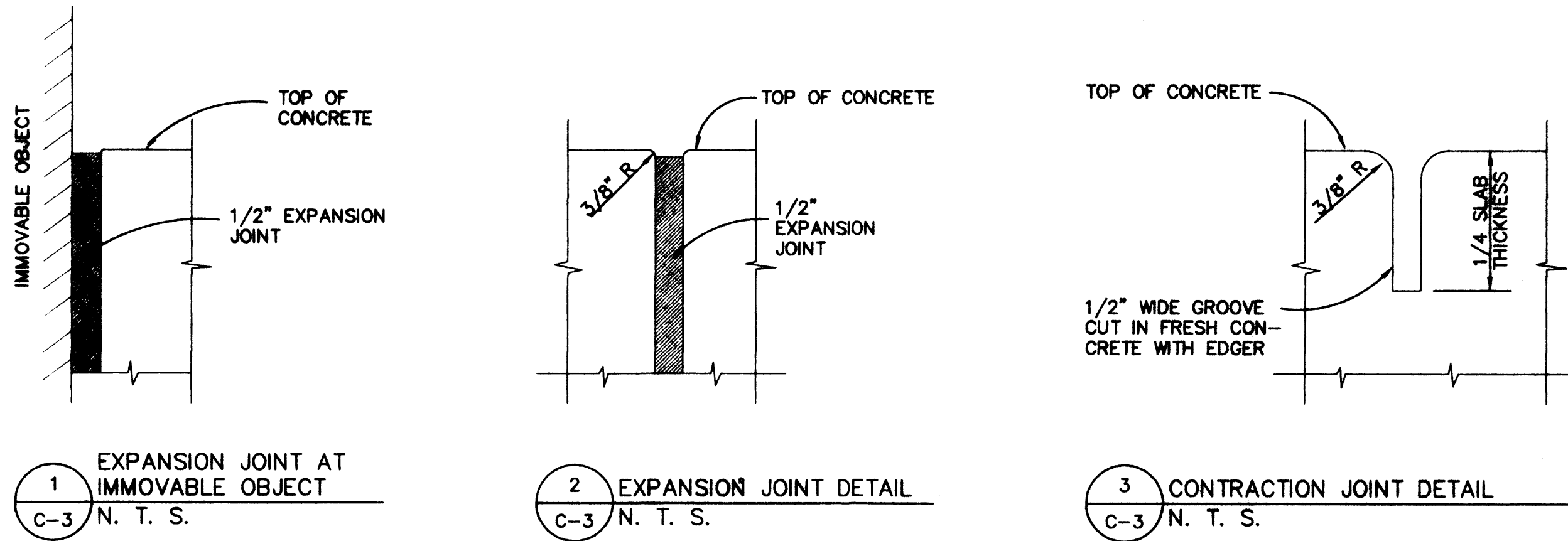
GRADING PLAN

SHEET NUMBER

C-2



LARRY READ & ASSOCIATES
Civil Engineers
4800-C Juan Tabo, NE
Albuquerque, New Mexico 87111
(505) 237-8421



DRAINAGE REPORT

LOCATION & DESCRIPTION

THE PROPOSED SITE IS 0.50 ACRES, LOCATED ON THE WEST END OF LOT A-26-A2A, AS SHOWN ON THE GRADING PLAN ON SHEET C-2. LOT A-26-A2A IS LOCATED NORTH OF QUAIL ROAD AND WEST OF COORS BOULEVARD. AS SHOWN ON THE VICINITY MAP ON SHEET C-2, ALL OF THE PROPERTIES AROUND THIS SITE ARE ALREADY DEVELOPED AND UTILIZE FREE DISCHARGE TO COORS BOULEVARD WHERE THE FLOW IS INTERCEPTED BY A STORM DRAIN. THIS LOT HAS A SLIGHT SLOPE TOWARD COORS BOULEVARD ENABLING IT TO DRAIN TO THE EAST.

FLOODPLAIN STATUS

THIS PROJECT, AS SHOWN ON FEMA'S FLOOD INSURANCE RATE MAP 35001C0337 D, DATED SEPTEMBER 20, 1996 IS NOT WITHIN ANY DESIGNATED 100-YEAR FLOODPLAIN. THE SITE IS DESIGNATED ON THE FIRM PANEL ON THIS SHEET.

METHODOLOGY

THE HYDROLOGY FOR THIS PROJECT WAS ANALYZED USING THE QUICK CALCULATIONS OF THE JUNE 1987 RELEASE OF THE CITY OF ALBUQUERQUE DEVELOPMENT PROCESS MANUAL, SECTION 22.2.

PRECIPITATION

THE 100-YR 8-HR DURATION STORM WAS USED AS THE DESIGN STORM FOR THIS ANALYSIS. THIS SITE IS WITHIN ZONE 1 AS IDENTIFIED IN THE CITY OF ALBUQUERQUE DEVELOPMENT PROCESS MANUAL, SECTION 22.2. TABLES WITHIN THIS SECTION WAS USED TO ESTABLISH THE 6-HOUR PRECIPITATION, EXCESS PRECIPITATION, AND PEAK DISCHARGE.

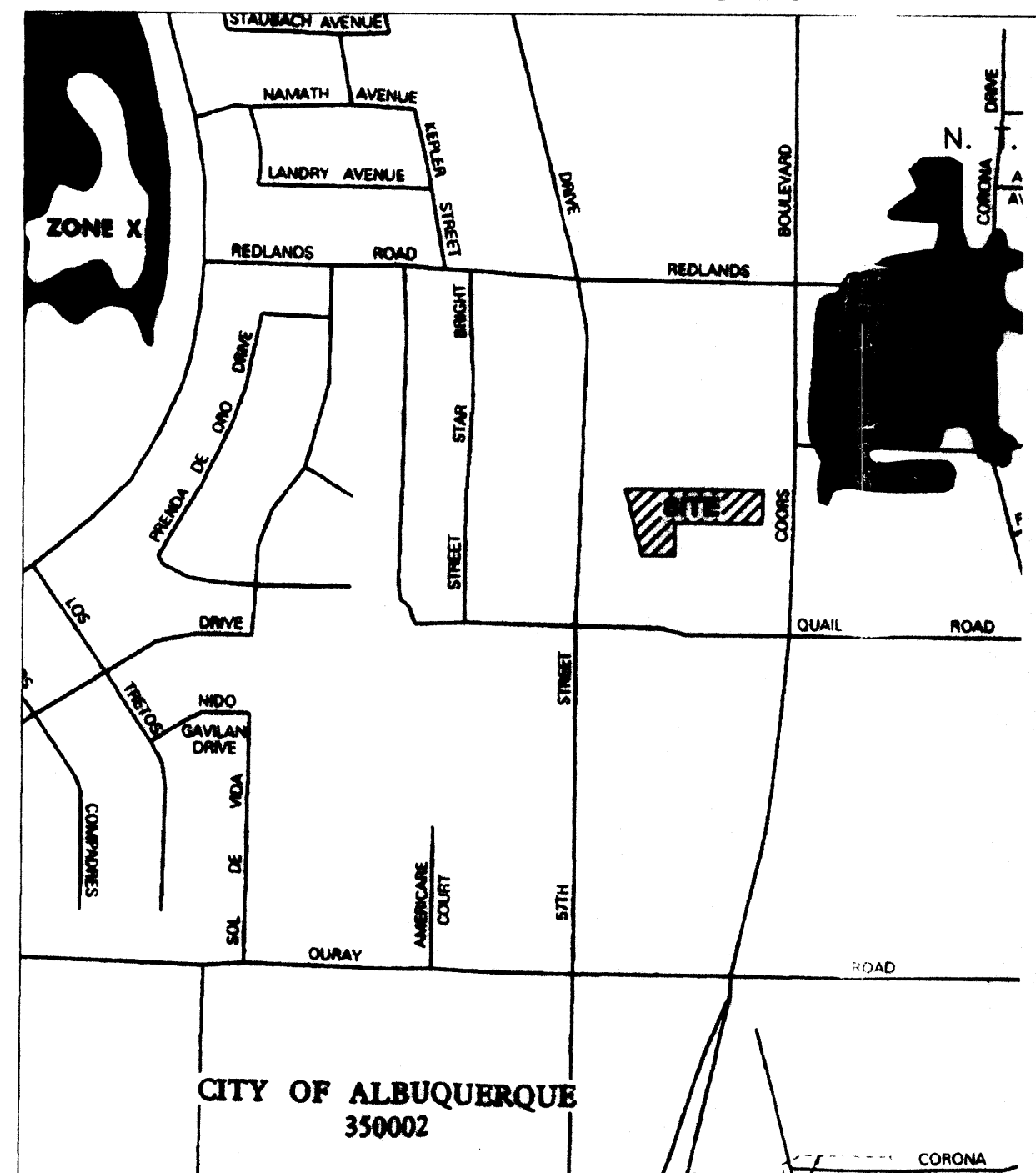
EXISTING DRAINAGE

THE SITE IS UNDEVELOPED AS DESCRIBED IN "LOCATION AND DESCRIPTION" ABOVE. ALL OF THE ADJACENT SITES HAVE BEEN FILLED TO DRAIN AWAY FROM THIS PROPERTY. THEREFORE, THERE ARE NO OFF SITE BASINS CONTRIBUTING DRAINAGE TO THIS SITE. A STORM DRAIN IN COORS BOULEVARD HAS BEEN DESIGNED AND CONSTRUCTED TO INTERCEPT DEVELOPED FLOWS FROM THIS TRACT OF LAND.

DEVELOPED CONDITION

AT THIS TIME ONLY 0.50 ACRES OF THE 1.24 ACRE SITE WILL BE DEVELOPED AS A CAR WASH. THE REMAINING 0.64 ACRES WILL REMAIN UNDEVELOPED. THE "100-YEAR HYDROLOGIC CALCULATIONS", ON THIS SHEET, DEMONSTRATE THAT THIS DEVELOPMENT WILL INCREASE THE RUNOFF FROM THIS SITE FROM 0.77 CFS TO 0.36 CFS. HOWEVER, THE AREA BEING DEVELOPED AS A CAR WASH IS ONLY 73.66% IMPERVIOUS WHICH IS LESS THAN THE DPM SECTION 22.2 ALLOWANCE OF 90% FOR COMMERCIAL SITES. THEREFORE, THIS DEVELOPMENT DISCHARGES LESS RUNOFF THAN WHAT WAS ANTICIPATED WHEN THE COORS STORM DRAIN WAS DESIGNED. GRADES HAVE BEEN SET TO ASSURE THAT SURFACE RUNOFF WILL CONTINUE TO CROSS THE UNDEVELOPED PORTION OF THIS LOT AND DRAIN TO COORS BOULEVARD WITHOUT OBSTRUCTING FUTURE DEVELOPMENT ON THE REMAINDER OF THE LOT. THEREFORE, THIS SITE CAN BE DEVELOPED ACCORDING TO THIS GRADING AND DRAINAGE PLAN WITHOUT ADVERSELY AFFECTING DOWNSTREAM PROPERTY.

FIRM PANEL 327



100-YEAR HYDROLOGIC CALCULATIONS

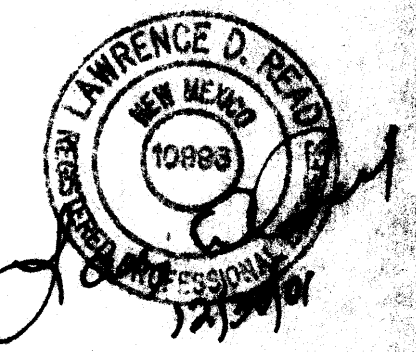
BASIN #	AREA (acres)	LAND TREATMENT				WEIGHTED	V (8-hr) (acre-ft)	V (8-hr) (cu-ft)	V(10 day) (acre-ft)	V(10 day) (cu-ft)	Q (cfs)
		A (%)	B (%)	C (%)	D (%)	E (%)					
EXISTING CONDITIONS											
CAR WASH	0.5000	100.00	0.00	0.00	0.00	0.48	0.02	948	0.02	948	0.77
REMAINDER	0.9442	76.62	0.00	10.83	13.54	0.71	0.04	1,053	0.05	2,118	1.21
TOTAL	1.4442						0.06	2,001	0.07	3,067	1.98
PROPOSED CONDITIONS											
CAR WASH	0.5000	0.00	0.00	28.34	73.66	1.71	0.08	3,850	0.14	6,024	2.38
REMAINDER	0.9442	76.62	0.00	10.83	13.54	0.71	0.04	1,053	0.05	2,118	1.21
TOTAL	1.4442						0.12	5,348	0.19	8,142	3.67
EXCESS PRECIP.											
		0.44	0.67	0.98	1.97	E (in)					
PEAK DISCHARGE		1.29	2.03	2.87	4.37	Q ₆ (cfs)					
ZONE = 1											
WEIGHTED E (in) = (E _A)(%A) + (E _B)(%B) + (E _C)(%C) + (E _D)(%D)							P _{6hr} (in.) = 2.20				
V _{6hr} (acre-ft) = (WEIGHTED E)(AREA)/12							P _{10day} (in.) = 2.66				
V _{10day} (acre-ft) = V _{6hr} + (A ₀)(P _{10day} - P _{6hr})/12							P _{24day} (in.) = 3.67				
Q (cfs) = (Q _{6hr})(A ₀) + (Q _{10day})(A ₀) + (Q _{24day})(A ₀) + (Q _{48day})(A ₀)											

LARRY READ & ASSOCIATES
Civil Engineers
4800-C Juan Tabo, NE
Albuquerque, New Mexico 87111
(505) 237-8421

NEW CAR WASH FACILITY
FOR LUBRICAR, INC.
COORS BLVD. & QUAIL RD., NW
ALBUQUERQUE, NEW MEXICO

T A R C H I T E C T
ARCHITECT SEAL

ENGINEER SEAL



PROJECT

REVISIONS

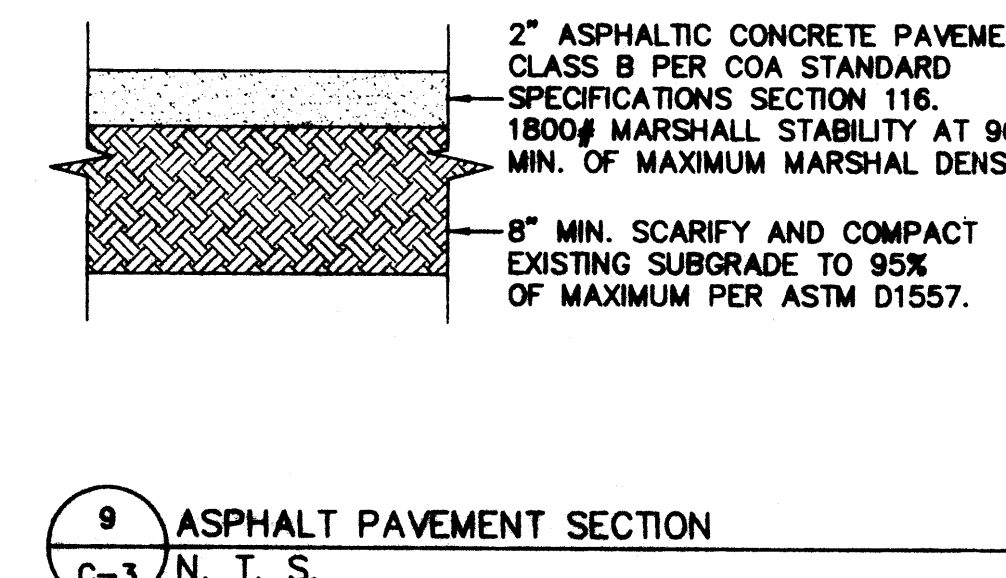
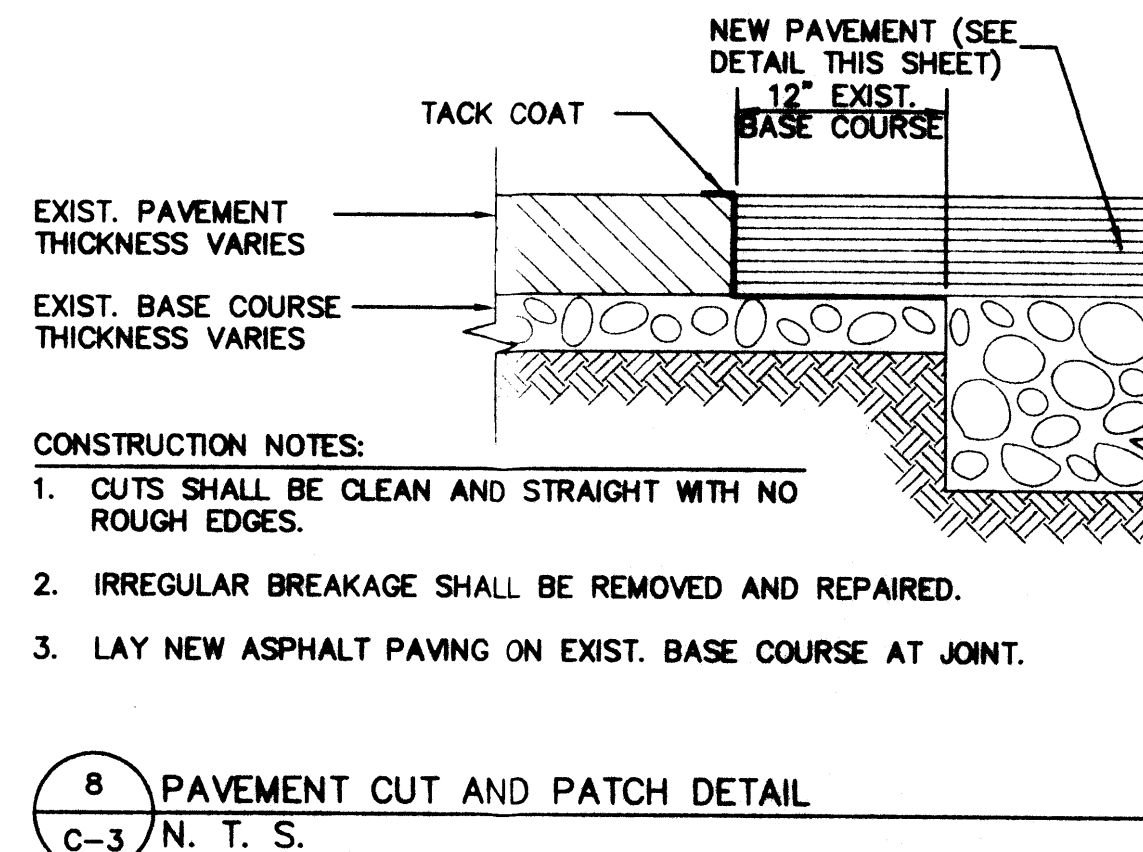
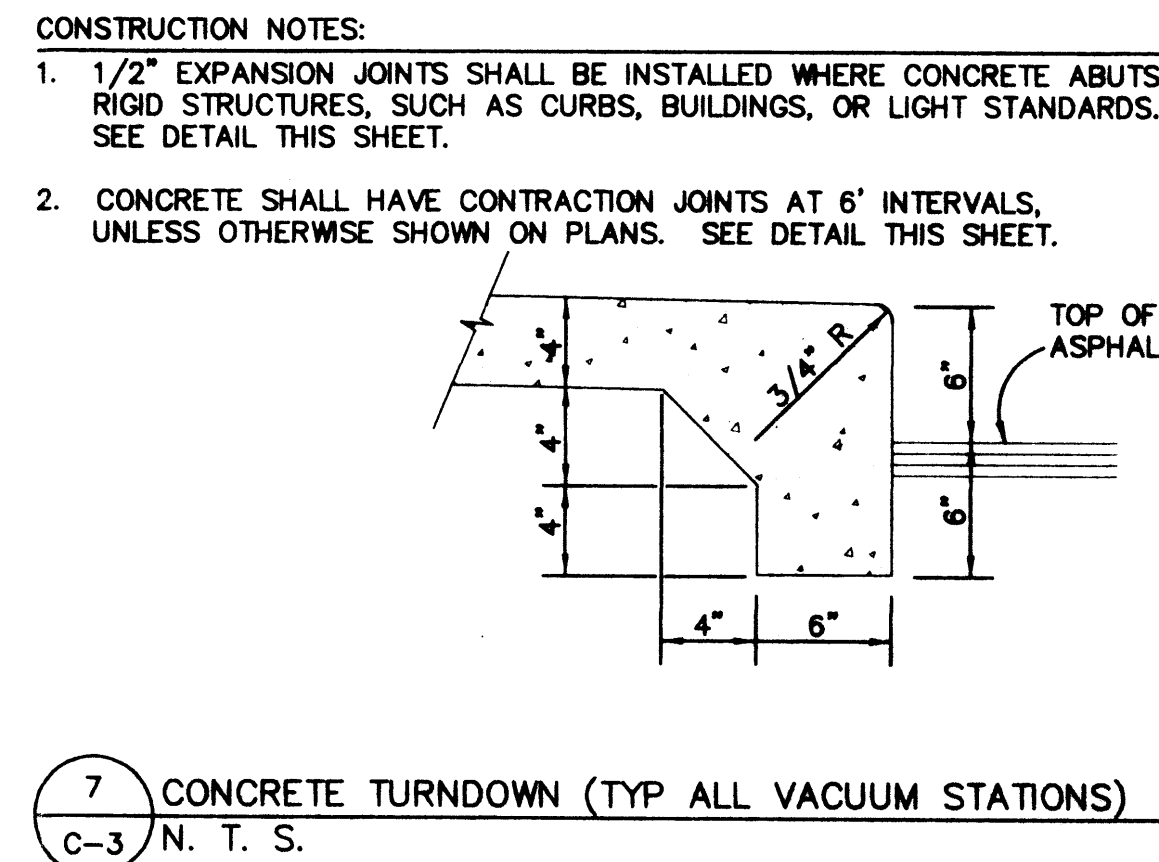
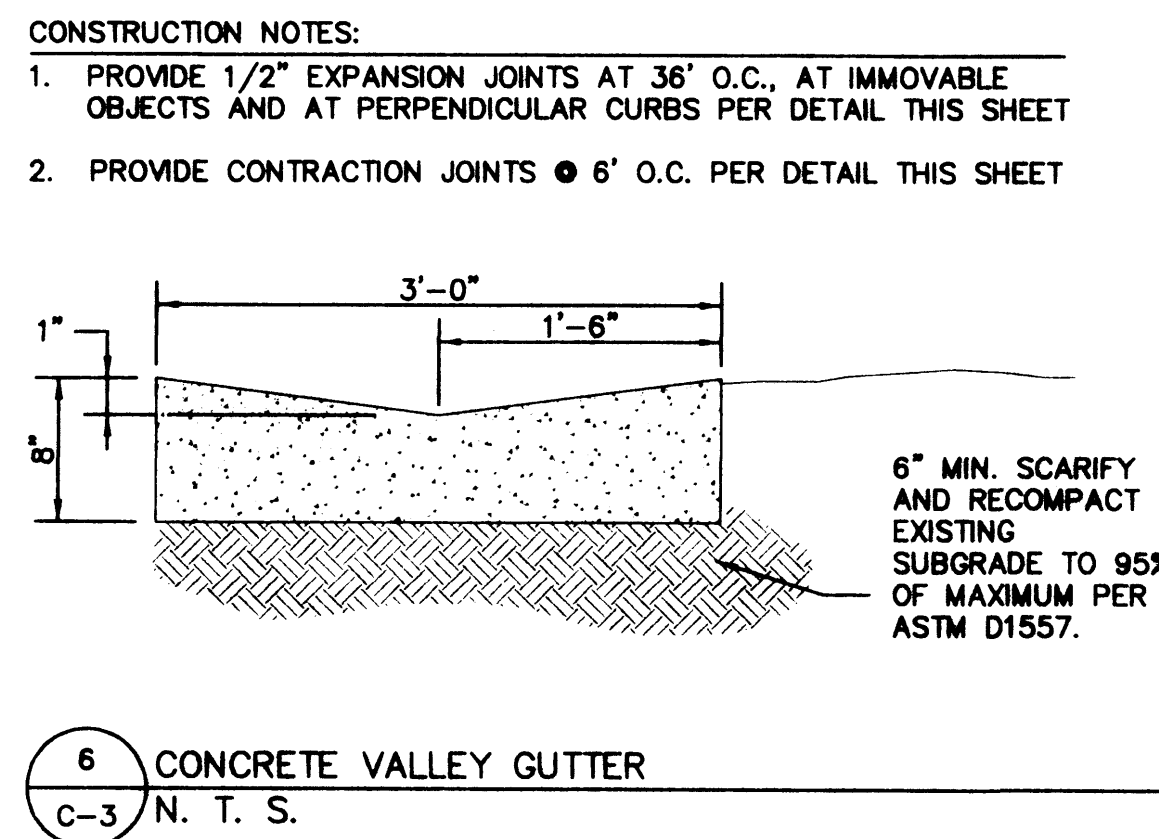
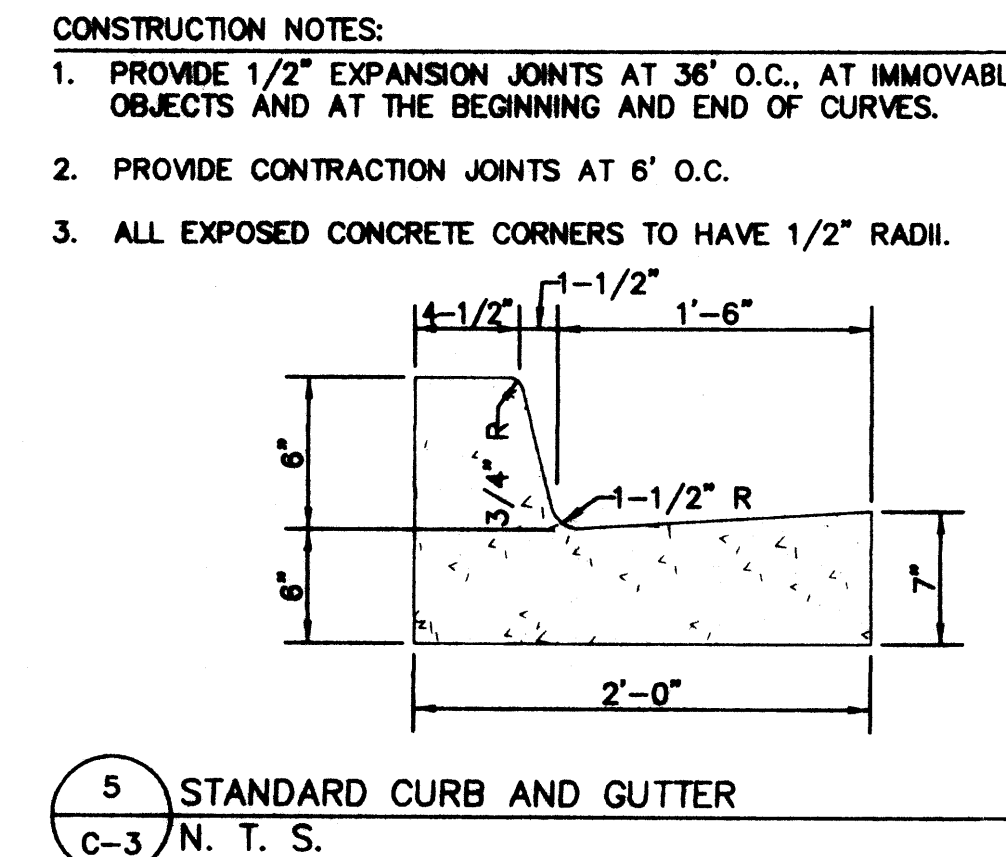
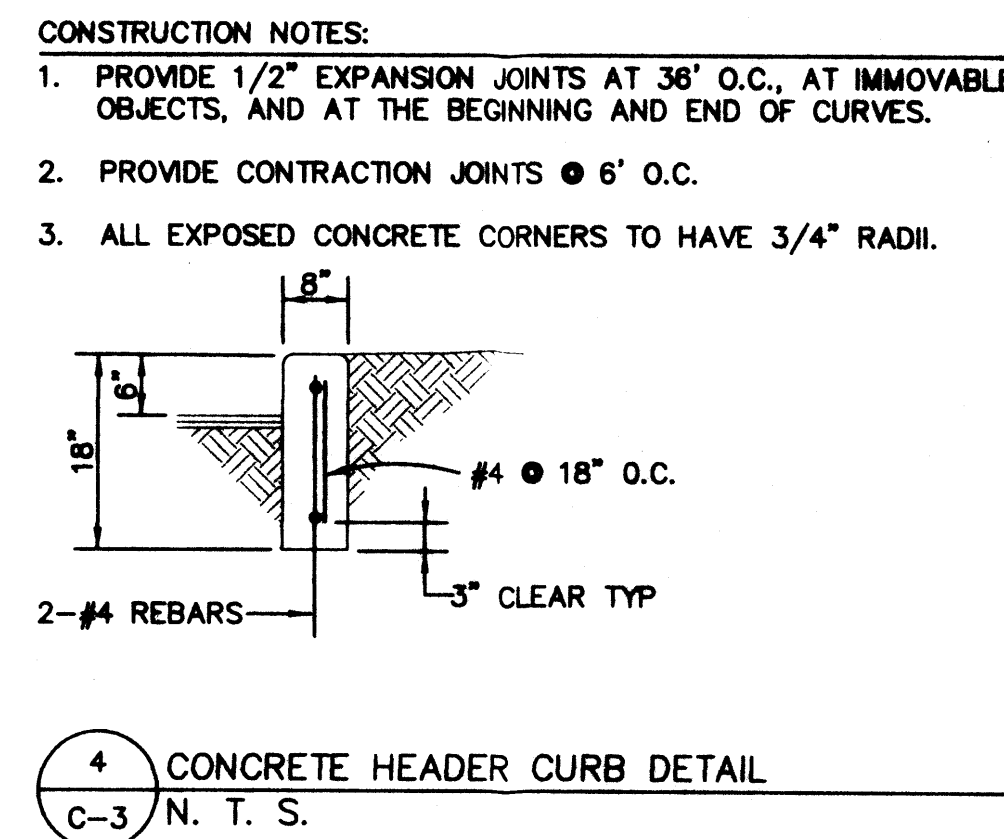
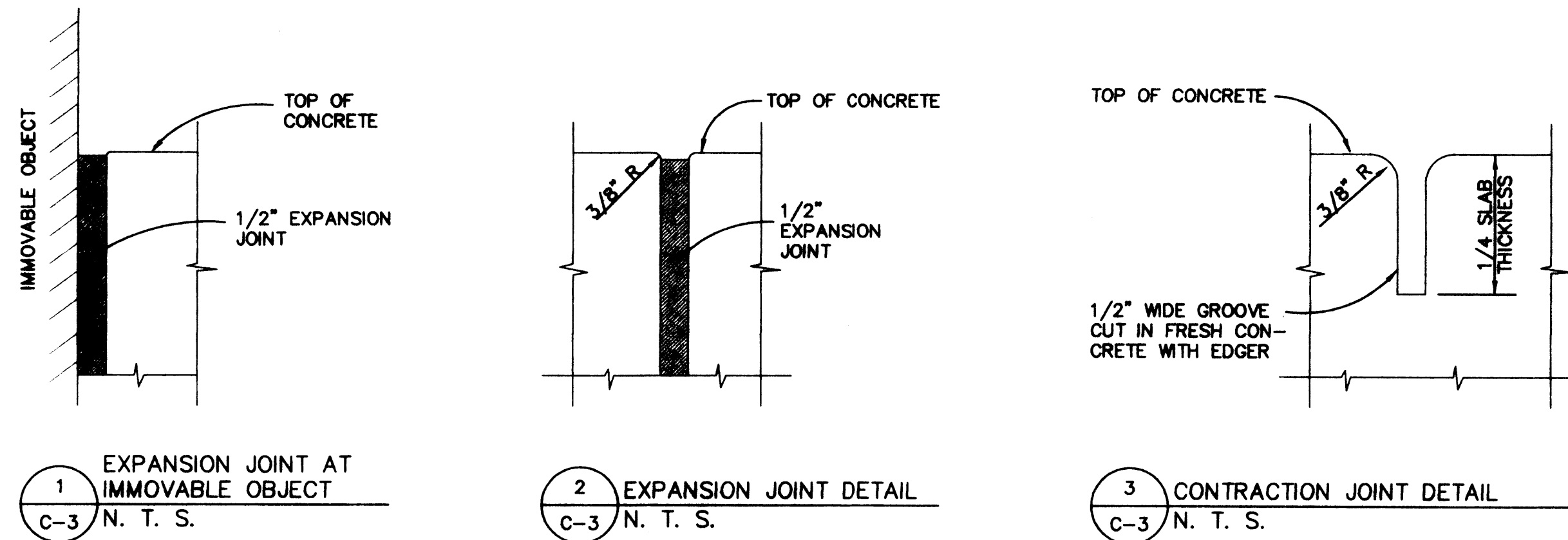
DATE OCTOBER 25, 2003
SCALE

1"=20'

DRAWING NAME
DETAILS AND DRAINAGE PLAN

SHEET NUMBER

C-3



DRAINAGE REPORT

LOCATION & DESCRIPTION

THE PROPOSED SITE IS 0.59 ACRES, LOCATED ON THE WEST END OF LOT A-28-A2A, AS SHOWN ON THE GRADING PLAN ON SHEET C-2. LOT A-28-A2A IS LOCATED NORTH OF QUAIL ROAD AND WEST OF COORS BOULEVARD, AS SHOWN ON THE VICINITY MAP ON SHEET C-2. ALL OF THE PROPERTIES AROUND THIS SITE ARE ALREADY DEVELOPED AND UTILIZE FREE DISCHARGE TO COORS BOULEVARD WHERE THE FLOW IS INTERCEPTED BY A STORM DRAIN. THIS LOT HAS A SLIGHT SLOPE TOWARD COORS BOULEVARD ENABLING IT TO DRAIN TO THE EAST.

FLOODPLAIN STATUS

THIS PROJECT, AS SHOWN ON FEMA'S FLOOD INSURANCE RATE MAP 35001C0337 D, DATED SEPTEMBER 20, 1996 IS NOT WITHIN ANY DESIGNATED 100-YEAR FLOODPLAIN. THE SITE IS DESIGNATED ON THE FIRM PANEL ON THIS SHEET.

METHODOLOGY

THE HYDROLOGY FOR THIS PROJECT WAS ANALYZED USING THE QUICK CALCULATIONS OF THE JUNE 1997 RELEASE OF THE CITY OF ALBUQUERQUE DEVELOPMENT PROCESS MANUAL, SECTION 22.2.

PRECIPITATION

THE 100-YR 6-HR DURATION STORM WAS USED AS THE DESIGN STORM FOR THIS ANALYSIS. THIS SITE IS WITHIN ZONE 1 AS IDENTIFIED IN THE CITY OF ALBUQUERQUE DEVELOPMENT PROCESS MANUAL, SECTION 22.2. TABLES WITHIN THIS SECTION WAS USED TO ESTABLISH THE 6-HOUR PRECIPITATION, EXCESS PRECIPITATION, AND PEAK DISCHARGE.

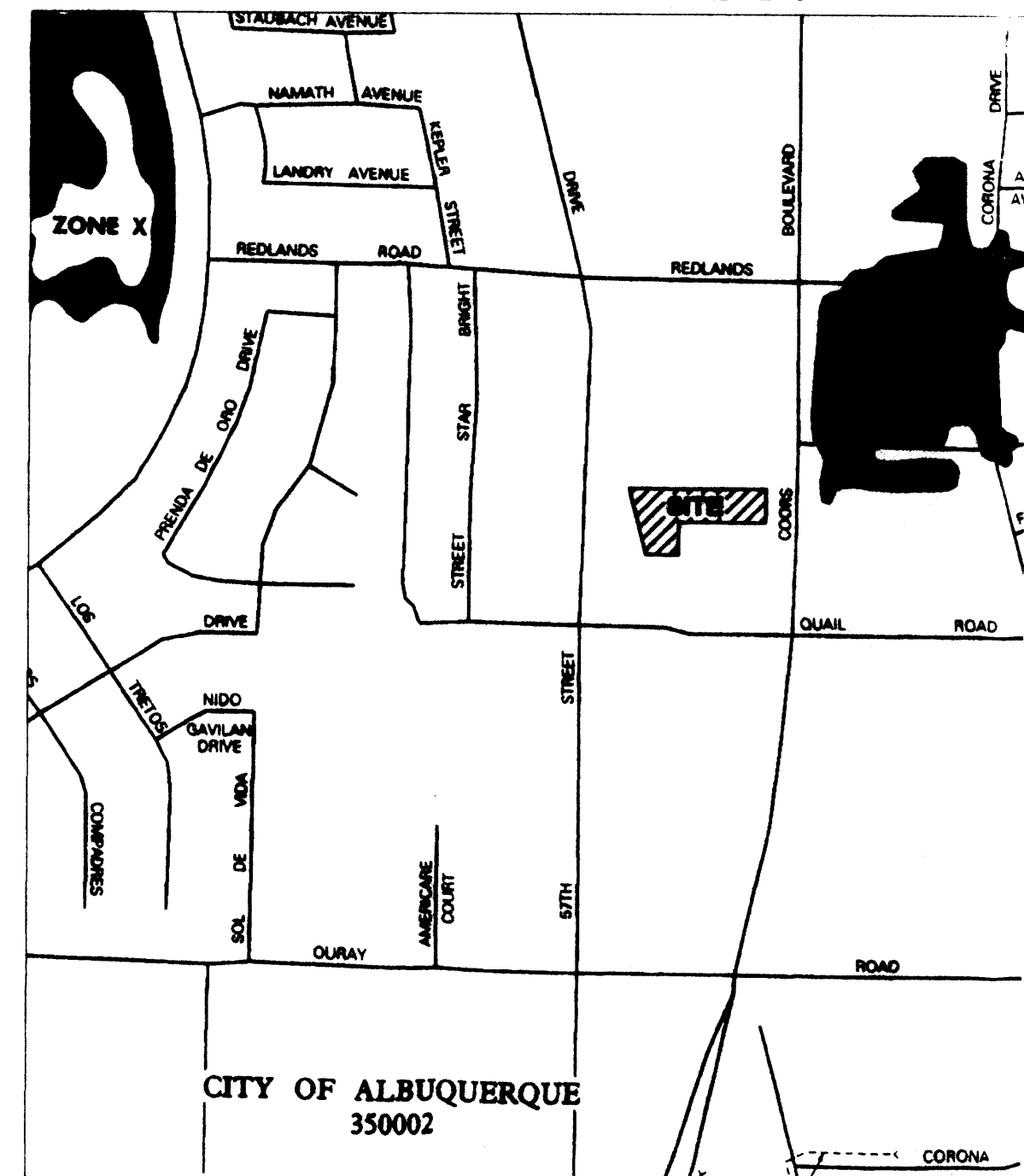
EXISTING DRAINAGE

THE SITE IS UNDEVELOPED AS DESCRIBED IN "LOCATION AND DESCRIPTION" ABOVE. ALL OF THE ADJACENT SITES HAVE BEEN FILLED TO DRAIN AWAY FROM THIS PROPERTY. THEREFORE, THERE ARE NO OFF SITE BASINS CONTRIBUTING DRAINAGE TO THIS SITE. A STORM DRAIN IN COORS BOULEVARD HAS BEEN DESIGNED AND CONSTRUCTED TO INTERCEPT DEVELOPED FLOWS FROM THIS TRACT OF LAND.

DEVELOPED CONDITION

AT THIS TIME ONLY 0.59 ACRES OF THE 1.24 ACRE SITE WILL BE DEVELOPED AS A CAR WASH. THE REMAINING 0.64 ACRES WILL REMAIN UNDEVELOPED. THE "100-YEAR HYDROLOGIC CALCULATIONS", ON THIS SHEET, DEMONSTRATE THAT THIS DEVELOPMENT WILL INCREASE THE RUNOFF FROM THIS SITE FROM 0.77 CFS TO 2.36 CFS. HOWEVER, THE AREA BEING DEVELOPED AS A CAR WASH IS ONLY 73.68% IMPERVIOUS WHICH IS LESS THAN THE DPM SECTION 22.2 ALLOWANCE OF 90% FOR COMMERCIAL SITES. THEREFORE, THIS DEVELOPMENT DISCHARGES LESS RUNOFF THAN WHAT WAS ANTICIPATED WHEN THE COORS STORM DRAIN WAS DESIGNED. GRADES HAVE BEEN SET TO ASSURE THAT SURFACE RUNOFF WILL CONTINUE TO CROSS THE UNDEVELOPED PORTION OF THIS LOT AND DRAIN TO COORS BOULEVARD WITHOUT OBSTRUCTING FUTURE DEVELOPMENT ON THE REMAINDER OF THE LOT. THEREFORE, THIS SITE CAN BE DEVELOPED ACCORDING TO THIS GRADING AND DRAINAGE PLAN WITHOUT ADVERSELY AFFECTING DOWNSTREAM PROPERTY.

FIRM PANEL 327



100-YEAR HYDROLOGIC CALCULATIONS											
BASIN #	AREA (acre)	LAND TREATMENT				WEIGHTED E (in)	V (6-hr) (acre-ft)	V (6-hr) (cu-ft)	V(10 day) (acre-ft)	V(10 day) (cu-ft)	Q (cfs)
		A (%)	B (%)	C (%)	D (%)						
EXISTING CONDITIONS											
CAR WASH	0.5938	100.00	0.00	0.00	0.00	0.44	0.02	948	0.02	948	0.77
REMAINDER	0.6442	75.62	0.00	10.83	13.54	0.71	0.04	1,953	0.05	2,118	1.21
TOTAL	1.2380						0.66	2,901	0.07	3,067	1.98
PROPOSED CONDITIONS											
CAR WASH	0.5938	0.00	0.00	28.34	73.66	1.71	0.08	3,890	0.14	8,024	2.36
REMAINDER	0.6442	75.62	0.00	10.83	13.54	0.71	0.04	1,953	0.05	2,118	1.21
TOTAL	1.2380						0.12	5,343	0.19	8,142	3.57
EXCESS PRECIP.		0.44	0.67	0.99	1.97	E (in)					
PEAK DISCHARGE		1.29	2.03	2.87	4.37	Q _{in} (cfs)					
WEIGHTED E (in) = (E _A)(%A) + (E _B)(%B) + (E _C)(%C) + (E _D)(%D)							ZONE = 1				
V _{6hr} (acre-ft) = (WEIGHTED E)(AREA)/12							P _{6hr} (in.) = 2.20				
V _{10day} (acre-ft) = V _{6hr} + (A _u)(P _{6hr} - P _{10day})/12							P _{6hr} (in.) = 2.06				
Q (cfs) = (Q _{in})(A _u) + (Q _{ex})(A _u) + (Q _{ex})(A _u) + (Q _{ex})(A _u)							P _{10day} (in.) = 3.67				

T A T E F I S H B U R N
A R C H I T E C T
ARCHITECT SEAL

ENGINEER SEAL
LAWRENCE D. READ
NEW MEXICO
10938
PROFESSIONAL ENGINEER
PROJECT

NEW CAR WASH FACILITY
FOR LUBRICAR, INC.
COORS BLVD. & QUAIL RD., NW
ALBUQUERQUE, NEW MEXICO

REVISIONS
DATE OCTOBER 25, 2001
SCALE 1"=20'
DRAWING NAME
DETAILS AND DRAINAGE PLAN
SHEET NUMBER

LARRY READ & ASSOCIATES
Civil Engineers
4800 C. Juan Yabo, NE
Albuquerque, New Mexico 87111
(505) 237-8421

C-3

GENERAL CONSTRUCTION NOTES

GENERAL

CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL REQUIRED CONSTRUCTION PERMITS, INCLUDING A TOP SOIL DISTURBANCE PERMIT, PRIOR TO START OF CONSTRUCTION.

ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE, AND LOCAL LAWS, ORDINANCES, AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.

REFERENCES MADE TO STANDARD SPECIFICATIONS AND STANDARD DRAWINGS REFER TO THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1988 EDITION WITH ALL UPDATES.

THE CONTRACTOR SHALL NOT INSTALL ITEMS AS SHOWN ON THESE PLANS WHEN IT IS OBVIOUS THAT FIELD CONDITIONS ARE DIFFERENT THAN SHOWN IN THE PLANS. SUCH CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER IN A TIMELY MANNER. IN THE EVENT THE CONTRACTOR DOES NOT NOTIFY THE ENGINEER IN A TIMELY MANNER, THE CONTRACTOR ASSUMES FULL RESPONSIBILITY AND EXPENSE FOR ANY REVISIONS NECESSARY, INCLUDING ENGINEERING DESIGN FEES.

EXISTING SITE IMPROVEMENTS WHICH ARE DAMAGED OR DISPLACED BY THE CONTRACTOR SHALL BE REMOVED AND REPLACED BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE. REPAIRS SHALL BE APPROVED BY THE OWNER PRIOR TO CONSTRUCTION OF THE REPAIRS. REPAIRS SHALL BE ACCEPTED BY THE OWNER PRIOR TO FINAL PAYMENT.

EXISTING FENCING THAT IS NOT DESIGNATED FOR REMOVAL SHALL NOT BE DISTURBED. ANY FENCING THAT IS DISTURBED OR ALTERED BY THE CONTRACTOR SHALL BE RESTORED TO ITS ORIGINAL CONDITION AT THE CONTRACTOR'S EXPENSE. IF THE CONTRACTOR DESIRES TO REMOVE FENCING TO ACCOMMODATE CONSTRUCTION ACTIVITIES, THE CONTRACTOR SHALL OBTAIN THE OWNER'S WRITTEN PERMISSION BEFORE THE FENCE IS REMOVED. CONTRACTOR SHALL RESTORE THE FENCE TO ITS ORIGINAL CONDITION AT THE EARLIEST OPPORTUNITY. WHILE ANY FENCING IS REMOVED, THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR SECURITY OF THE SITE UNTIL THE FENCE IS RESTORED.

WORK WITHIN ADJACENT RIGHT-OF-WAY

PRIOR TO BEGINNING ANY CONSTRUCTION ACTIVITIES WITHIN ADJACENT RIGHT-OF-WAYS OR WITHIN PROPERTY NOT OWNED BY THE OWNER OF THE PROJECT SITE, THE CONTRACTOR SHALL ASSURE THAT ALL PERMITS AND PERMISSIONS REQUIRED HAVE BEEN OBTAINED IN WRITING.

SURVEY MONUMENTS, PROPERTY CORNERS, BENCHMARKS

THE CONTRACTOR SHALL NOTIFY THE OWNER AT LEAST SEVEN DAYS BEFORE BEGINNING ANY CONSTRUCTION ACTIVITY THAT COULD DAMAGE OR DISPLACE SURVEY MONUMENTS, PROPERTY CORNERS, OR PROJECT BENCHMARKS SO THESE ITEMS MAY BE RELOCATED.

ANY SURVEY MONUMENTS, PROPERTY CORNERS, OR BENCHMARKS THAT ARE NOT IDENTIFIED FOR RELOCATION ARE THE RESPONSIBILITY OF THE CONTRACTOR TO PRESERVE AND PROTECT. RELOCATION OR REPLACEMENT OF THESE ITEMS SHALL BE DONE BY THE OWNER'S SURVEYOR AT THE EXPENSE OF THE CONTRACTOR.

DIMENSIONS

ALL DIMENSIONS TO CURBS ARE TO THE FLOWLINE UNLESS OTHERWISE NOTED.

ALL STATIONING IS TO THE CENTERLINE OF THE RIGHT-OF-WAY UNLESS OTHERWISE NOTED.

ALL SLOPES AND GRADES ARE IN PERCENT UNLESS OTHERWISE NOTED.

CURB ELEVATIONS ARE SHOWN AT THE FLOW LINE UNLESS OTHERWISE NOTED. SEE THE DETAIL SHEET TO DETERMINE THE CURB HEIGHT ABOVE FLOW LINE.

SOILS

UNLESS OTHERWISE SPECIFIED, SUBGRADE, ENGINEERED FILL, AND STRUCTURAL FILL SHALL BE COMPACTED TO THE FOLLOWING SPECIFICATIONS OF THE ASTM D-1557 MAXIMUM DRY DENSITY.

MATERIAL / LOCATION	PERCENT COMPACTION
STRUCTURAL FILL IN THE BUILDING AREA	95%
SUBBASE FOR SLAB SUPPORT	95%
MISCELLANEOUS BACKFILL BELOW STRUCTURAL FILL OR ROADWAY PAVEMENT	95%
MISCELLANEOUS BACKFILL BELOW UNPAVED, NON-BUILDING AREAS	90%
ROADWAY PAVEMENT SUBGRADE	95%
SIDEWALK SUBGRADE	90%
CURB AND GUTTER SUBGRADE	95%

PAVEMENT

WHEN ABUTTING NEW PAVEMENT TO EXISTING PAVEMENT, CUT EXISTING PAVEMENT EDGE TO A NEAT, STRAIGHT LINE AS NECESSARY TO REMOVE ANY BROKEN OR CRACKED PAVEMENT AND MATCH NEW PAVEMENT ELEVATION TO EXISTING.

ALL UTILITIES AND UTILITY SERVICE LINES SHALL BE INSTALLED AND APPROVED PRIOR TO PAVING.

ALL WATER VALVE BOXES AND ELECTRICAL, TELEPHONE, TELEVISION, AND SEWER MANHOLES IN THE CONSTRUCTION AREA SHALL BE ADJUSTED TO FINISHED GRADE BEFORE PAVING.

WHEN SIDEWALK OR CURB AND GUTTER IS REMOVED, IT SHALL BE REMOVED TO EXISTING CONSTRUCTION JOINTS. CUTTING OR BREAKING SHALL NOT BE ALLOWED.

LEGEND

	EX BLOCK WALL		LIGHT POLE		EX SD INLET
	EX SPOT ELEV.		EX FIRE HYDRANT		CONCRETE
	PROP SPOT ELEV.		EX WATER VALVE		EX WATER METER
	EX BLOCK WALL		EX SD MANHOLE		EXIST. TREE
	TRANSFORMER		EX SAS MANHOLE		

UTILITIES

IF ANY UTILITY LINES, PIPELINES, OR UNDERGROUND UTILITY LINES ARE SHOWN ON THESE DRAWINGS, THEY ARE SHOWN IN AN APPROXIMATE LOCATION ONLY BASED ON THE INFORMATION PROVIDED TO THE ENGINEER BY OTHERS. THIS INFORMATION MAY BE INACCURATE OR INCOMPLETE. ADDITIONALLY, UNDERGROUND LINES MAY EXIST THAT ARE NOT SHOWN. THE CONTRACTOR SHALL VERIFY THE LOCATION OF ANY UTILITY LINE, PIPELINE, OR UNDERGROUND UTILITY LINE IN OR NEAR THE AREA OF THE WORK IN ACCORDANCE WITH CHAPTER 62, ARTICLE 14-1, THROUGH 14-8, NMSA 1978.

THE CONTRACTOR SHALL CONTACT THE STATEWIDE UTILITY LOCATOR SERVICE AT 1-800-321-2537 AT LEAST TWO WORKING DAYS BEFORE BEGINNING CONSTRUCTION. AFTER THE UTILITIES ARE SPOTTED, THE CONTRACTOR SHALL EXPOSE ALL PERTINENT UTILITIES TO VERIFY THEIR VERTICAL AND HORIZONTAL LOCATION. IF A CONFLICT EXISTS BETWEEN EXISTING UTILITIES AND PROPOSED CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH MINIMAL DELAY.

THE CONTRACTOR SHALL EXERCISE DUE CARE TO AVOID DISTURBING ANY EXISTING UTILITIES, ABOVE OR BELOW GROUND. UTILITIES THAT ARE DAMAGED BY CARELESS CONSTRUCTION SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE.

EXISTING VALVES SHALL ONLY BE OPERATED BY THE UTILITY COMPANY. CONTRACTOR SHALL NOTIFY THE UTILITY A MINIMUM OF TWO WORKING DAYS BEFORE ANY VALVE, NEW OR EXISTING, NEEDS TO BE OPERATED.

THE CONTRACTOR SHALL COORDINATE ANY REQUIRED UTILITY INTERRUPTIONS WITH THE OWNER AND AFFECTED UTILITY COMPANY A MINIMUM OF THREE WORKING DAYS BEFORE THE INTERRUPTION.

THE CONTRACTOR SHALL MAINTAIN A RECORD DRAWING SET OF PLANS AND PROMPTLY LOCATE ALL UTILITIES, EXISTING OR NEW, IN THEIR CORRECT LOCATION, HORIZONTAL AND VERTICAL. THIS RECORD SET OF DRAWINGS SHALL BE MAINTAINED ON THE PROJECT SITE AND SHALL BE AVAILABLE TO THE OWNER AND ENGINEER AT ANY TIME DURING CONSTRUCTION.

EROSION CONTROL, ENVIRONMENTAL PROTECTION, AND STORM WATER POLLUTION PREVENTION PLAN

THE CONTRACTOR SHALL CONFORM TO ALL CITY, COUNTY, STATE, AND FEDERAL DUST AND EROSION CONTROL REGULATIONS. THE CONTRACTOR SHALL OBTAIN AND PREPARE ANY DUST CONTROL OR EROSION CONTROL PERMITS REQUIRED FROM THE REGULATORY AGENCIES.

THE CONTRACTOR SHALL PROMPTLY REMOVE ANY MATERIAL EXCAVATED WITH THE PUBLIC RIGHT-OF-WAY OR ADJACENT PROPERTY TO KEEP IT FROM WASHING OFF THE PROJECT SITE.

THE CONTRACTOR SHALL ENSURE THAT NO SOIL ERODES FROM THE SITE ONTO ADJACENT PROPERTY BY CONSTRUCTION OF TEMPORARY EROSION CONTROL BERMS OR INSTALLING SILT FENCES AT THE PROPERTY LINES AND WETTING THE SOIL TO PREVENT IT FROM BLOWING.

WATERING, AS REQUIRED FOR CONSTRUCTION DUST CONTROL, SHALL BE CONSIDERED INCIDENTAL TO CONSTRUCTION AND NO MEASUREMENT OR PAYMENT SHALL BE MADE. CONSTRUCTION AREAS SHALL BE WATERED FOR DUST CONTROL IN COMPLIANCE WITH GOVERNMENT ORDINANCES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING AND SUPPLYING WATER AS REQUIRED.

ANY AREAS DISTURBED BY CONSTRUCTION AND NOT COVERED BY LANDSCAPING OR IMPERVIOUS SURFACES SHALL BE REVEGETATED WITH RECLAMATION SEEDING.

THE CONTRACTOR SHALL PROPERLY HANDLE AND DISPOSE OF ALL ASPHALT REMOVED ON THE PROJECT BY HAULING IT TO AN APPROVED DISPOSAL SITE IN ACCORDANCE WITH THE REQUIREMENTS OF THE NEW MEXICO SOLID WASTE ACT.

ALL WASTE PRODUCTS FROM THE CONSTRUCTION SITE, INCLUDING ITEMS DESIGNED FOR REMOVAL, CONSTRUCTION WASTE, CONSTRUCTION EQUIPMENT WASTE PRODUCTS (OIL, GAS, TIRES, ETC.), GARBAGE, GRUBBING, EXCESS CUT MATERIAL, VEGETATIVE DEBRIS, ETC., SHALL BE APPROPRIATELY DISPOSED OF OFFSET AT NO ADDITIONAL COST TO THE OWNER. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN ANY PERMITS REQUIRED FOR HAUL OR DISPOSAL OF WASTE PRODUCTS. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT THE WASTE DISPOSAL SITE COMPLIES WITH GOVERNMENT REGULATIONS REGARDING THE ENVIRONMENT, ENDANGERED SPECIES, AND ARCHAEOLOGICAL RESOURCES.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CLEANUP AND REPORTING OF SPILLS OF HAZARDOUS MATERIALS ASSOCIATED WITH THE CONSTRUCTION SITE. HAZARDOUS MATERIALS INCLUDE GASOLINE, DIESEL FUEL, MOTOR OIL, SOLVENTS, CHEMICALS, PAINT, ETC. WHICH MAY BE A THREAT TO THE ENVIRONMENT. THE CONTRACTOR SHALL REPORT THE DISCOVERY OF PAST OR PRESENT SPILLS TO THE NEW MEXICO EMERGENCY RESPONSE AT 1-800-219-6157.

THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE REGULATIONS CONCERNING SURFACE AND UNDERGROUND WATER. CONTACT WITH SURFACE WATER BY CONSTRUCTION EQUIPMENT AND PERSONNEL SHALL BE MINIMIZED. EQUIPMENT MAINTENANCE AND REFUELING OPERATIONS SHALL BE PERFORMED IN AN ENVIRONMENTALLY SAFE MANNER IN COMPLIANCE WITH GOVERNMENT REGULATIONS.

THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE REGULATIONS CONCERNING CONSTRUCTION NOISE AND HOURS OF OPERATION.

ACCESSIBLE FACILITIES

ALL SURFACES ALONG ACCESSIBLE ROUTES AND FOR HANDICAP RAMPS SHALL BE STABLE FIRM, SLIDE RESISTANT AND SHALL COMPLY WITH UNIFORM FEDERAL ACCESSIBILITY STANDARDS, PARAGRAPH 4.5.

LONGITUDINAL SLOPES ALONG ACCESSIBLE ROUTE SIDEWALKS, EXCEPT AT HANDICAP RAMPS, SHALL NOT BE STEEPER THAN 1:20. CROSS SLOPES ALONG ACCESSIBLE ROUTE SIDEWALKS EXCEPT AT HANDICAP RAMPS, SHALL NOT BE STEEPER THAN 1:48. SLOPES IN ACCESSIBLE PARKING SPACES, ACCESS AISLES, AND PASSENGER LOADING ZONES SHALL NOT BE STEEPER THAN 1:48 IN ALL DIRECTIONS.

THE SITE SHALL COMPLY WITH ANSI A117.1-1992, "ACCESSIBLE AND USABLE BUILDINGS AND FACILITIES".

TRAFFIC CONTROL

THE CONTRACTOR SHALL PROVIDE ALL REQUIRED TRAFFIC CONTROL PLANS. ALL SIGNS, BARRICADES, CHANNELIZATION DEVICES, SIGN FRAMES AND ERECTION OF SUCH DEVICES SHALL CONFORM TO THE REQUIREMENTS OF "MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS" LATEST EDITION. PRIOR TO CONSTRUCTION, TRAFFIC CONTROL PLANS SHALL BE APPROVED BY THE GOVERNING AUTHORITY.

ABBREVIATIONS

BM	=	BENCHMARK
CATV	=	CABLE TELEVISION LINE
CO	=	CLEANOUT
COA	=	CITY OF ALBUQUERQUE
CONC	=	CONCRETE
CL	=	CENTERLINE
DIA	=	DIAMETER
DTL	=	DETAIL
DWG	=	DRAWING
E	=	ELECTRIC LINE
ELEC.	=	ELECTRIC
ELEV	=	ELEVATION
EX	=	EXISTING
FF	=	FINISHED FLOOR ELEVATION
FG	=	FINISHED GRADE
FH	=	FIRE HYDRANT
FL	=	FLOW LINE
G	=	GAS PIPE
GM	=	GAS METER
GV	=	GATE VALVE
INV	=	INVERT ELEVATION
LF	=	LINEAL FEET
LP	=	LIGHT POLE
L/S	=	LANDSCAPING
MH	=	MANHOLE
NG	=	NATURAL GROUND
OE	=	OVERHEAD ELECTRIC LINE
OT	=	OVERHEAD TELEPHONE LINE
PCC	=	PORTLAND CEMENT CONCRETE
PP	=	POWER POLE
PROP	=	PROPOSED
PVC	=	POLYVINYL CHLORIDE PIPE
RCP	=	REINFORCED CONCRETE PIPE
R/W	=	RIGHT-OF-WAY
S	=	SLOPE
SAS	=	SANITARY SEWER
SD	=	STORM DRAIN
STA	=	STATION
STD	=	STANDARD
SW	=	SIDEWALK
T	=	TELEPHONE
TA	=	TOP OF ASPHALT PAVEMENT
TC	=	TOP OF CONCRETE SLAB (PAVEMENT)
TCC	=	TOP OF CONCRETE CURB
TG	=	TOP OF GRATE
TS	=	TOP OF SIDEWALK
TW	=	TOP OF WALL
TYP	=	TYPICAL
UE	=	UNDERGROUND ELECTRIC
UT	=	UNDERGROUND TELEPHONE
W	=	WATER
WM	=	WATER METER
WV	=	WATER VALVE

T A R C H I T E C T

ARCHITECT SEAL

ENGINEER SEAL



PROJECT

NEW CAR WASH FACILITY
FOR LUBRICAR, INC.
COORS BLVD. & QUAIL RD., NW
ALBUQUERQUE, NEW MEXICO

REVISIONS

DATE OCTOBER 25, 2001

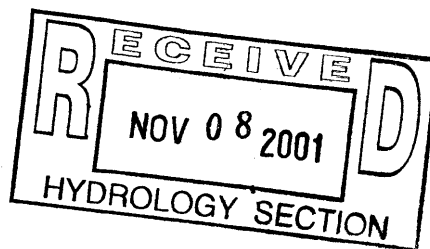
NORTH SCALE

1"=20'

DRAWING NAME

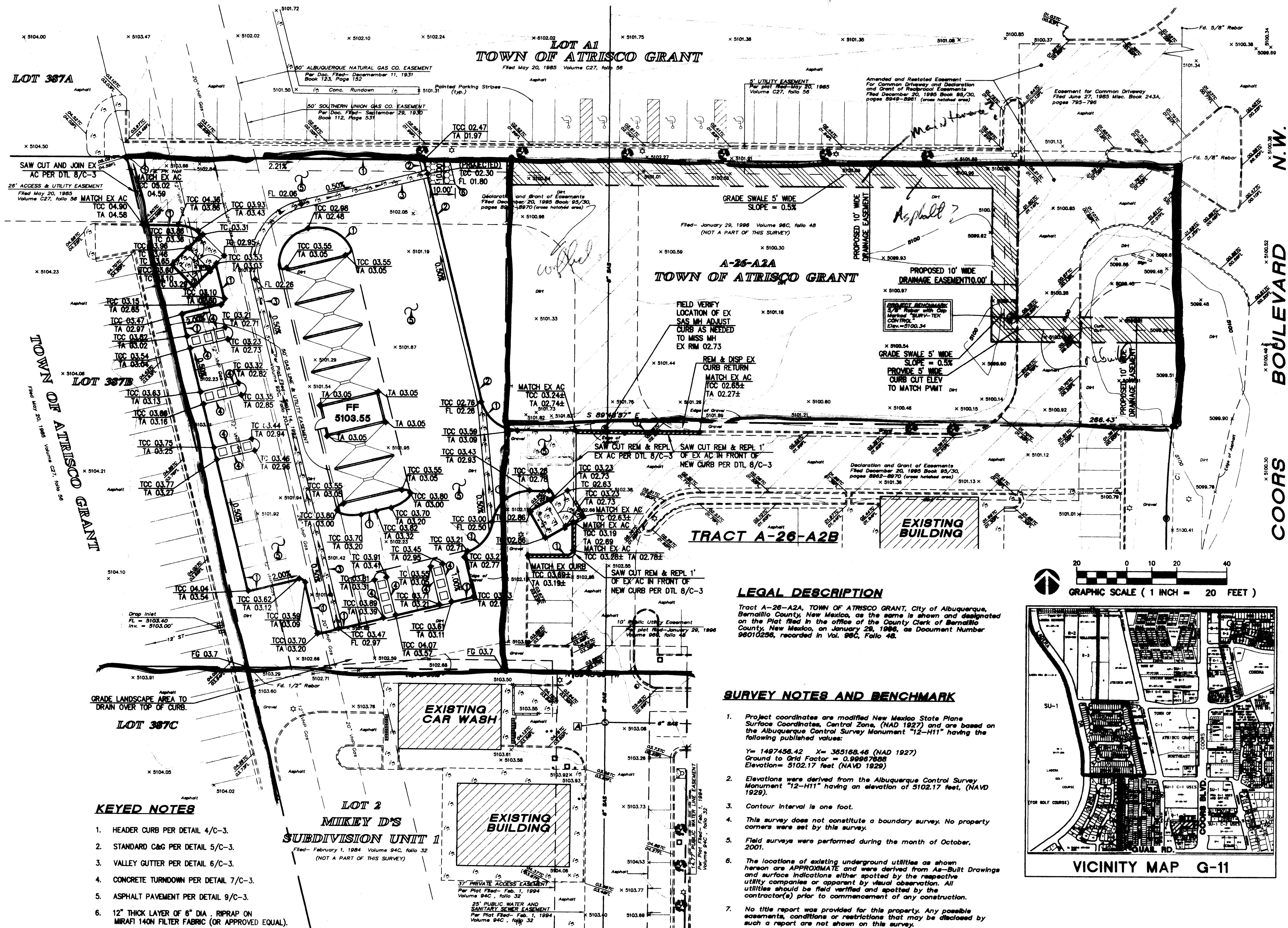
GENERAL NOTES

SHEET NUMBER



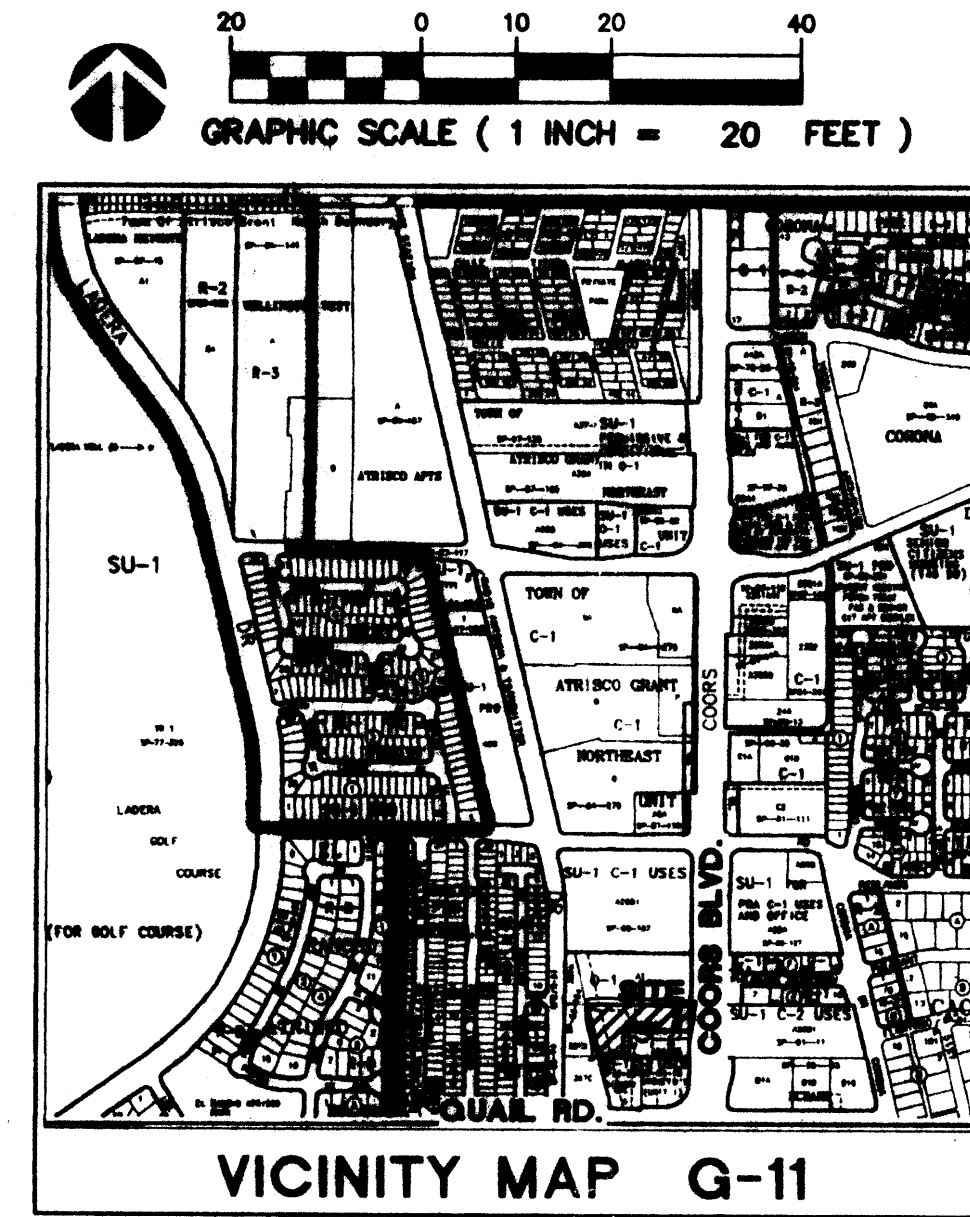
LARRY READ & ASSOCIATES
Civil Engineers
4800-C Juan Tabo, NE
Albuquerque, New Mexico 87111
(505) 237-8421

C-1



LEGAL DESCRIPTION
 Tract A-26-A2A, TOWN OF ATRISCO GRANT, City of Albuquerque, Bernalillo County, New Mexico, as the same is shown and designated on the Plat filed in the office of the County Clerk of Bernalillo County, New Mexico, on January 29, 1986, as Document Number 98010256, recorded in Vol. 96C, Folio 48.

- SURVEY NOTES AND BENCHMARK**
- Project coordinates are modified New Mexico State Plane Surface Coordinates, Central Zone, (NAD 1927) and are based on the Albuquerque Control Survey Monument "12-H11" having the following published values:
 $Y = 1487456.42$ $X = 365168.48$ (NAD 1927)
 Ground to Grid Factor = 0.99997828
 Elevation = 5102.17 feet (NAVD 1929)
 - Elevations were derived from the Albuquerque Control Survey Monument "12-H11" having an elevation of 5102.17 feet, (NAVD 1929).
 - Contour Interval is one foot.
 - This survey does not constitute a boundary survey. No property corners were set by this survey.
 - Field surveys were performed during the month of October, 2001.
 - The locations of existing underground utilities as shown hereon are APPROXIMATE and were derived from As-Built Drawings and surface indications either spotted by the respective utility companies or apparent by visual observation. All utilities should be field verified and spotted by the contractor(s) prior to commencement of any construction.
 - No title report was provided for this property. Any possible easements, conditions or restrictions that may be disclosed by such a report are not shown on this survey.



TATE FISHBURN
ARCHITECT

ARCHITECT SEAL

ENGINEER SEAL

PROJECT

NEW CAR WASH FACILITY
FOR LUBRICAR, INC.
COORS BLVD. & QUAIL RD., NW
ALBUQUERQUE, NEW MEXICO

REVISIONS

DATE OCTOBER 25, 2001

NORTH SCALE 1"=20'

DRAWING NAME

GRADING PLAN

SHEET NUMBER

C-2

LARRY READ & ASSOCIATES
 Civil Engineers
 4800-C Juan Tabo, NE
 Albuquerque, New Mexico 87111
 (505) 237-8421

