



# ***City of Albuquerque***

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

April 17, 2003

Ron Bohannon, PE  
Tierra West LLC  
8509 Jefferson NE  
Albuquerque, NM 87113

**Re: Quality Care Car Center Drainage Report**  
**Engineer Stamp date 2-24-03 (G11/D61A)**

Dear Mr. Bohannon,

Based on information provided in your submittal dated 2-25-03, the above referenced report cannot be approved for Building Permit until the following comment is addressed.

- This site drains to an access road that is not built yet. This project must build the road or hold its runoff until it is built.

If you have any questions, you can contact me at 924-3986.

Sincerely,

Bradley L. Bingham, PE  
Sr. Engineer, Planning Dept.  
Development and Building Services

C: file

# DRAINAGE AND TRANSPORTATION SHEET

(REV. 1/28/2003rd)

G-11/D61A

PROJECT TITLE: Quality Care Center  
DRB: 1000651 EPC #: 02 EPC-01672

ZONE MAP/DRG. FILE #: G-11/D  
WORK ORDER #: \_\_\_\_\_

LEGAL DESCRIPTION: Tract A 29 A 2 Town of Atrisco Grant Northeast Unit  
CITY ADDRESS: Coors Boulevard and Pheasant Avenue NW

ENGINEERING FIRM: Tierra West, LLC  
ADDRESS: 8509 Jefferson NE  
CITY, STATE: Albuquerque, NM

CONTACT: RONALD R. BOHANNAN OR SARA LAVY  
PHONE: (505) 858-3100  
ZIP CODE: 87113

OWNER: Wrangler Properties, LLC  
ADDRESS: 2600 American Road, Suite 260  
CITY, STATE: Rio Rancho, NM

CONTACT: Vaden Bales  
PHONE: (505) 890-2280  
ZIP CODE: 87124

ARCHITECT: Lee Gamelsky Architect, P. C.  
ADDRESS: 2412 Miles Road SE  
CITY, STATE: Albuquerque, NM

CONTACT: Lee Gamelsky  
PHONE: (505) 842-8865  
ZIP CODE: 87106

SURVEYOR: Precision Surveys  
ADDRESS: 8414-D Jefferson NE  
CITY, STATE: Albuquerque, NM

CONTACT: Larry Medrano  
PHONE: 856-5700  
ZIP CODE: 87113

CONTRACTOR: \_\_\_\_\_  
ADDRESS: \_\_\_\_\_  
CITY, STATE: \_\_\_\_\_

CONTACT: \_\_\_\_\_  
PHONE: \_\_\_\_\_  
ZIP CODE: \_\_\_\_\_

## CHECK TYPE OF SUBMITTAL:

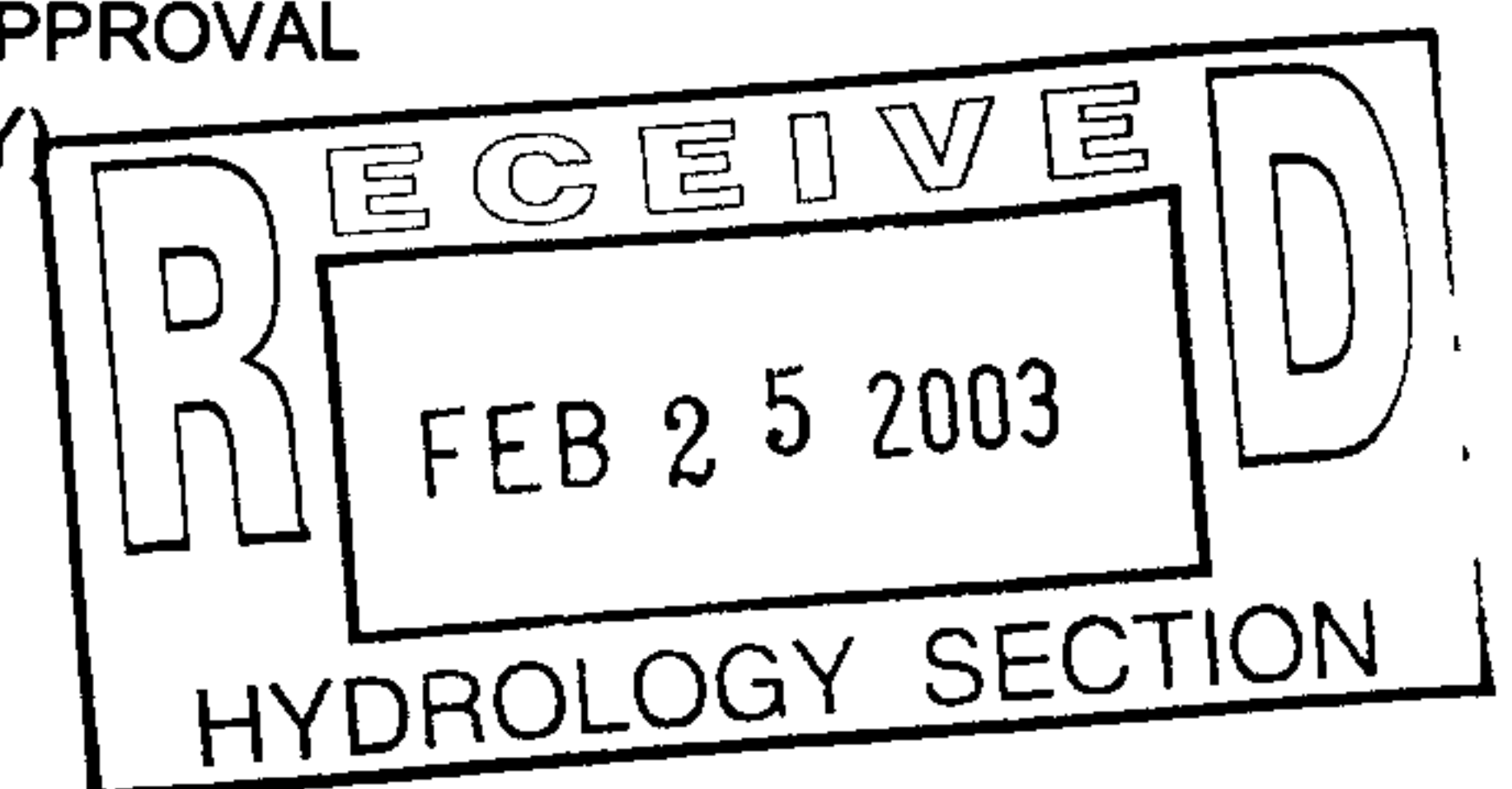
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☐ DRAINAGE PLAN 1st SUBMITTAL, **REQUIRES TCL or equal**  
☐ DRAINAGE PLAN RESUBMITTAL  
☐ CONCEPTUAL GRADING & DRAINAGE PLAN  
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☐ OTHER

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- ☐ SIA / FINANACIAL GUARANTEE RELEASE  
☐ PRELIMINARY PLAT APPROVAL  
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☐ CERTIFICATE OF OCCUPANCY (TEMP.)  
☒ GRADING PERMIT APPROVAL  
☐ PAVING PERMIT APPROVAL  
☐ WORK ORDER APPROVAL  
☐ OTHER (SPECIFY) \_\_\_\_\_

## WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES  
☒ NO  
☐ COPY PROVIDED



DATE SUBMITTED: 2/24/2003 BY: Ronald Bohannon, PE

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plans** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
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3. **Drainage Report** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.

**DRAINAGE REPORT  
FOR**

***Tract A 29 A 2  
Town of Atrisco Grant***

***Quality Care Center***

**Prepared by:**

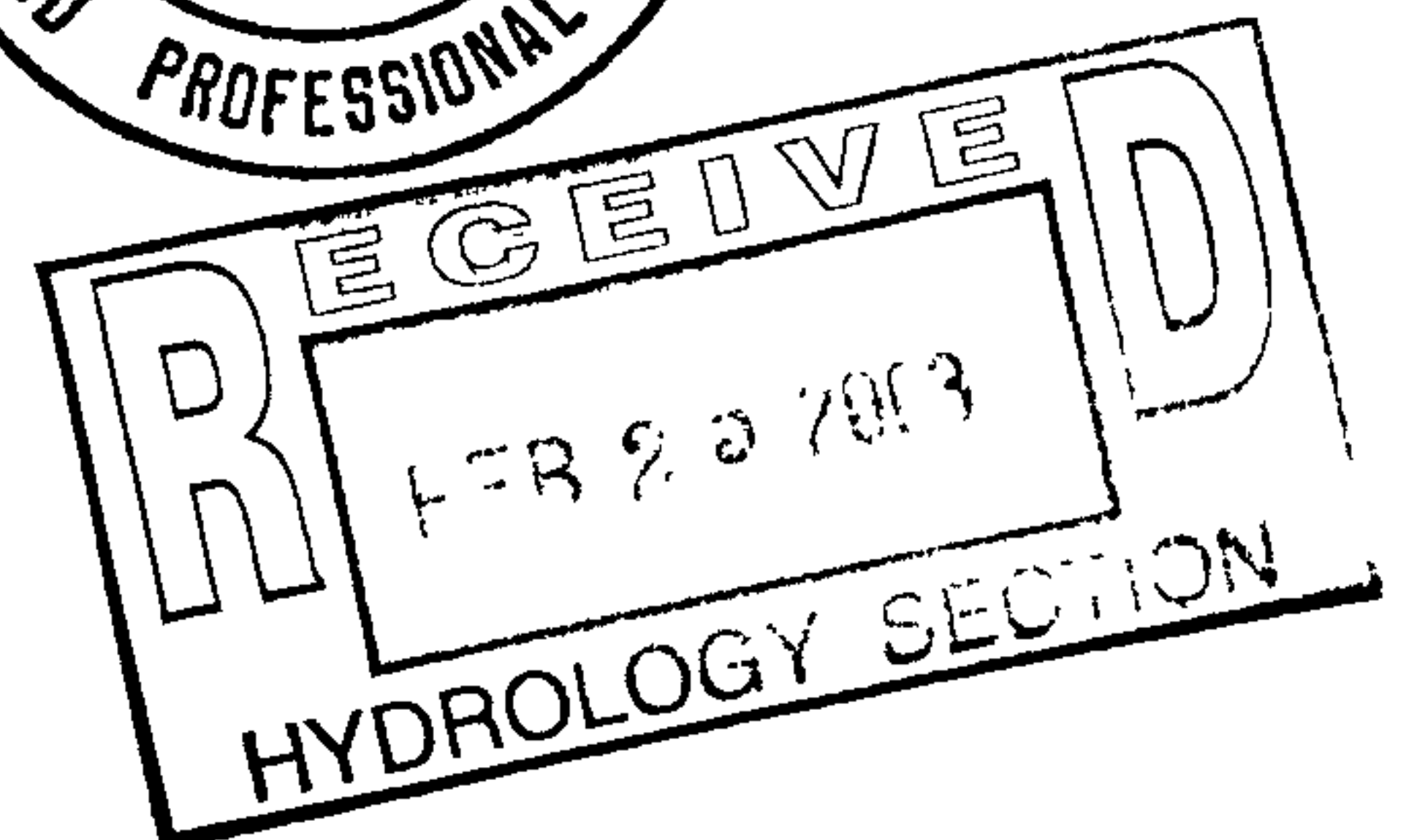
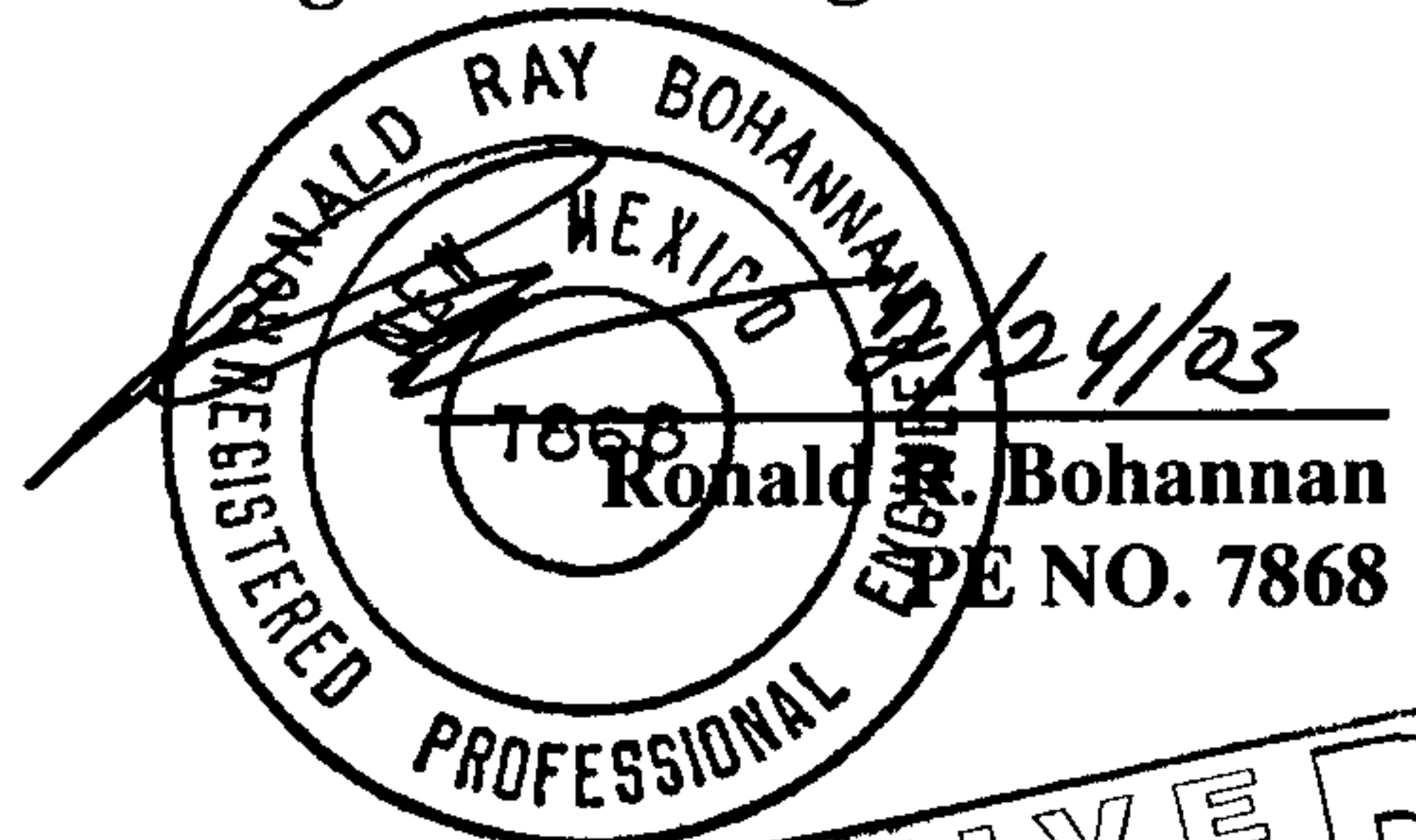
**Tierra West, LLC  
8509 Jefferson NE  
Albuquerque, New Mexico 87113**

**Prepared for:  
Wrangler Properties, LLC  
2600 American Road, Suite 260  
Rio Rancho, NM 87124**

**February, 2003**

**I certify that this report was prepared under my supervision, and I am a registered professional engineer in the State of New Mexico in good standing.**

**Job No 200036VB**



## **TABLE OF CONTENTS**

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### **MAP POCKET A**

Master Grading and Drainage Plan

### **MAP POCKET B**

Quality Care Center Grading and Drainage Plan

# **Section I**

## **Report**

## **Location**

The Quality Care Center is located in the Coors and Redlands Plaza located on the southeast corner of Coors and Redlands just south of the existing City of Albuquerque well site. This site is part of the master drainage report prepared by Tierra West, LLC and approved by the City of Albuquerque under (G11/D-61). The site is the proposed location of a vehicle maintenance business and is shown on the attached Zone Atlas Map G-11. The site contains approximately 0.9876 acres. The legal description is Tract A-29-A-2 Town of Atrisco Grant Northeast Unit. The purpose of the report is to provide the drainage analysis and management plan for approval of the Site Plan for Building Permit.

## **Existing Drainage Conditions**

The site is currently undeveloped and is located within the Coors/Redlands Master Drainage Plan (G11/D-61). This project will comply with the restricted discharge outlined in that plan and limit the flow to the central street.

There are no offsite flows entering the site. Redlands to the north of the site intercepts any flows from the north from entering the site, while Corona directs flows to the north. The site to the south contains all of their flows on their site.

## **FIRM Map and Soil Conditions**

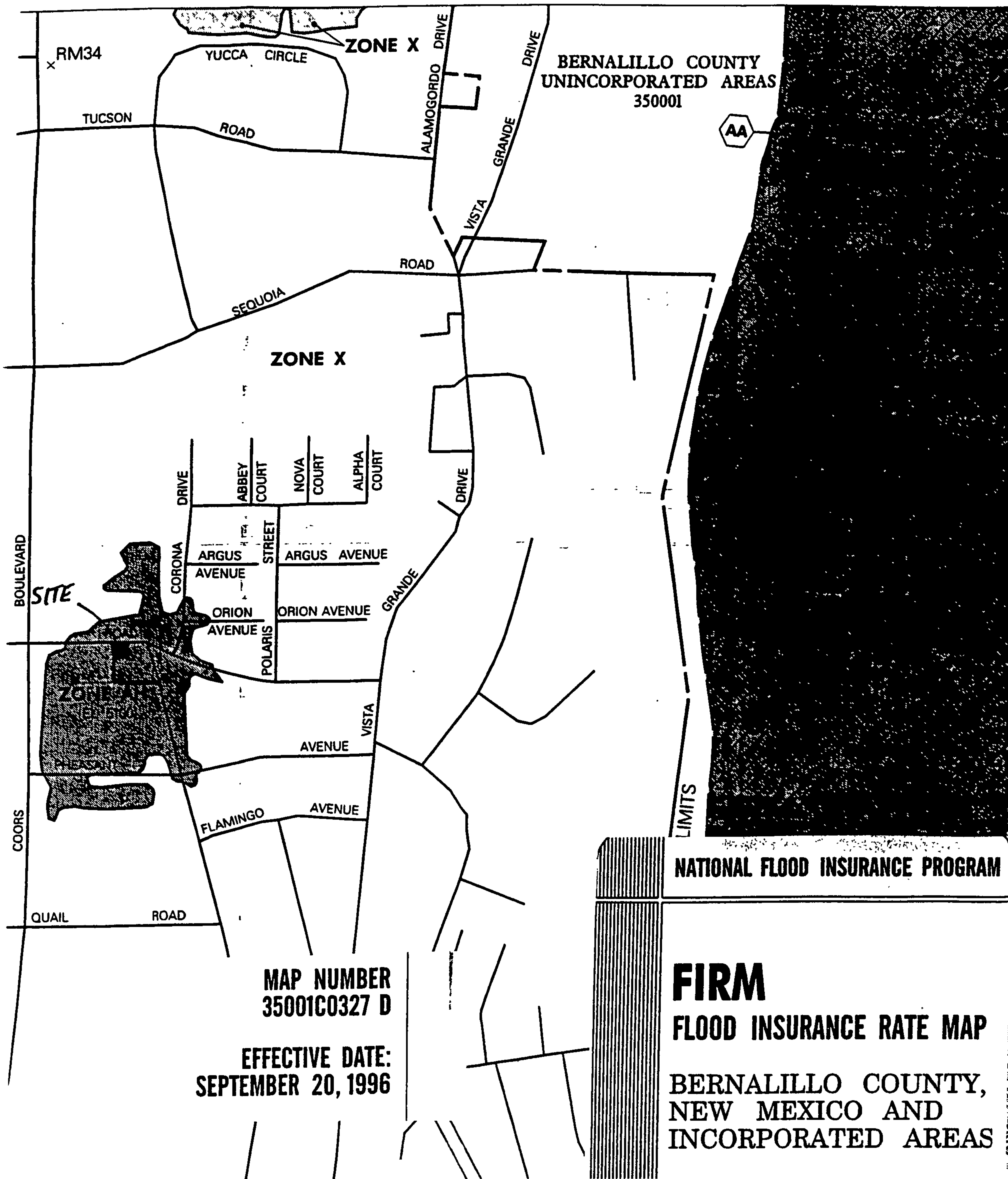
The site is located on FIRM Map 35001C0327 D as shown on the attached excerpt. The map shows that the site lies within a floodplain with a base flood elevation of 5100. The finished floor elevation of the building is proposed to be 5102.00, which is greater than one-foot above the existing floodplain.

The site contains one soil from the Soil Conservation Service Soil Survey of Bernalillo County. The Madurez-Wink association is located on the East and West Mesas and has slow runoff and a moderate hazard of soil blowing.











## **Criteria**

The site was analyzed using the procedures from the Development Process Manual Volume 2, Chapter 22. The Weighted E method was used for estimating the volume and flow rate of runoff from each basin to the developed basin.

## **On Site Drainage Plan**

The proposed drainage plan is to collect all of the flows in the parking lot and a weir and then divert the flows to a central street that directs the flows to Redlands. At Redlands the flows will be collected by the existing drop inlets in the street. The site is contained within one basin as shown on the calculations.

This site was part of the Coors/Redlands Master Drainage Plan and is limited to a discharge of 2.67 cfs per acre. Using the 0.9876 acres, this basin will be restricted to a discharge of 2.13 cfs. The flows will be restricted via a parking lot pond and then conveyed to the central street via an existing sidewalk culvert, which will then discharge the flows to Redlands. Based on the calculations for this site the 100-yr peak discharge is 2.95 cfs generating a volume of 0.1091 Ac-ft. By subtracting the allowable discharge from the generated flows and taking a ratio of volume to flow rate, the required parking lot pond volume is 0.0303 Ac-ft. The parking lot pond for this site has an actual volume of 0.0346 Ac-ft. The street has capacity for the combined flows per the Coors/Redlands Master Drainage Plan.

## **Summary**

The project will limit the flow to the center street to account for the Coors/Redlands limitations on the storm drainage. The flows will be limited to the flows listed in the drainage calculation sheet. There is no infrastructure for this project and as such, no infrastructure list is needed.

# **Section II**

## **Runoff Calculations**

The Site is @ Zone 1				RUNOFF CALCULATIONS						
<b>LAND TREATMENT</b>										
<i>Proposed</i>	<i>Existing</i>									
B = 20%	A = 100%									
D = 80%										
<b>DEPTH (INCHES) @ 100-YEAR STORM</b>				<b>DEPTH (INCHES) @ 10-YEAR STORM</b>						
P60 = 1.87				P60 = 1.87 x 0.667 = 1.247						
P360 = 2.20				P360 = 2.20 x 0.67 = 1.467						
P1440 = 2.66										
<b>Zone 1</b>										
<b>Land Treatment</b>										
From Table A-8 Soil Treatment		A	B	C	D					
Weighted E 100 yr.		0.44	0.67	0.99	1.97					
Weighted E 10 yr.		0.08	0.22	0.44	1.24					
<b>Peak Discharge</b>										
From Table A-9										
100 Yr		1.29	2.03	2.87	4.37					
10 Yr		0.24	0.76	1.49	2.89					
<b>Volume Undeveloped</b>										
	Soil Treatment Type	Acreage	100 Yr	10 Yr	Vol 100	Vol 10				
Basin A	A	3.4104	0.4400	0.0800	0.1250	0.1364				
Basin B	A	0.0000	0.4400	0.0800	0.0000	0.0000				
Basin C	A	0.0000	0.4400	0.9800	0.0000	0.0000				
<b>Volume Developed</b>										
	Total	Acre "A"	Acre "B"	Acre "C"	Acre "D"		Weight E 100	E 10	V 100 Yr	V 10 Yr
Basin 3	0.7206	0.0000	0.0845	0.0000	0.6361		1.8176	1.1204	0.1091	0.0673
<b>Peak Discharge</b>										
	Total	Acre "A"	Acre "B"	Acre "C"	Acre "D"				Q 100 Yr	Q 10 Yr
Basin 3	0.7206	0.0000	0.0845	0.0000	0.6361				2.9513	1.9025



## SIDEWALK CULVERT CAPACITY

Check the capacity of the sidewalk culvert to limit flow.

$$Q = CLH^{3/2} \quad \text{King \& Brater (5-10)}$$

$$L = \frac{Q}{CH^{3/2}} = \frac{Q}{1.4259} = Q(.7013)$$

$$C = 2.60$$

$$H = .67$$

Opening for Sidewalk Culvert

$$\text{Basin 1} \quad Q = 2.13 \quad L = 1.49 \text{ ft.}$$

## **MAP POCKET A**

# **MASTER GRADING AND DRAINAGE PLAN**

## **MAP POCKET B**

### **Site Grading and Drainage Plan**





# ***City of Albuquerque***

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

***Planning Department  
Transportation Development Services Section***

May 18, 2004

Ronald R. Bohannon, Registered Architect  
8509 Jefferson NE  
Albuquerque, NM 87113

Re: Certification Submittal for Final Building Certificate of Occupancy for  
Quality Car Care Center , [G-11 / D61A]  
3130 Coors NW  
Engineer's Stamp Dated 05/06/04

Dear Mr. Bohannon:

The TCL / Letter of Certification submitted on May 14, 2004 is sufficient for acceptance by this office for final Certificate of Occupancy (C.O.). Notification has been made to the Building and Safety Section.

Sincerely,

Nilo E. Salgado-Fernandez, P.E.  
Senior Traffic Engineer  
Development and Building Services  
Planning Department

c: Engineer  
Hydrology file  
CO Clerk

# TIERRA WEST, LLC

8509 Jefferson NE  
Albuquerque, NM 87113

(505) 858-3100  
fax (505) 858-1118

twllc@tierrawestllc.com  
1-800-245-3102

May 7, 2004

Mr. Nilo Salgado-Fernandez, PE  
Development and Building Services  
Public Works Department  
PO Box 1293  
Albuquerque, NM 87103

**RE: Site Plan Certification for Permanent Certificate of Occupancy  
Quality Car Care Center (Coors and Redlands Development)  
3130 Coors Boulevard NW**

Dear Mr. Salgado-Fernandez:

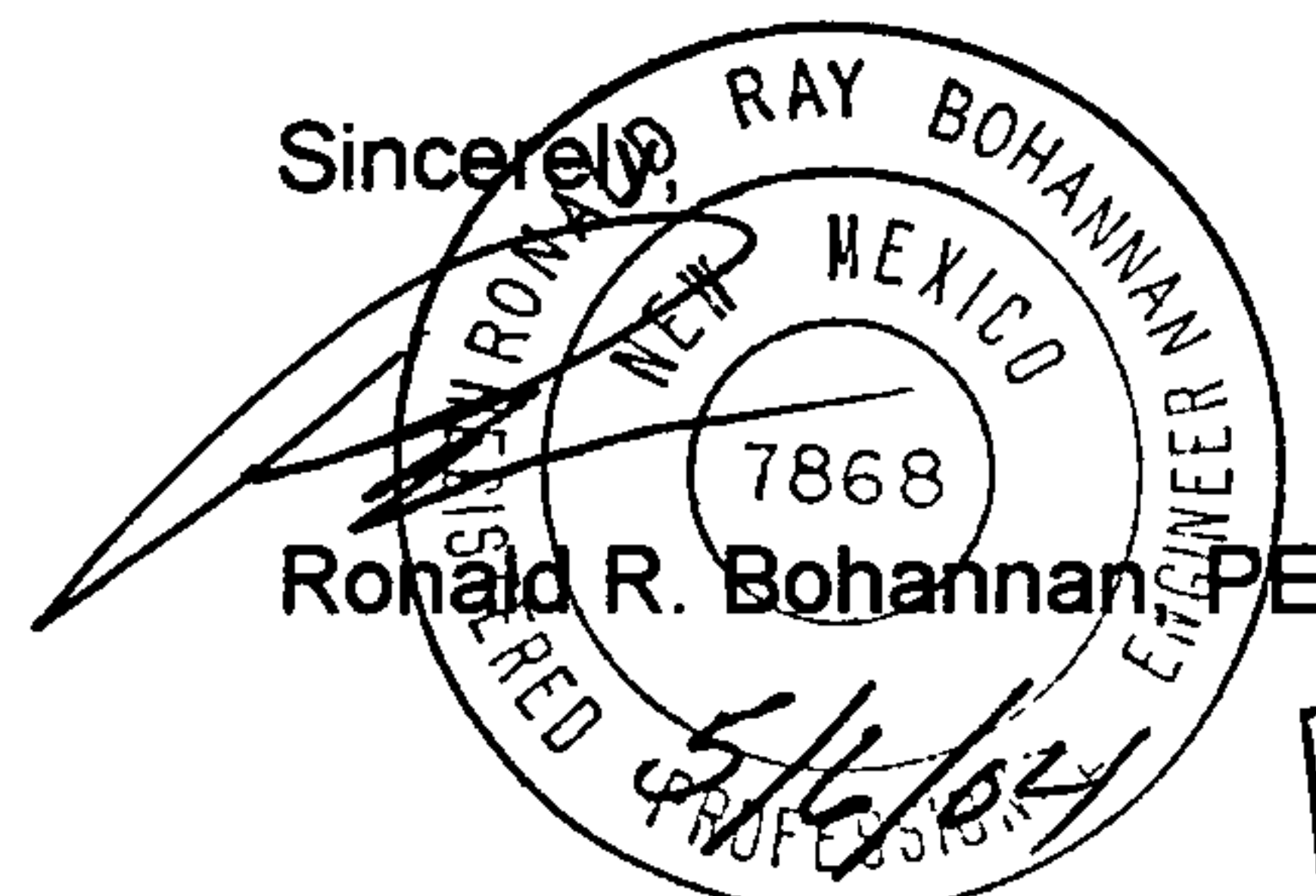
Tierra West, LLC requests permanent Certification of the Site Plan for Subdivision for the Quality Car Care Center located at 3130 Coors Boulevard NW. Enclosed, please find the information sheet, as-built Administrative Amendment Site Plan for Subdivision and the DRB approved Site Plan for Subdivision.

All site work is complete. Handicap ramps, signage and striping are in place. Parking space striping is complete. Landscaping is complete. Punch list items are complete.

The adjacent parcel to the north is under construction and is not to be included in this certification. (Big 5 Sporting Goods)

Field verification of the site was completed by our office and is in substantial compliance with the approved plan. Therefore, we are requesting Certification of the Site Plan for Subdivision for Certificate of Occupancy.

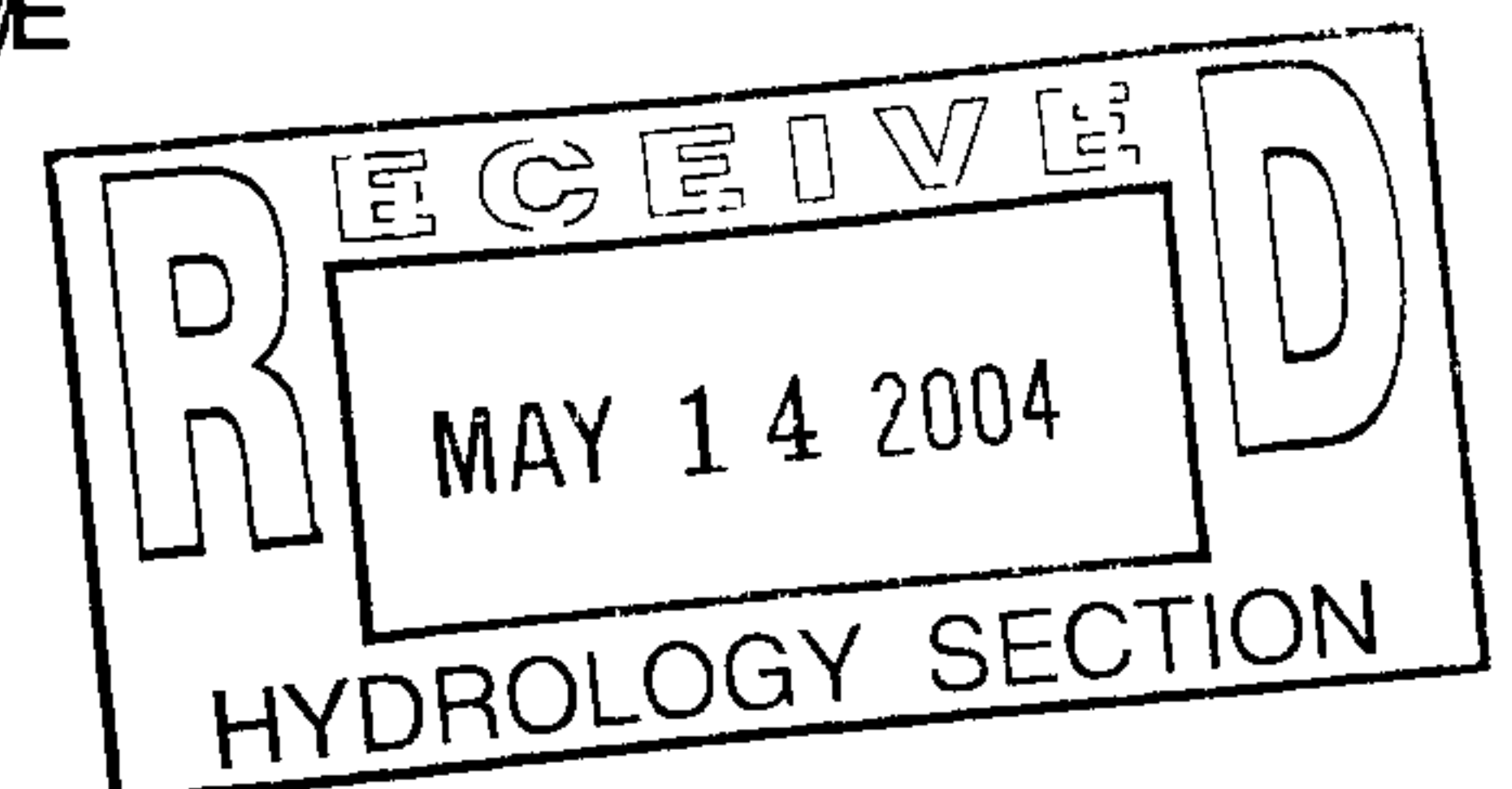
If you have any questions or need additional information regarding this matter, please do not hesitate to contact me.



Enclosure/s

cc: Johnny Barton

JN: 200036R  
RRB/bf/rw



200036R Quality Car Care perm TCL Cert coc

LEE GAMELSKY ARCHITECTS P.C.

13 May 2004

Gill / DOLA

City of Albuquerque  
Transportation Department  
Plaza del Sol  
600 - 2<sup>nd</sup> Street NW  
Albuquerque, NM 87102

RE: Letter of Certification  
Quality Care Center  
3130 Coors Blvd. NW, Albuquerque, NM.

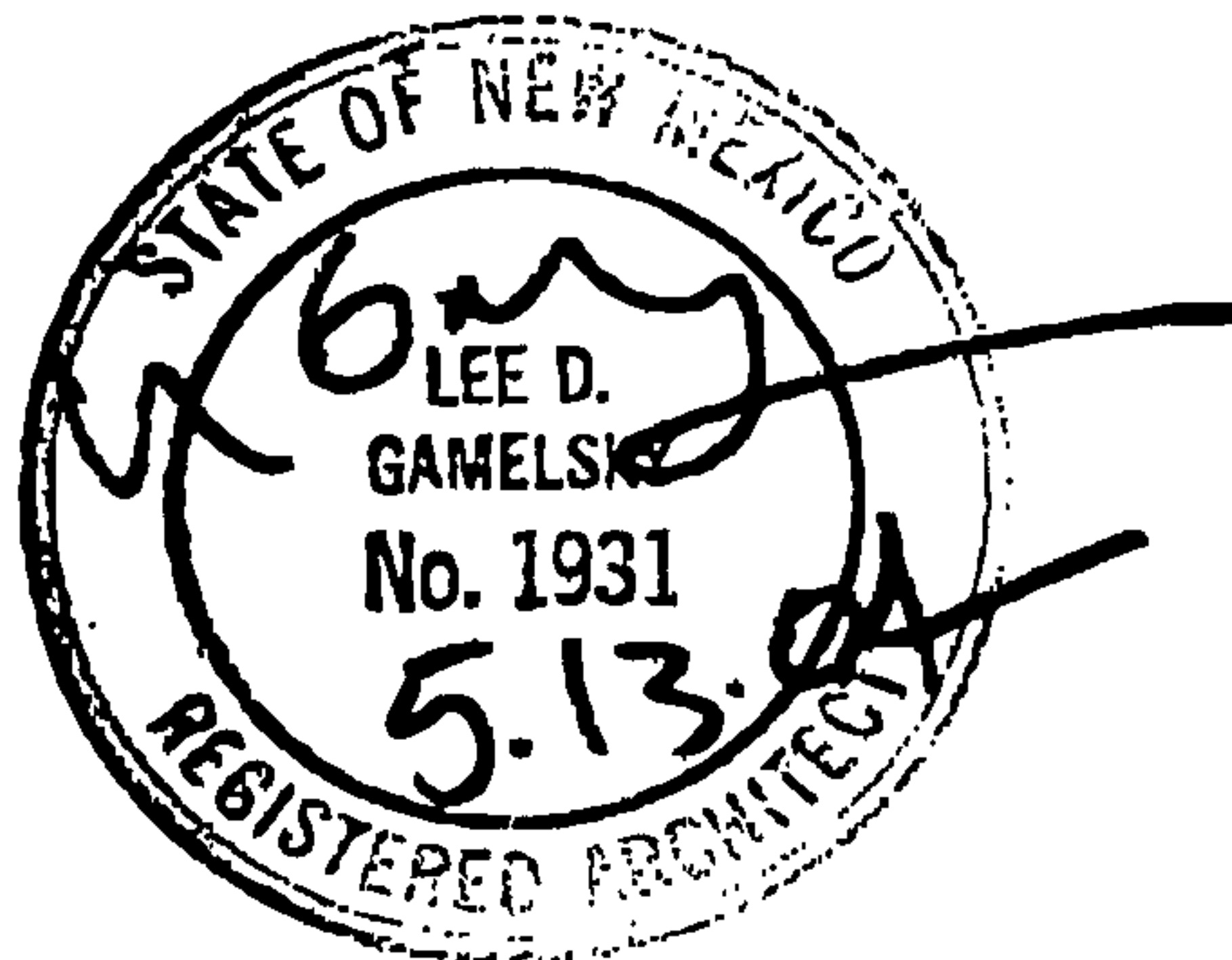
To Whom It May Concern:

This letter is written to certify that the above referenced project has been constructed per the Construction Documents and the approved Plans. The constructed Project shows substantial compliance of the Site Plan Drawings and the EPC/DRB approved Drawings.

If you have any questions or comments please feel free to call.

Sincerely,

  
Lee Gamelsky, AIA



Please  
File  
Thanks



LEE GAMELSKY ARCHITECTS P.C.

13 May 2004

City of Albuquerque  
Transportation Department  
Plaza del Sol  
600 - 2<sup>nd</sup> Street NW  
Albuquerque, NM 87102

RE: Letter of Certification  
Quality Care Center  
3130 Coors Blvd. NW, Albuquerque, NM.

To Whom It May Concern:

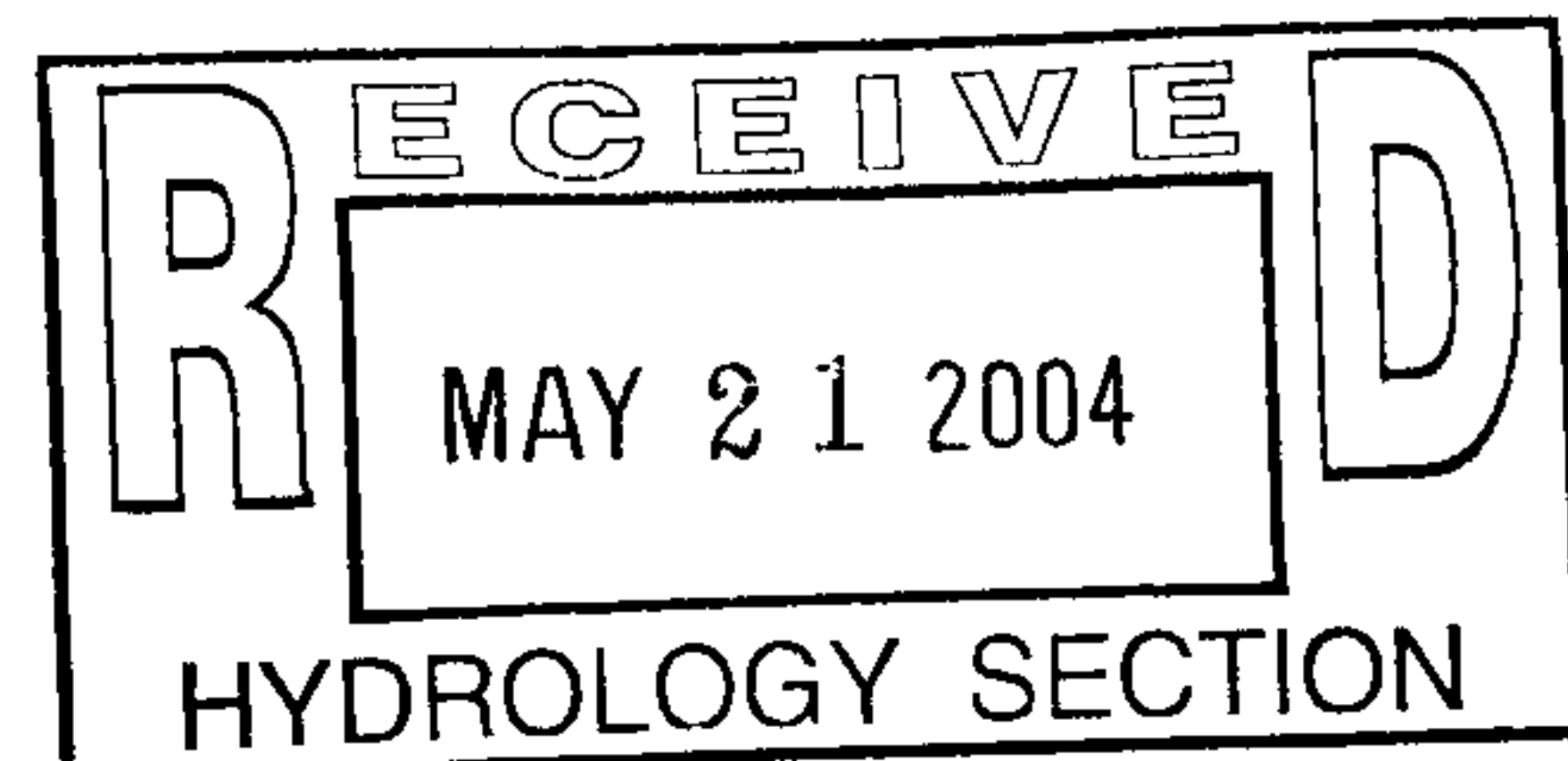
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If you have any questions or comments please feel free to call.

Sincerely,



Lee Gamelsky, AIA



924-3869

# DRAINAGE AND TRANSPORTATION SHEET

(REV. 1/28/2003rd)

*Quality Car Care Center*

PROJECT TITLE: Coors and Redlands Development  
 DRB 1000651 EPC #: 02 EPC - 00312SDP

ZONE MAP/DRG. FILE #: G-11/D061A  
 WORK ORDER #: 7033.81

LEGAL DESCRIPTION: TRACT A 29 A TOWN OF ATRISCO GRANT NORTHEAST UNIT  
 CITY ADDRESS: 3130 Coors Boulevard NE NW

ENGINEERING FIRM: Tierra West, LLC  
 ADDRESS: 8509 Jefferson NE  
 CITY, STATE: Albuquerque, NM

CONTACT: RONALD R. BOHANNAN  
 PHONE: (505) 858-3100  
 ZIP CODE: 87113

OWNER: Ken Johns  
 ADDRESS: 1311 Tijearas Avenue NW  
 CITY, STATE: Albuquerque, NM

CONTACT: Ken Johns  
 PHONE: (505) 224-9000  
 ZIP CODE: 87102

ARCHITECT: Lee Gamelsky Architect PC  
 ADDRESS: 2412 Miles Road SE  
 CITY, STATE: Albuquerque, NM

CONTACT: Lee Gamelsky  
 PHONE: (505) 842-8865  
 ZIP CODE: 87109

SURVEYOR: Precision Surveys  
 ADDRESS: 8414-D Jefferson NE  
 CITY, STATE: Albuquerque, NM

CONTACT: Larry Medrano  
 PHONE: 856-5700  
 ZIP CODE: 81124

CONTRACTOR: Gerald Martin General Contractor  
 ADDRESS: 8501 Jefferson NE  
 CITY, STATE: Albuquerque, NM

CONTACT: Jim Miller  
 PHONE: 401-4658  
 ZIP CODE: 87113

## CHECK TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1st SUBMITTAL, **REQUIRES TCL or equal**
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL GRADING & DRAINAGE PLAN
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- ☐ EROSION CONTROL PLAN
- ☐ ENGINEER'S CERTIFICATION (HYDROLOGY)
- ☐ CLOMR/LOMR
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- ☐ OTHER

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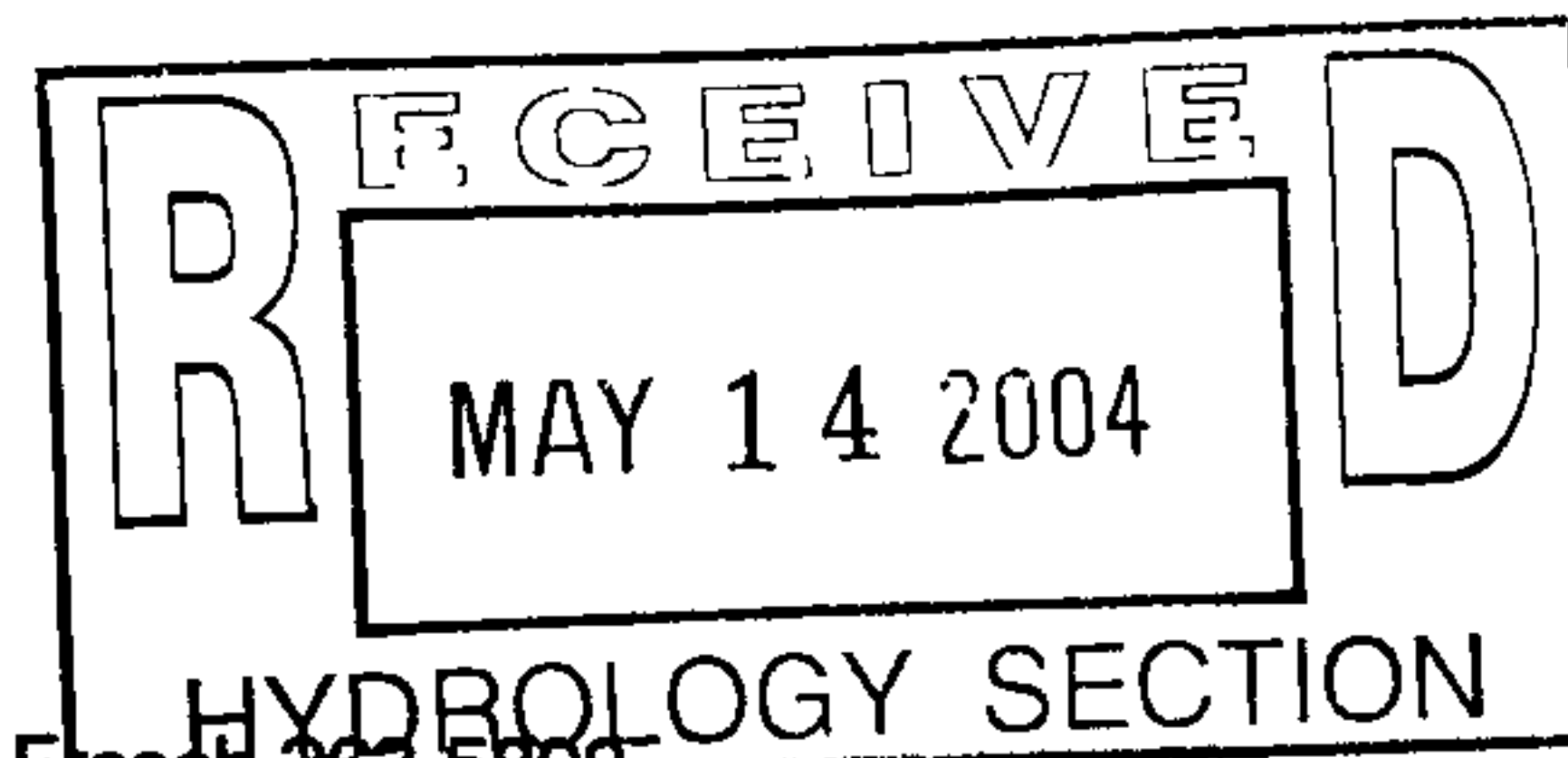
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- ☐ WORK ORDER APPROVAL
- ☐ OTHER (SPECIFY)

## WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
- ☒ NO
- ☐ COPY PROVIDED

DATE SUBMITTED: 5/13/2004

BY: Brad Frosch 263-5808



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Mr. Ronald R. Bohannon, P.E.  
**TIERRA WEST, LLC**  
8509 Jefferson St. NE  
Albuquerque, NM 87113

**Re: QUALITY CARE CAR CENTER**  
**Coors Bd. And Redlands Rd. NW**  
**Approval of Permanent Certificate of Occupancy (C.O.)**  
**Engineer's Stamp dated 12/24/2002 (G-11/D061A)**  
**Certification dated 05/13/2004**

Dear Ron,

Based upon the information provided in your submittal received 05/13/2004, the above referenced certification is approved for release of Permanent Certificate of Occupancy by Hydrology.

If you have any questions, you can contact me at 924-3982.

Sincerely,

Arlene V. Portillo  
Plan Checker, Planning Dept. - Hydrology  
Development and Building Services  
**ELB**

C: Phyllis Villanueva  
**<File>**



# DRAINAGE AND TRANSPORTATION SHEET

(REV. 1/28/2003rd)

*Quality Care Care Center*

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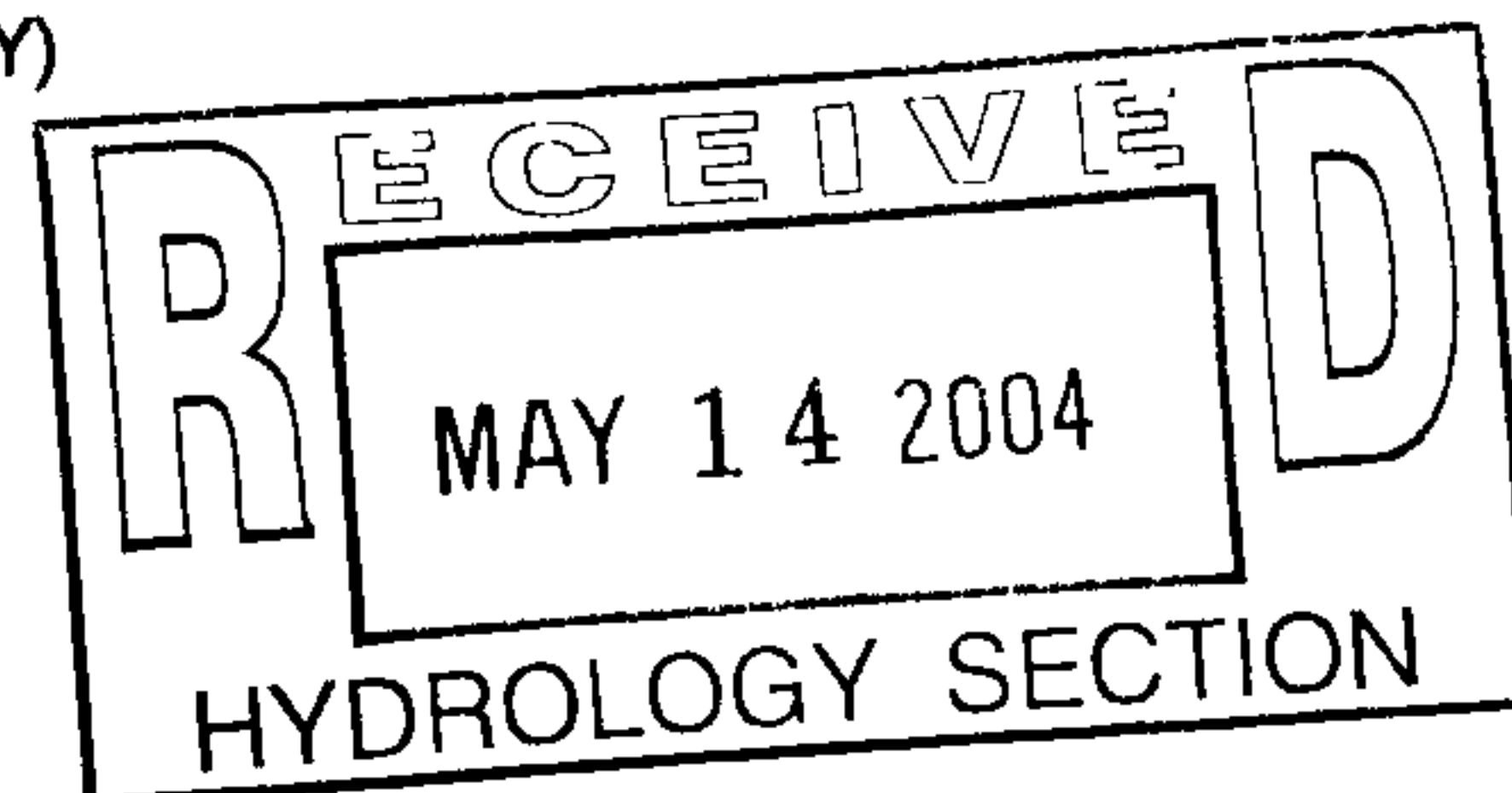
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☐ COPY PROVIDED

*JK*



DATE SUBMITTED: 5/13/2004 BY: Brad Frosch 263-5808

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April 17, 2003

Ron Bohannon, PE  
Tierra West LLC  
8509 Jefferson NE  
Albuquerque, NM 87113

**Re: Letter re: Quality Care Car Center dated 4-17-03 (G11/D61A)**

Dear Mr. Bohannon,

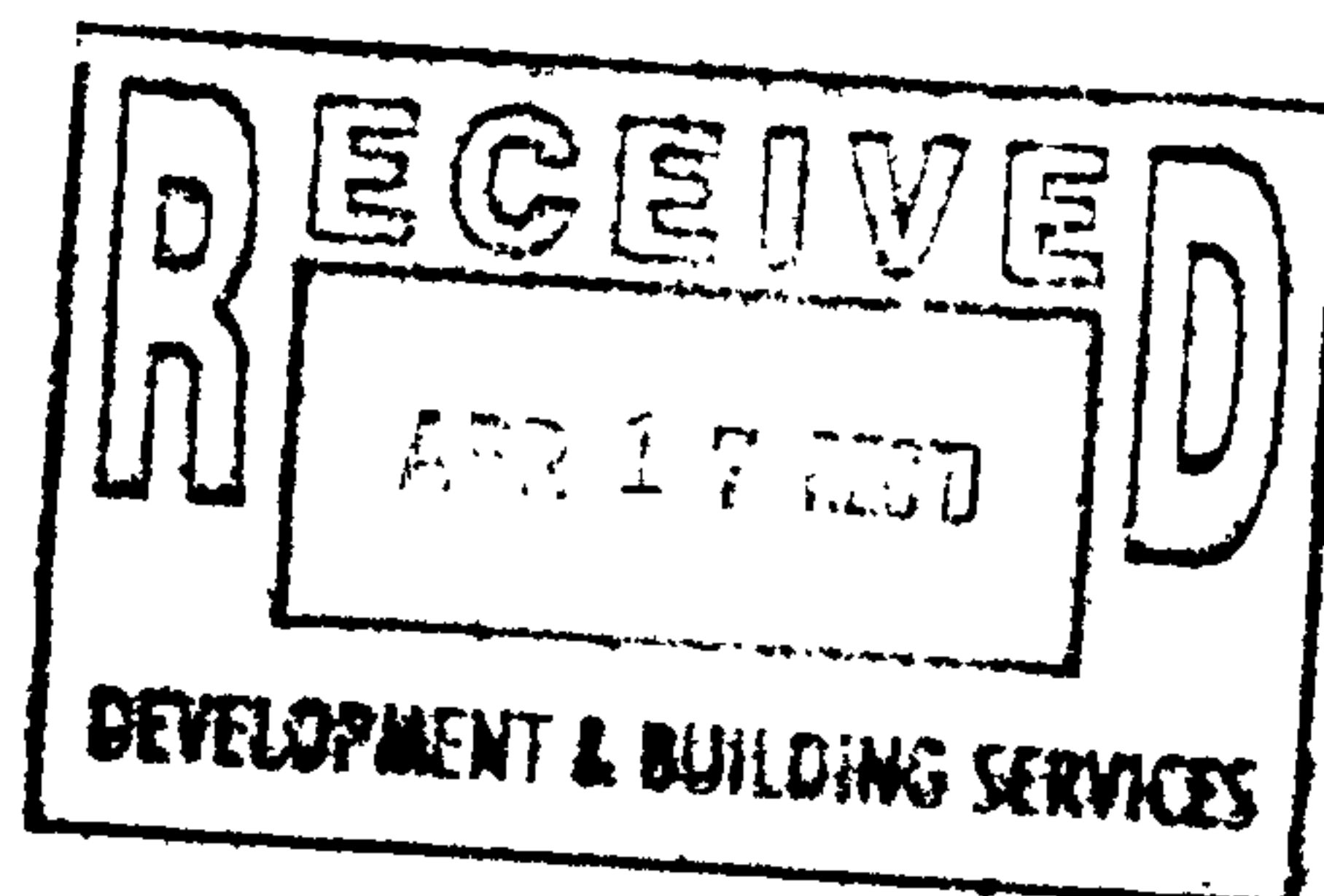
Based on information provided in your letter submitted 4-17-03, it is allowable to defer the approval of the construction of the access road to Certificate of Occupancy release. However, the construction must adhere to the master plan provided.

If you have any questions, you can contact me at 924-3986.

Sincerely,

Bradley L. Bingham, PE  
Sr. Engineer, Planning Dept.  
Development and Building Services

C: file



BRAD BINGHAM

RE: SANDIA-SUNRISE

LETTER.

[illegible]

PRINTS RETURNED AFTER LOAN TO US

Please call with questions or concerns.

FIVE

RECEIVED BY

# TIERRA WEST, LLC

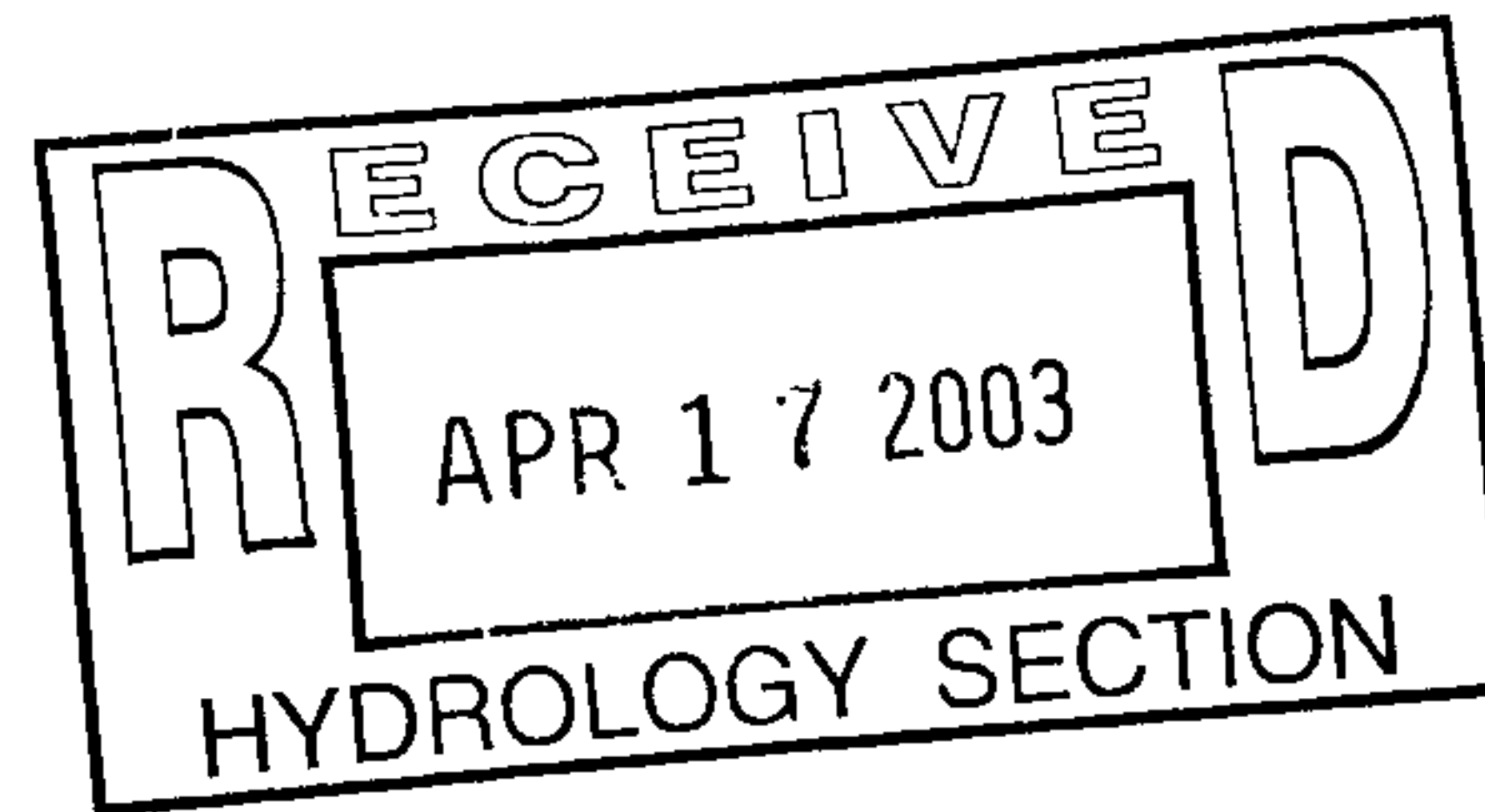
8509 Jefferson NE  
Albuquerque, NM 87113

(505) 858-3100  
fax (505) 858-1118

twllc@tierrawestllc.com  
1-800-245-3102

April 17, 2003

Bradley L. Bingham, PE  
Senior Engineer  
CITY OF ALBUQUERQUE  
P.O. Box 1293  
Albuquerque, NM 87103



**RE: Coors & Redlands**

Dear Brad:

On December 24, 2002 we submitted an overall grading and drainage plan, with a drainage report, showing flow line elevations from Coors to Redlands, NW. The unnamed private street through the site is to be built under an agreement between current property owners. On site construction plans are currently out to bid. Upon completion of the on-site improvements we will submit as-built information. As a condition of approval, the roadway should be built before permanent occupancy is released.

If you have any questions or need additional information regarding this matter, please do not hesitate to contact me.

Sincerely,

A handwritten signature in black ink, appearing to be "R. Bohannon", written in a cursive style.

Ronald R. Bohannon, PE

Enclosure/s

JN: 200036R  
RRB/MP/db