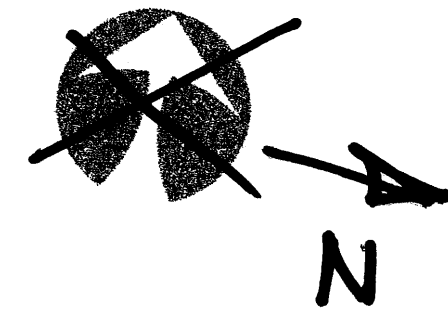


TRACT X:  
 LOT SIZE: 40,000  
 BLD AREA: 14,144  
 NET LOT AREA: 25,856

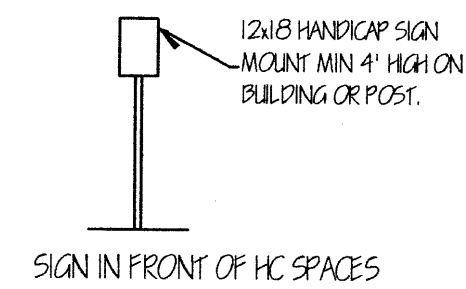


REQ'D OPEN SPACE:  
 16 x 500' = 8000  
 REQUIRED 15% LANDSCAPING = 3878  
 PROVIDED LANDSCAPING:  
 YARDS AND WALKS BETWEEN BUILDINGS: 4472  
 REAR OF BUILDINGS: 5000  
 EAST END OF BUILDINGS  
 FRONT ISLAND @ STREET: 2877  
 TOTAL LANDSCAPING: 12,349

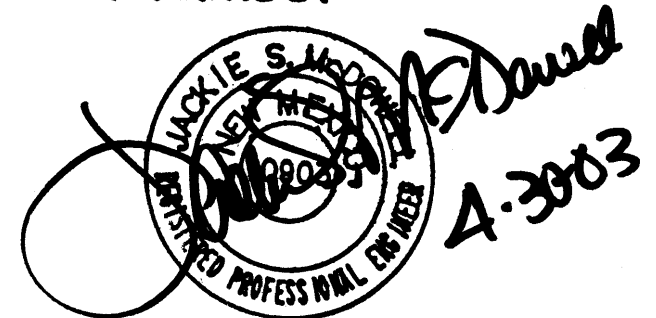
| VEGETATION TABLE   | #  | AREA | TOTAL  |
|--|----|------|--------|
| BRADFORD FLOWERING PEAR 5 GAL<br>PYRUS CALLERYANA "BRADFORD" | 7  | 706  | 4942   |
| RED TIP PHOTINIA<br>PHOTINIA X FRASERI                       | 12 | 50   | 600    |
| SPANISH BROOM<br>SPARTIUM JUNCEUM                            | 3  | 79   | 237    |
| RAYWOOD ASH<br>FRAXINUS OXYCARPA                             | 16 | 962  | 15,392 |

TOTAL CANOPY OF MATURE VEGETATION: 21,171 SQ FT

LANDSCAPED AREAS TO BE COVERED  
 W/ 6 MIL PLASTIC UNDER 2"  
 AGGREGATE AROUND LIVE PLANTS.  
 DRIP IRRIGATION SYSTEM FOR  
 ALL PLANTINGS



I have reviewed the  
 Traffic Circulation  
 layout and it appears  
 to meet City of Ab.  
 Standards.



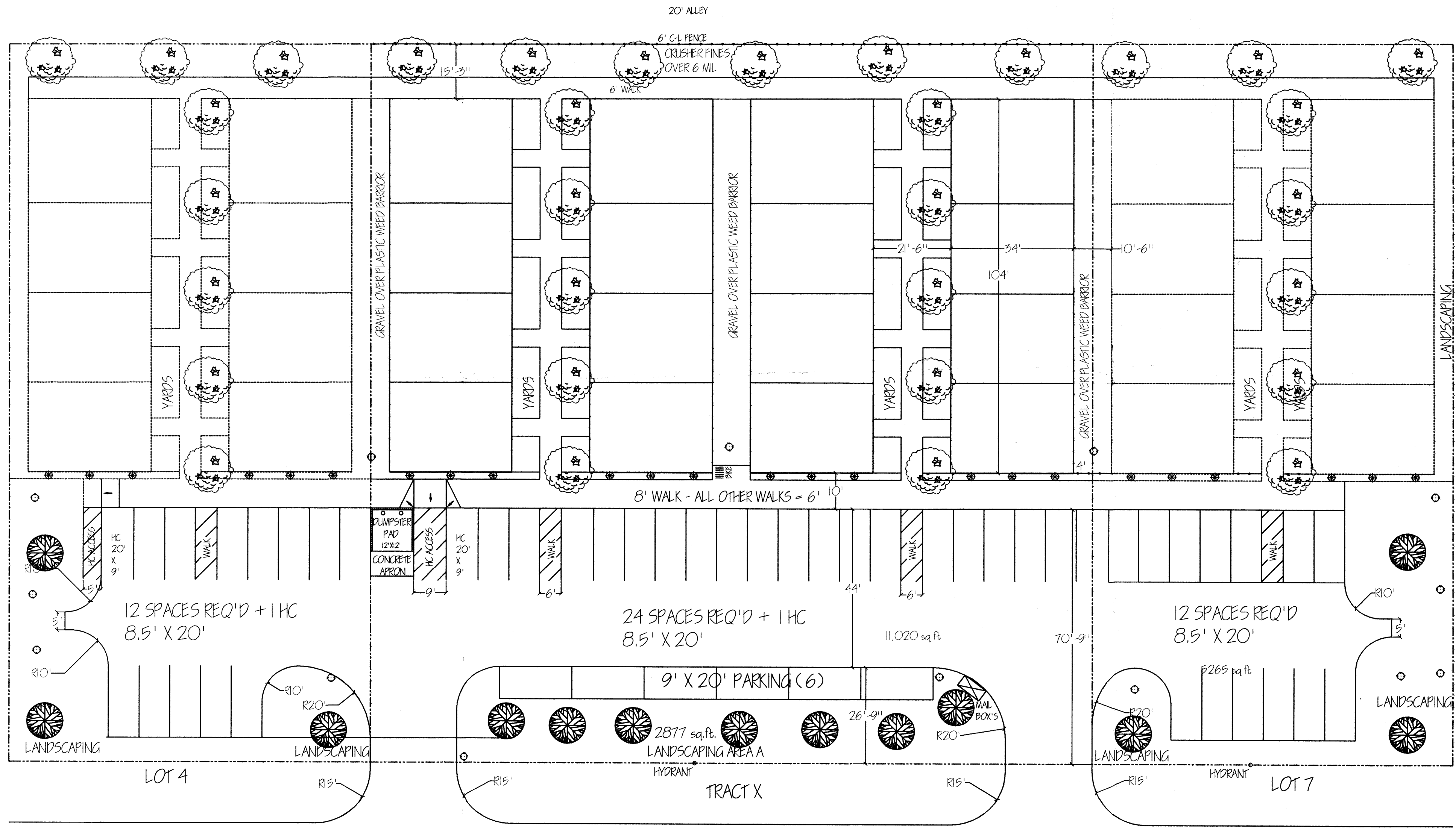
ATRISCO NW

NO CURB & GLUTTER

LOTS 4, TRACT X, & 7, SLOAN'S ACRES

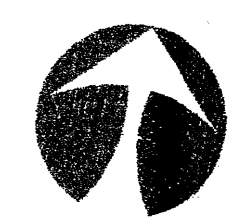
SCALE: 1" = 20'

**RUSSWOOD APARTMENTS  
 TRAFFIC & LANDSCAPING**



TRACT X:  
 LOT SIZE: 40,000  
 BLD AREA: 14,144  
 NET LOT AREA: 25,856

REQ'D OPEN SPACE:  
 16 x 900' = 8000  
 REQUIRED 15% LANDSCAPING = 3878  
 PROVIDED LANDSCAPING:  
 YARDS AND WALKS BETWEEN BUILDINGS: 4472  
 REAR OF BUILDINGS: 3000  
 EAST END OF BUILDINGS  
 FRONT ISLAND @ STREET: 2877  
 TOTAL LANDSCAPING: 12,349

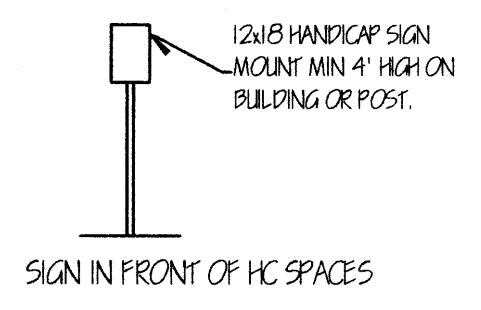


480-2137  
 1/12-087

| VEGETATION TABLE   | #  | AREA | TOTAL  |
|--|----|------|--------|
| BRADFORD FLOWERING PEAR 5 GAL<br>PYRUS CALLERYANA "BRADFORD" | 7  | 706  | 4942   |
| RED TIP PHOTINIA<br>PHOTINIA X FRAGERI                       | 12 | 50   | 600    |
| SPANISH BROOM<br>SPARTIUM UNCELM                             | 3  | 79   | 237    |
| RAYWOOD ASH<br>FRAXINUS OXYCARPA                             | 16 | 962  | 15,392 |

TOTAL CANOPY OF MATURE VEGETATION: 2,171 SQ FT

LANDSCAPED AREAS TO BE COVERED  
 W/ 6 MIL PLASTIC UNDER 2"  
 AGGREGATE AROUND LIVE PLANTS.  
 DRIP IRRIGATION SYSTEM FOR  
 ALL PLANTINGS



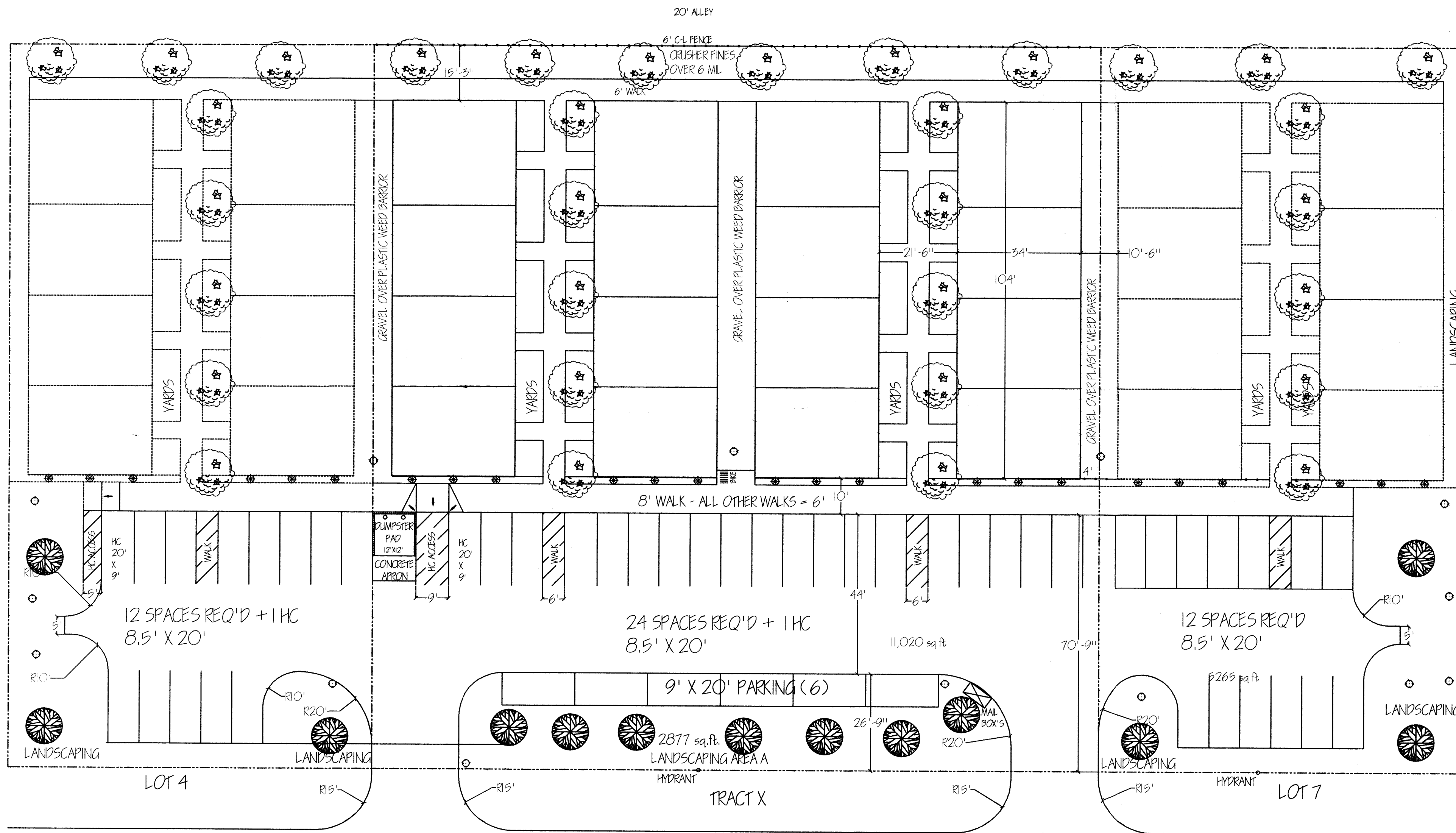
RUSSWOOD APARTMENTS  
 TRAFFIC & LANDSCAPING

ATRISCO NW

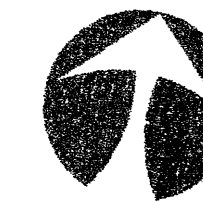
NO CURB & GUTTER

LOTS 4, TRACT X, & 7, SLOAN'S ACRES  
 THIS PERMIT FOR TRACT X ONLY

SCALE: 1" = 20'



TRACT X:  
 LOT SIZE: 40,000  
 BLD AREA: 14,144  
 NET LOT AREA: 25,856

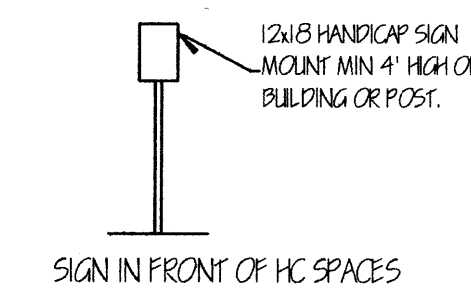


REQ'D OPEN SPACE:  
 16 x 500' = 8000  
 REQUIRED 15% LANDSCAPING = 3878  
 PROVIDED LANDSCAPING:  
 YARDS AND WALKS BETWEEN BUILDINGS: 4472  
 REAR OF BUILDINGS: 3000  
 EAST END OF BUILDINGS  
 FRONT ISLAND @ STREET: 2877  
 TOTAL LANDSCAPING: 12,349

| VEGETATION TABLE   | #  | AREA | TOTAL  |
|--|----|------|--------|
| BRADFORD FLOWERING PEAR 5 GAL<br>PYRUS CALLERYANA "BRADFORD" | 7  | 706  | 4942   |
| RED TIP PHOTINIA<br>PHOTINIA X FRAGERI                       | 12 | 90   | 600    |
| SPANISH BROOM<br>SPARTIUM JUNCEUM                            | 3  | 79   | 237    |
| RAYWOOD ASH<br>FRAXINUS OXYCARPA                             | 16 | 962  | 15,392 |

TOTAL CANOPY OF MATURE VEGETATION: 21,171 SQ FT

LANDSCAPED AREAS TO BE COVERED  
 W/ 6 MIL PLASTIC UNDER 2"  
 AGGREGATE AROUND LIVE PLANTS.  
 DRIP IRRIGATION SYSTEM FOR  
 ALL PLANTING



SIGN IN FRONT OF HC SPACES

RUSSWOOD APARTMENTS  
 TRAFFIC & LANDSCAPING

ATRISCO NW

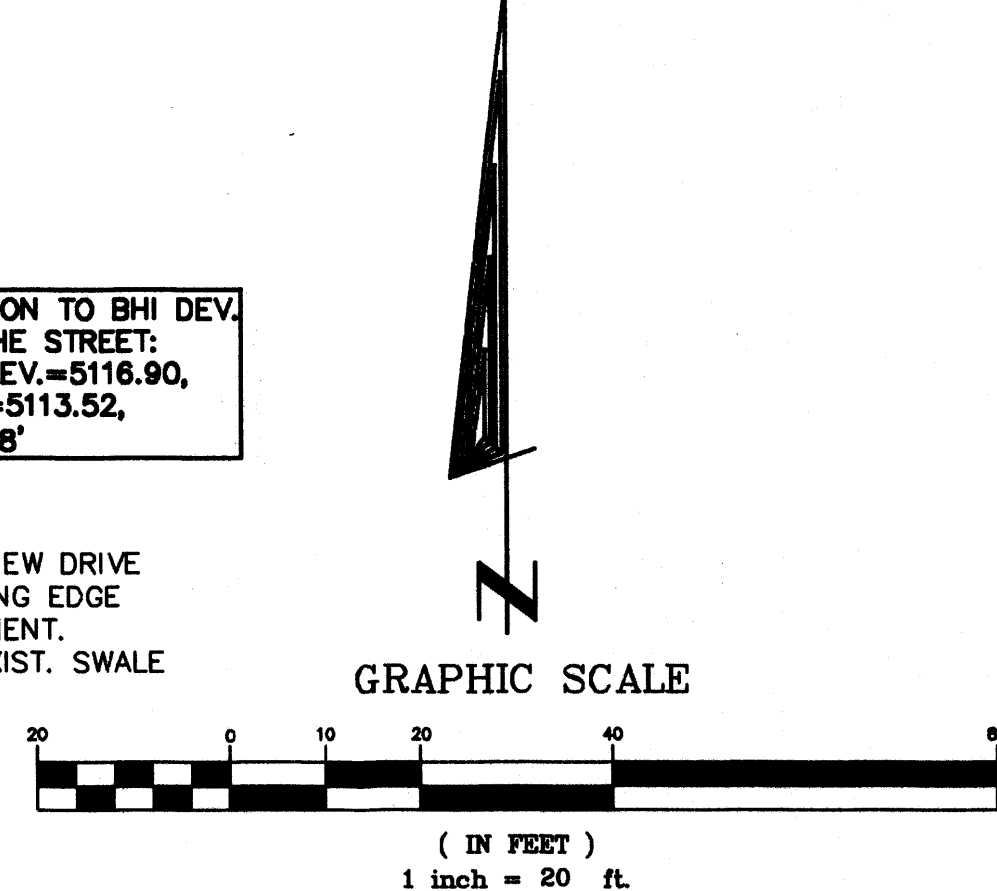
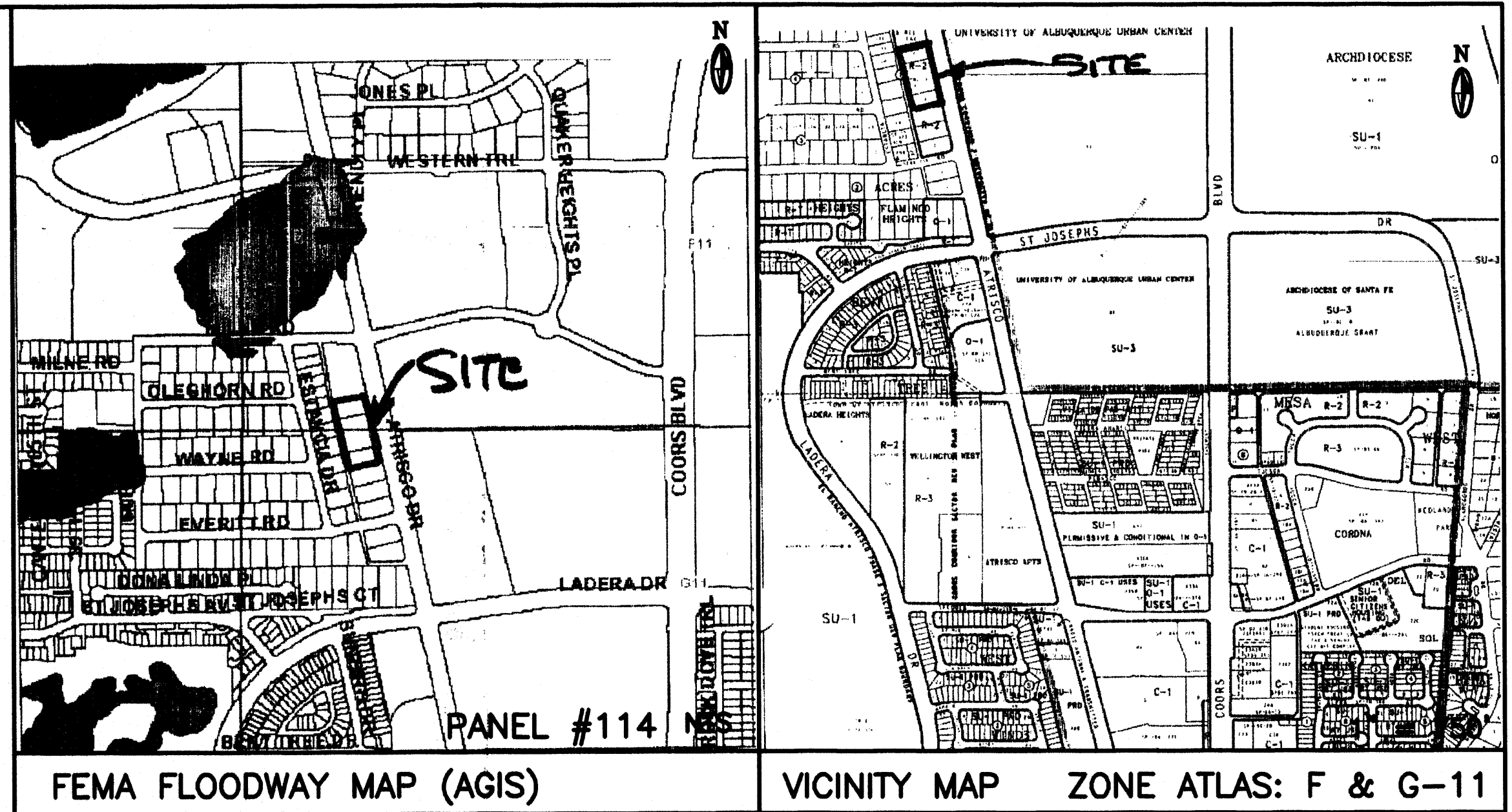
NO CURB & GUTTER

LOTS 4, TRACT X, & 7, SLOAN'S ACRES  
 THIS PERMIT FOR TRACT X ONLY

SCALE: 1" = 20'



**LOT 4, TRACT "X", & LOT 7**  
 WITHIN  
**BLOCK 1**  
**SLOAN'S ACRES SUBDIVISION**  
 ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO  
 ADDRESS'S: 4113, 4201 & 4209 ATRISCO DRIVE NW



**DRAINAGE PLAN**

**SCOPE:**

Pursuant to the latest City of Albuquerque Ordinance, the Drainage Plan shown hereon outlines the drainage management criteria for controlling developed runoff on and exiting the project site. Eight buildings (apartments) are proposed for the subject property (3 lots), with associated access, parking and landscaping.

**EXISTING CONDITIONS:**

Presently the 1.82 acre site is undeveloped. The site is bounded on the north by an existing church facility, on the west by a 20' alley with existing homes west of the alley, on the south by existing apartment building and on the east by Atrisco Dr. NW. The site is very level and slopes to the north via an existing swale located between Atrisco Dr. and the east property line. As shown by the FEMA Map Panel No. 114, the site is not located in a 100-year floodplain. No offsite runoff enters the property.

**PROPOSED CONDITIONS:**

As shown by the plan, the buildings are located within the westerly portion of the lots. On site flows will drain around the structures and flow to the east to Atrisco Dr. In accordance with discussions with City Hydrology Engineer's, a one percent slope from the existing edge of pavement of Atrisco Dr. to the buildings will be used as the basis for draining the site which will free discharge to Atrisco and be allowed to flow to the north so an existing City owned and maintained pond. Free discharge is proposed so that storm water from the site will drain to the pond before a peak runoff flows in the area. All roof drainage will discharge from the roofs to the east and continue to flow to Atrisco Dr.

Supplemental calculations have been provided to the City of Albuquerque Hydrology Department.

**CALCULATIONS:**

The calculations shown hereon define the 100 year/6 hour design storm falling within the project area under existing and developed conditions. Hydrology is per "Section 22.2, Hydrology of the Development Process Manual, Volume 2, Design Criteria, for the City of Albuquerque, New Mexico in cooperation with Bernalillo County, New Mexico and the Albuquerque Metropolitan Arroyo Flood Control Authority, latest edition.

**Existing Treatment Types:**

Treatment A = 1.82 acres  
 Treatment B = 0 acres  
 Treatment C = 0 acres  
 Treatment D = 0 acres

**Proposed Treatment Types:**

Treatment A = 0.00 acres  
 Treatment B = 0.53 acres  
 Treatment C = 0.00 acres  
 Treatment D = 1.29 acres

Using the values above produces the following storm water flows and volumes:

Existing 100-year Flow = 2.35 cfs  
 Proposed 100-year Flow = 6.71 cfs

Existing 100-year Volume = 2907 cu. ft.  
 Proposed 100-year Volume = 10514 cu. ft.

**PROPERTY ADDRESS:**

4113, 4201 and 4209 Atrisco Dr. NW

**TOPOGRAPHY:**

Topographic information provided by Gary Taylor Construction & Development.

ACS BM: 9-F11, ELEV=5107.48 FT.  
 ACS 1.75" aluminum disk, stamped "ACS BM, 9-F11", epoxied to top of concrete curb, SSE quadrant of Coors Blvd. NW and the most northerly entrance to St. Pius High School/Madonna Centre, 0.27 miles ± north of the centerline of St. Joseph Dr.

**GENERAL GRADING NOTES:**

- THE CONTRACTOR SHALL OBTAIN A TOP SOIL DISTURBANCE PERMIT FROM THE CITY OF ALBUQUERQUE, ENVIRONMENTAL HEALTH DIVISION PRIOR TO CONSTRUCTION.
- THE CONTRACTOR IS TO REFER TO THE EARTHWORK SPECIFICATIONS NOTED IN THE GEOTECHNICAL INVESTIGATION REPORT PREPARED FOR THIS LOT AND CAN BE OBTAINED BY THE OWNER.
- THE CONTRACTOR SHALL CONFORM TO ALL CITY, COUNTY, STATE AND FEDERAL DUST CONTROL MEASURES AND REQUIREMENTS AND WILL BE RESPONSIBLE FOR PREPARING AND OBTAINING ALL NECESSARY APPLICATIONS, PERMITS AND APPROVALS.
- PVC DRAINAGE PIPES MAY REQUIRE FIELD ADJUSTMENT DUE TO SUBSURFACE ROCK. CONTRACTOR SHALL PROVIDE POSITIVE DRAINAGE TO INLET/STREET.
- CONTRACTOR SHALL FIELD VERIFY ALL EXISTING UTILITY CONDITIONS AND NOTIFY THE ENGINEER IMMEDIATELY OF ANY DISCREPANCIES.
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- CONTRACTOR SHALL PROVIDE DOUBLE CLEAN-OUTS AT ALL BENDS IN DRAINAGE PIPE.
- THE TOPSOIL COULD BE SAVED ASIDE FOR RE-USE IN FILLING DISTURBED AREAS AROUND THE STRUCTURE.
- ALL DISTURBED AREAS ON THE LOT SHALL BE RESEDED WITH NATIVE SEEDING MATERIAL.
- THE MAXIMUM GRADED SIDE SLOPE SHALL NOT EXCEED 3 FEET (HORIZONTALLY) TO 1 FOOT (VERTICALLY)
- AREAS DISTURBED DUE TO GRADING SHALL BE RESEDED IN ACCORDANCE WITH CITY OF ALBUQUERQUE STD. SPECIFICATION 1012 - NATIVE GRASS SEEDING, O.A.E.

**LEGEND**

|                            | EXISTING     | PROPOSED               |
|----------------------------|--------------|------------------------|
| CONTOUR                    | --- 5820 --- | --- 5850 ---           |
| PROPERTY LINE              | -----        | -----                  |
| ROAD                       | -----        | -----                  |
| SETBACK                    | -----        | -----                  |
| RETAINING WALL             | -----        | -----                  |
| SPOT ELEVATION             | ▲ 517.30     | ▲ TC18.25<br>▲ FL17.75 |
| FUTURE SPOT ELEVATION ● FL |              | ● 516.96               |

**1-20-03**  
**Rev. 4-22-03**  
**RECEIVED**  
**APR 23 2003**  
**HYDROLOGY SECTION**

CITY OF ALBUQUERQUE, BERNALILLO COUNTY NEW MEXICO

**LOT 4, TRACT "X", & LOT 7, BLOCK 1**  
**SLOAN'S ACRES SUBDIVISION**

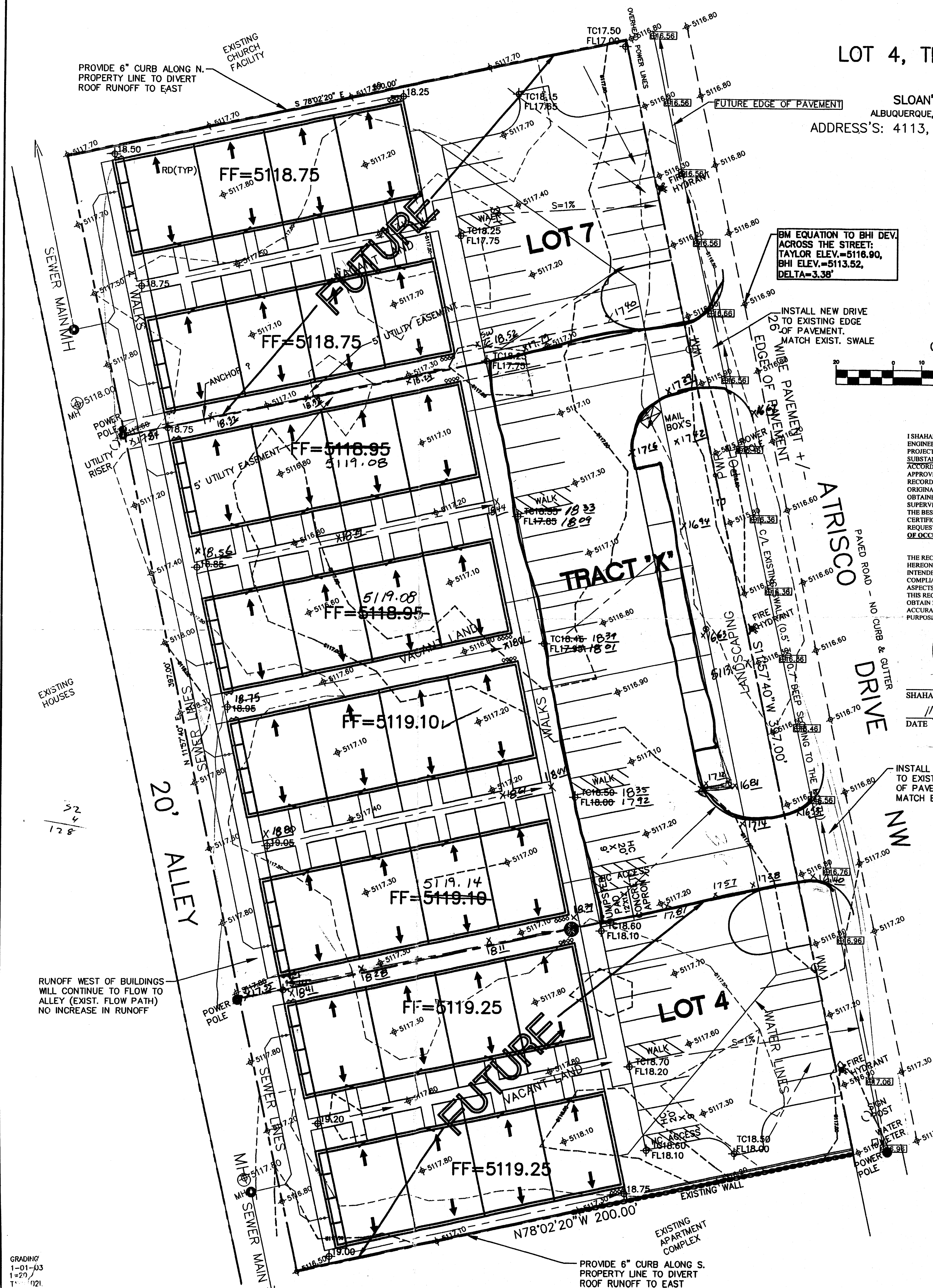
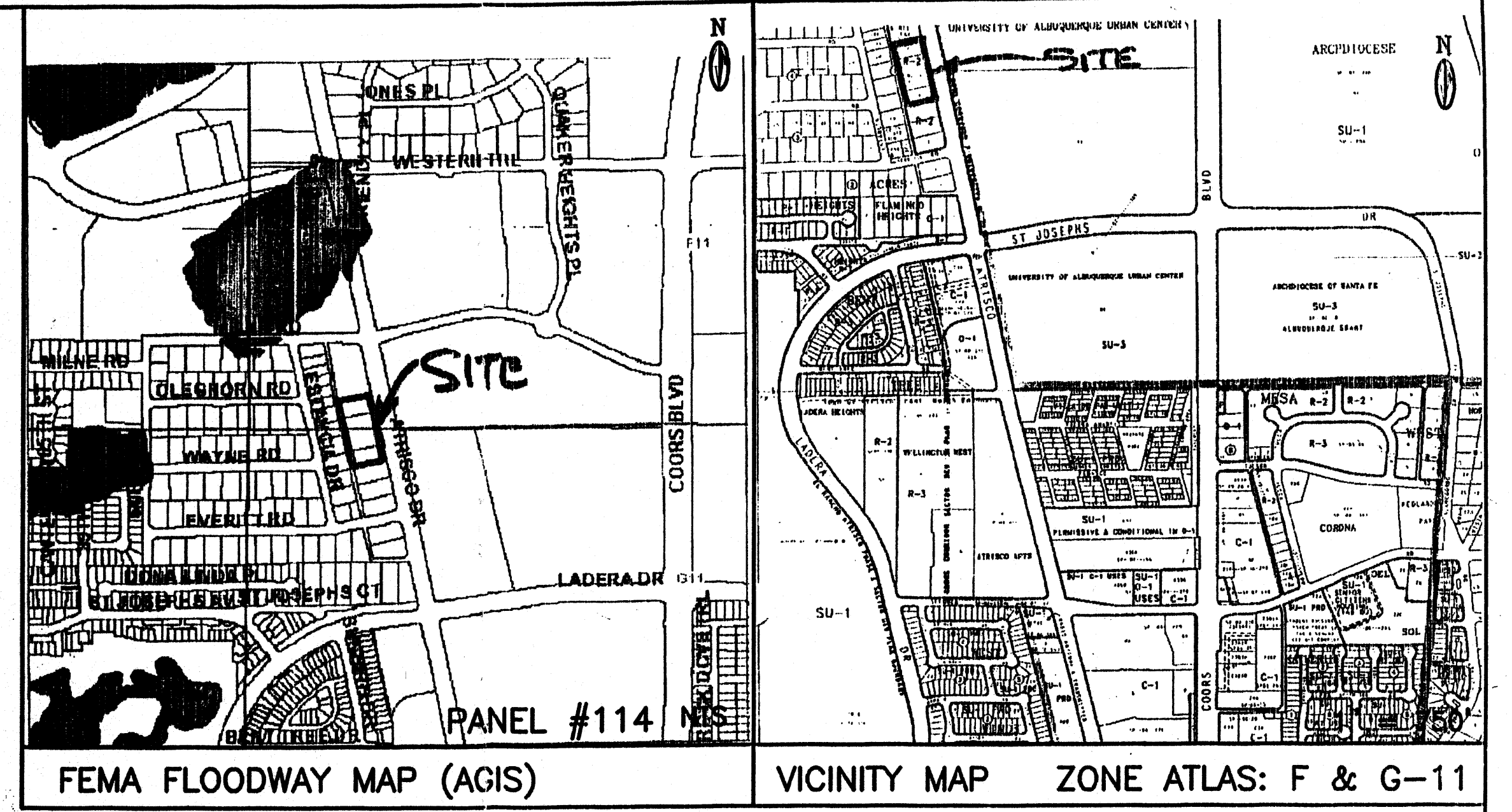
TAYLOR GRADING & DRAINAGE PLAN

**McDowell Engineering Inc.**

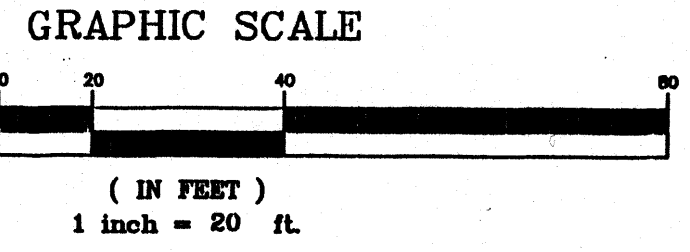
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|---------------|------------------|-------------|----------|
| Designed JSM  | Drawn STAFF      | Checked JSM | Sheet of |
| File TAY0102L | Date APRIL, 2003 |             | 1 1      |



**LOT 4, TRACT "X", & LOT 7**  
 WITHIN  
**BLOCK 1**  
**SLOAN'S ACRES SUBDIVISION**  
 ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO  
 ADDRESS'S: 4113, 4201 & 4209 ATRISCO DRIVE NW



BM EQUATION TO BHI DEV. ACROSS THE STREET: TAYLOR ELEV=5118.90, BHI ELEV=5113.52, DELTA=3.38'



ISHAHAB BIAZAR, NMPE OF THE ADVANCED ENGINEERING, LLC HEREBY CERTIFY THAT PROJECT HAS BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 04/22/2003. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY ME OR UNDER MY DIRECT SUPERVISION AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR Final CERTIFICATION OF OCCUPANCY.

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING AND DRAINAGE ASPECTS OF THIS PROJECT. THOSE RELYING ON THIS RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE RELYING ON IT FOR ANY OTHER PURPOSES.

SHAHAB BIAZAR, NMPE # 13479  
 DATE 11/13/03

**DRAINAGE PLAN**  
 SCOPE:

Pursuant to the latest City of Albuquerque Ordinance, the Drainage Plan shown hereon outlines the drainage management criteria for controlling developed runoff on and exiting the project site. Eight buildings (apartments) are proposed for the subject property (3 lots), with associated access, parking and landscaping.

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Existing 100-year Volume = 2907 cu. ft.  
 Proposed 100-year Volume = 10514 cu. ft.

**PROPERTY ADDRESS:**

4113, 4201 and 4209 Atrisco Dr. NW

**TOPOGRAPHY:**

Topographic information provided by Gary Taylor Construction & Development.

ACS BM: 9-F11, ELEV=5107.48 FT.  
 ACS 1.75" aluminum disk, stamped "ACS BM, 9-F11", epoxied to top of concrete curb, SSE quadrant of Coors Blvd. NW and the most northerly entrance to St. Pius High School/Madonna Centre, 0.27 miles ± north of the centerline of St. Joseph Dr.

**GENERAL GRADING NOTES:**

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**LEGEND**

|                            | EXISTING     | PROPOSED                         |
|----------------------------|--------------|----------------------------------|
| CONTOUR                    | --- 5820 --- | --- 5850 ---                     |
| PROPERTY LINE              | ---          | ---                              |
| ROAD                       | ---          | ---                              |
| SETBACK                    | ---          | ---                              |
| RETAINING WALL             | ---          | ---                              |
| SPOT ELEVATION             | ▲ 5117.30    | ▲ TC18.25<br>▲ FL17.75           |
| FUTURE SPOT ELEVATION ● FL |              | ● 5118.95                        |
| As-Built                   |              | TC-18.25 18.25<br>FL 17.75 17.75 |

Not Engineer No. 12003  
 Rev. 4-22-03  
 RECEIVED NOV 14 2003 HYDROLOGY SECTION

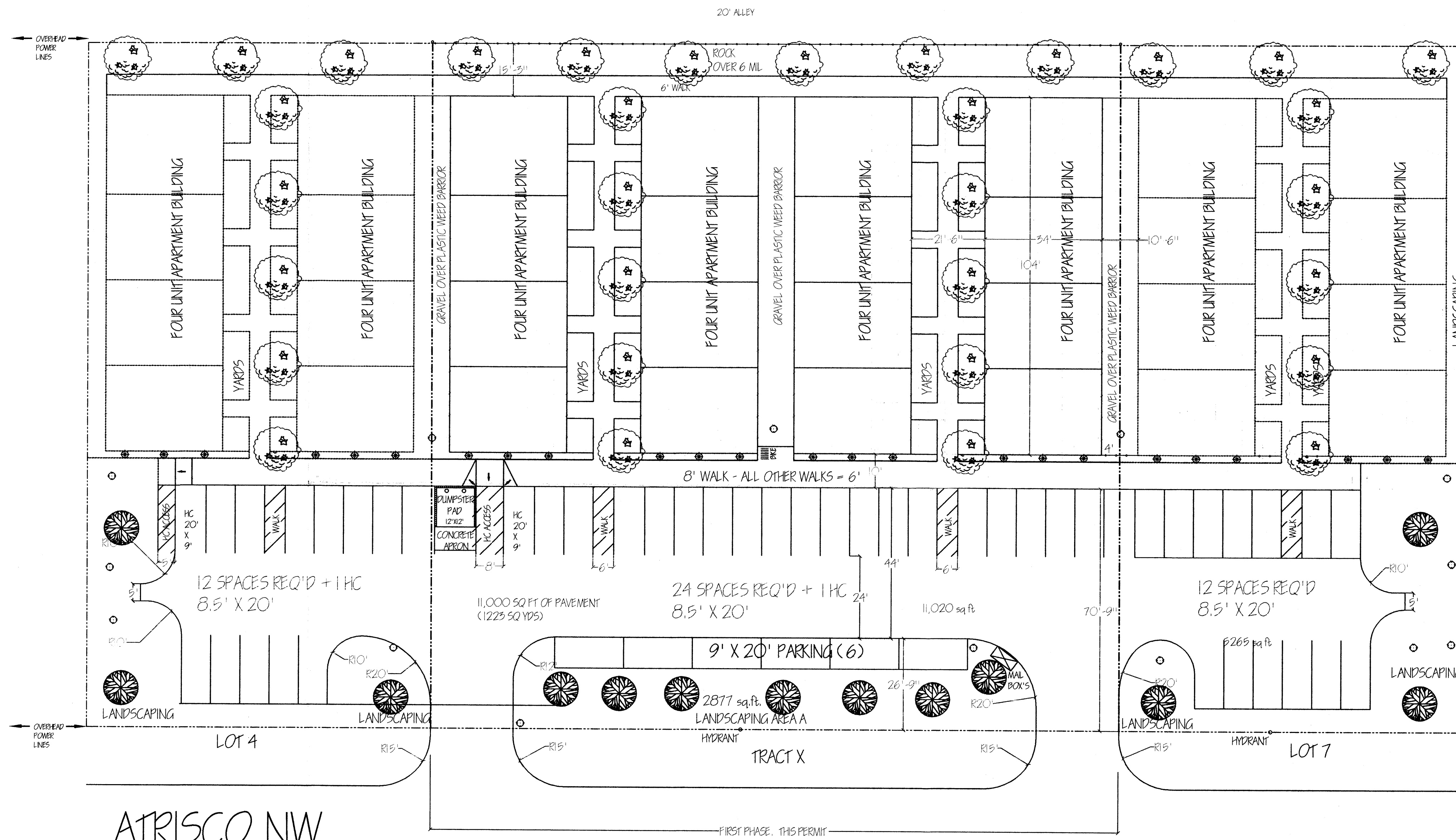
CITY OF ALBUQUERQUE, BERNALILLO COUNTY NEW MEXICO  
**LOT 4, TRACT "X", & LOT 7, BLOCK 1,**  
**SLOAN'S ACRES SUBDIVISION**  
 TAYLOR GRADING & DRAINAGE PLAN

**McDowell Engineering Inc.**

|               |                  |             |          |
|---------------|------------------|-------------|----------|
| Designed JSM  | Drawn STAFF      | Checked JSM | Sheet of |
| File TAY0102L | Date APRIL, 2003 |             | 1 1      |

GRADING  
 1-01-03  
 1-27-02  
 T-1021



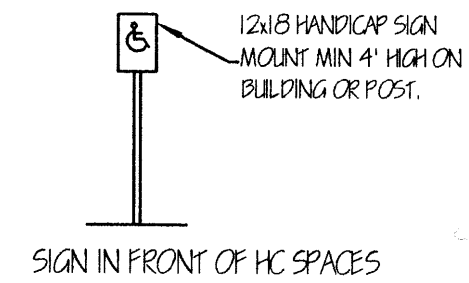


TRACT X  
 LOT SIZE: 40,000  
 BLD AREA: 14,144  
 NET LOT AREA: 25,856

REQ'D OPEN SPACE:  
 16 x 500' = 8000  
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 PROVIDED LANDSCAPING:  
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 REAR OF BUILDINGS: 5000  
 EAST END OF BUILDINGS  
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 TOTAL LANDSCAPING: 12,349

| VEGETATION TABLE   |    |      |        |
|--|----|------|--------|
|  | #  | AREA | TOTAL  |
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TOTAL CANOPY OF MATURE VEGETATION: 21,715 SQ FT



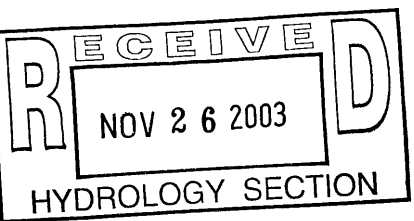
4201 ATRISCO NW

ATRISCO NW

NO CURB & GUTTER

LOTS 4, TRACT X, & 7, SLOAN'S ACRES

SCALE: 1" = 20'

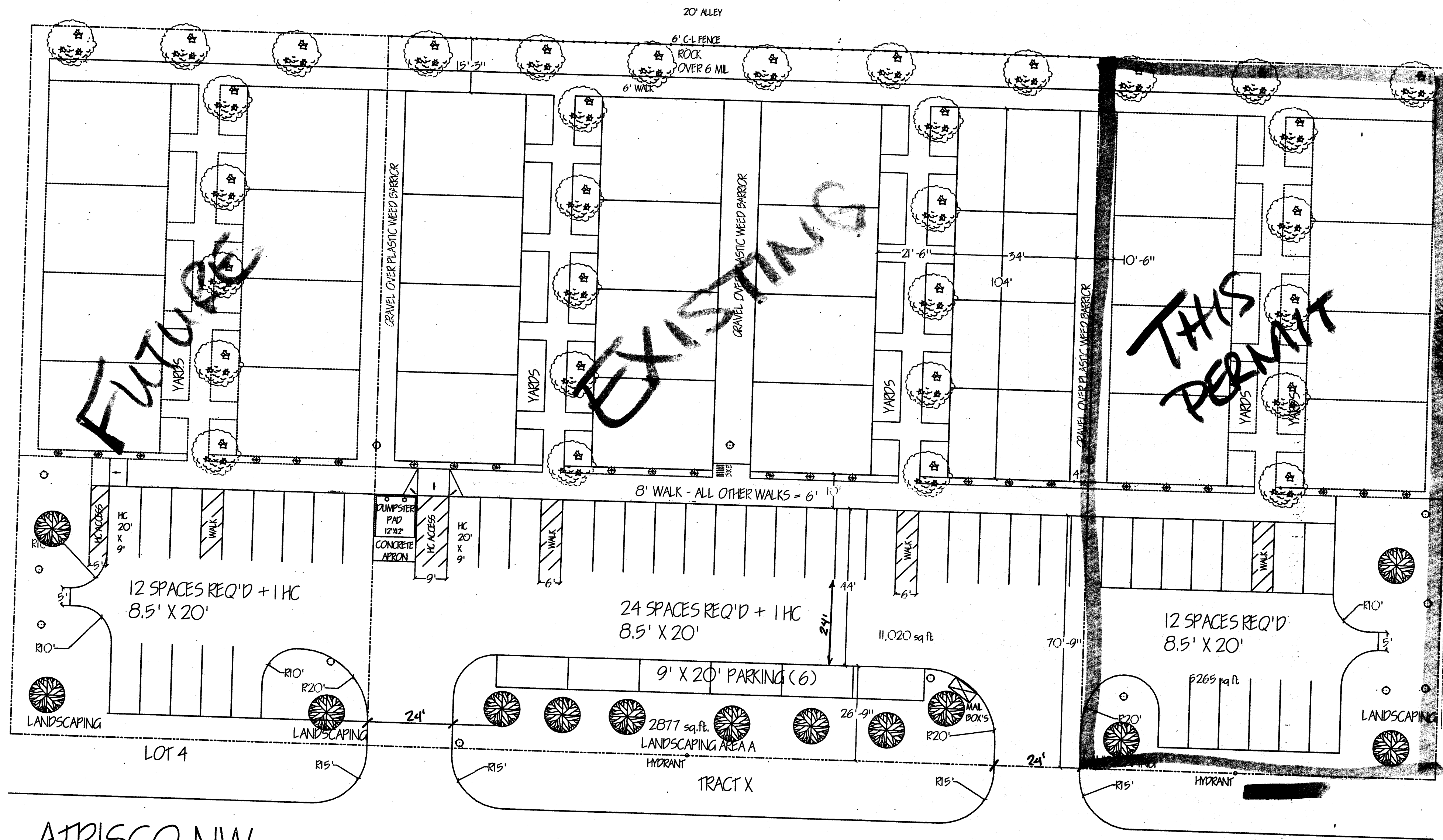


"AS-BUILT"

THIS TRAFFIC CIRCULATION LAYOUT (TCL)  
 SUBSTANTIALLY COMPLIES WITH  
 THE APPROVED TCL.

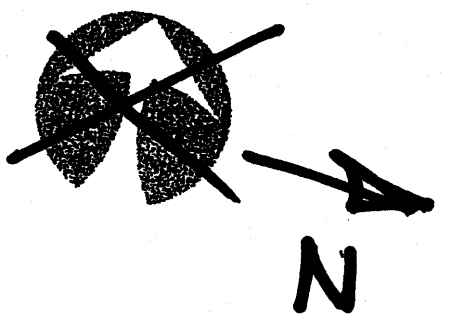
*[Signature]*  
 REGISTERED PROFESSIONAL ENGINEER  
 11-26-03





TRACT X  
 LOT SIZE: 40,000  
 BLD AREA: 14,144  
 NET LOT AREA: 25,856

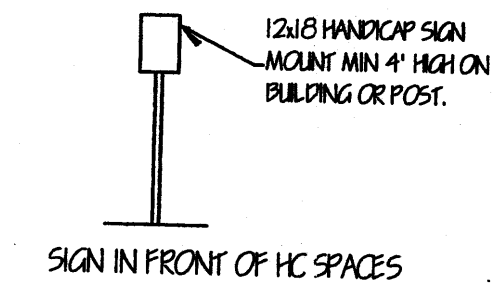
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LANDSCAPED AREAS TO BE COVERED  
 W/ 6 MIL PLASTIC UNDER 2"  
 AGGREGATE AROUND LIVE PLANTS.  
 Drip IRRIGATION SYSTEM FOR  
 ALL PLANTINGS



RUSSWOOD APARTMENTS  
 TRAFFIC & LANDSCAPING

I have reviewed the  
 Traffic Circulation  
 layout and it appears  
 to meet City of Alb.  
 Standards.

*Jackie S. McDowell*  
 JACKIE S. McDOWELL  
 CIVIL ENGINEER  
 4-3883

*Jackie S. McDowell*  
 JACKIE S. McDOWELL  
 CIVIL ENGINEER  
 10-25-04  
 FOR LOT #17

ATRISCO NW

NO CURB & CLITTER

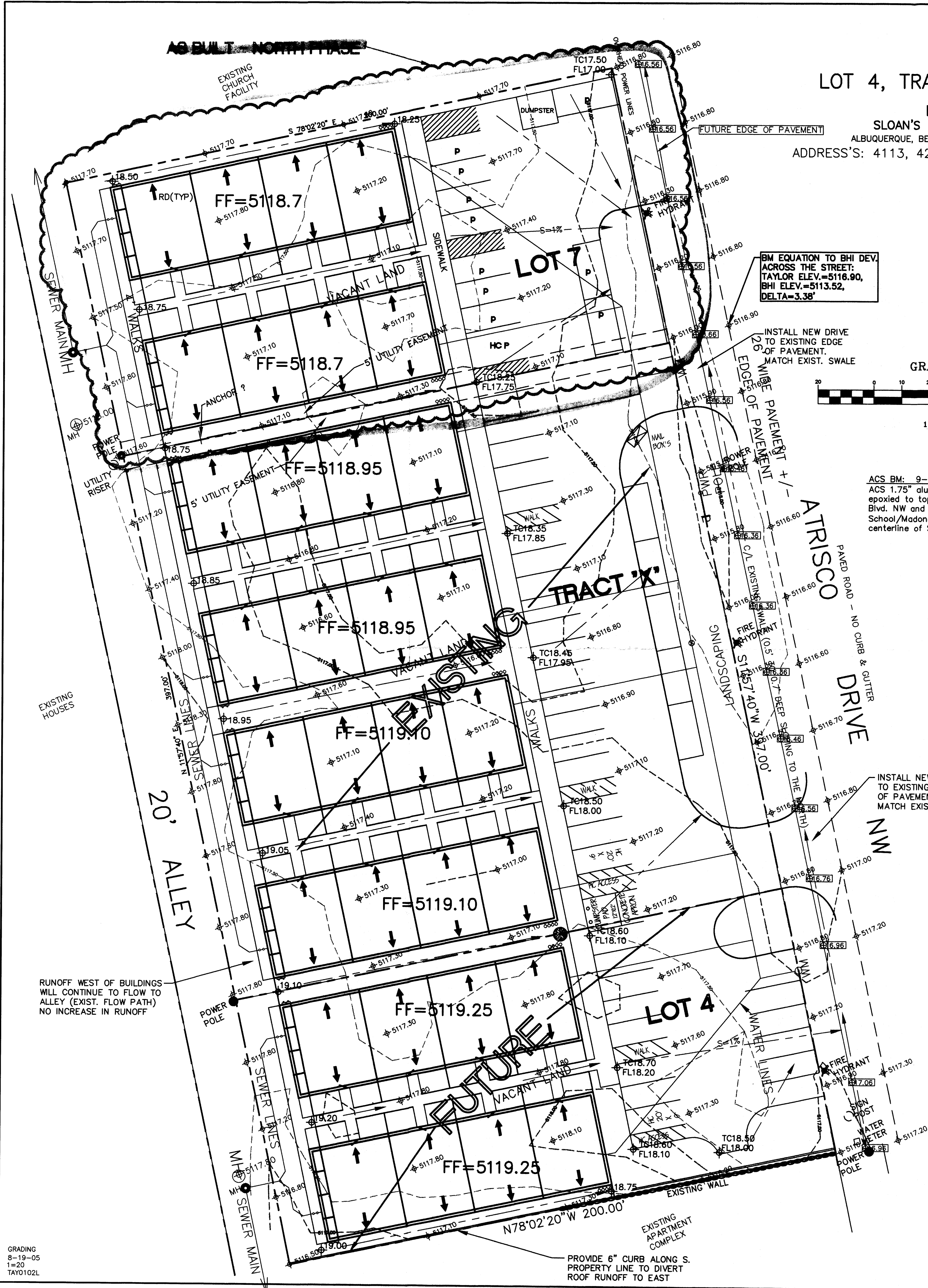
LOTS 4, TRACT X, & 7, SLOAN'S ACRES

SCALE: 1" = 20'

TRAFFIC CIRCULATION LAYOUT  
 APPROVED  
*WLS*  
 Signed Date 10/27/04

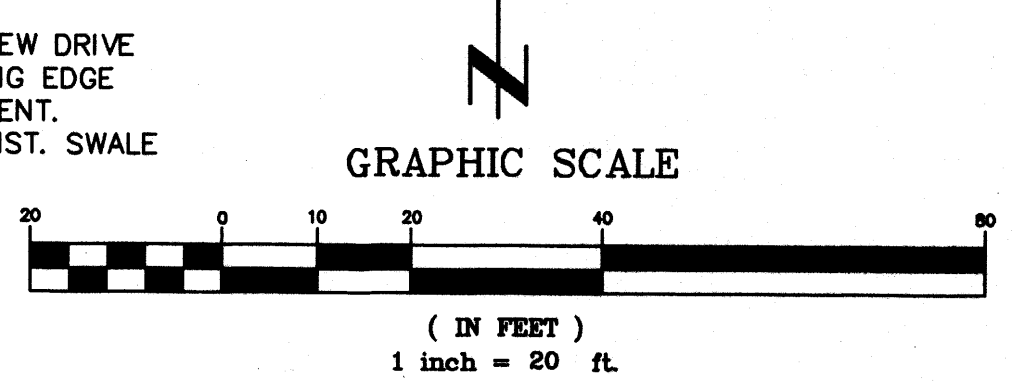
RECEIVED  
 OCT 27 2004  
 CITY ENGINEER





LOT 4, TRACT "X", & LOT 7  
 WITHIN  
 BLOCK 1  
 SLOAN'S ACRES SUBDIVISION  
 ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO  
 ADDRESS'S: 4113, 4201 & 4209 ATRISCO DRIVE NW

BM EQUATION TO BHI DEV  
 ACROSS THE STREET:  
 TAYLOR ELEV.=5116.90,  
 BHI ELEV.=5113.52,  
 DELTA=-3.38'



ACS BM: 9-F11, ELEV=5107.48 FT.  
 ACS 1.75" aluminum disk, stamped "ACS BM, 9-F11",  
 epoxied to top of concrete curb, SSE quadrant of Coors  
 Blvd. NW and the most northerly entrance to St. Plus High  
 School/Madonna Centre, 0.27 miles ± north of the  
 centerline of St. Joseph Dr.

**DRAINAGE PLAN SCOPE:**  
 Pursuant to the latest City of Albuquerque Ordinance, the Drainage Plan  
 shows hereon outlines the drainage management criteria for controlling  
 developed runoff on and selling the project site. Eight buildings  
 (apartments) are proposed for the subject property (3 lots), with associated  
 access, parking and landscaping.

**EXISTING CONDITIONS:**  
 Presently the 1.82 acre site is undeveloped. The site is bounded on the  
 north by an existing church facility, on the west by a 20' alley with existing  
 houses west of the alley, on the south by existing apartment building and on  
 the east by Atrisco Dr. NW. The site is very level and slopes to the north  
 via an existing grade located between Atrisco Dr. and the east property line.  
 As shown by the FEMA Flood Panel No. 114, the site is not located in a  
 100-year floodplain. No off-site runoff enters the property.

**PROPOSED CONDITIONS:**  
 As shown by the plan, the buildings are located within the westerly portion  
 of the lot. On site flow will drain around the structures and flow to the  
 east to Atrisco Dr. In accordance with discussions with City Hydrology  
 Engineer's, a one percent slope from the existing edge of pavement to the  
 Atrisco Dr. to the buildings will be used as the basis for draining the site  
 which will free discharge to Atrisco Dr. and be directed to the north to  
 an existing City owned and maintained pond. Free discharge is proposed so  
 that storm water from the site will drain to the pond before a peak runoff  
 flow in the area. All roof drainage will discharge from the roofs to the  
 east and continue to flow to Atrisco Dr.

Supplemental calculations have been provided to the City of Albuquerque  
 Hydrology Department.

**CALCULATIONS:**  
 The calculations shown hereon define the 100 year/6 hour design storm  
 falling within the project area under existing and developed conditions. The  
 Hydrology is per Section 22.2, Hydrology of the Development Process  
 Manual, Volume 2, Design Criteria, for the City of Albuquerque, New Mexico  
 in cooperation with Bernalillo County, New Mexico and the Albuquerque  
 Metropolitan Arroyo Flood Control Authority, latest edition.

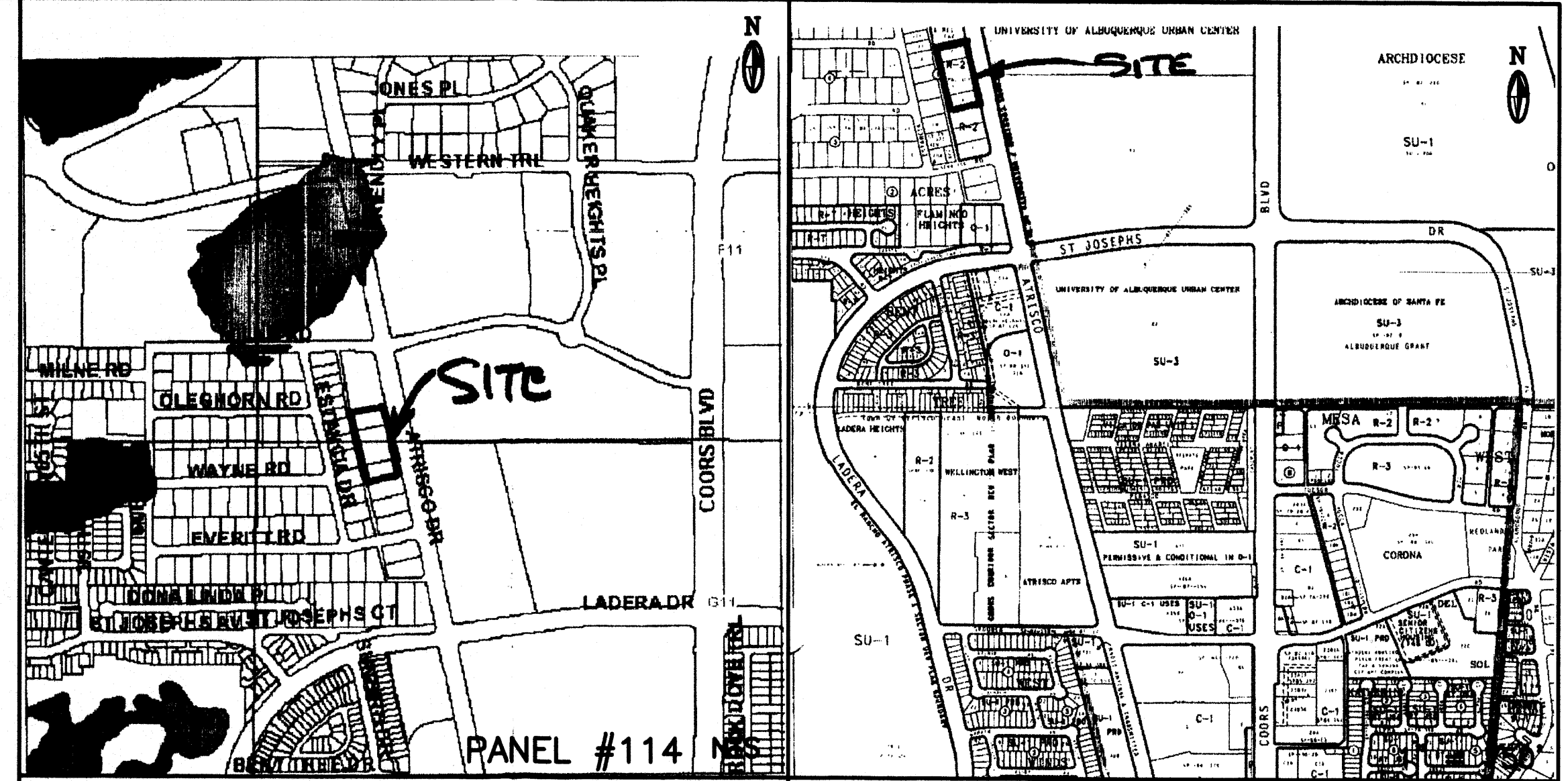
**Existing Treatment Types:**  
 Treatment A = 1.82 acres  
 Treatment B = 0 acres  
 Treatment C = 0 acres  
 Treatment D = 0 acres

**Proposed Treatment Types:**  
 Treatment A = 0.00 acres  
 Treatment B = 0.53 acres  
 Treatment C = 0.00 acres  
 Treatment D = 1.29 acres

Using the values above produces the following storm water flows and  
 volumes:  
 Existing 100-year Flow = 2.35 cfs  
 Proposed 100-year Flow = 6.71 cfs  
 Existing 100-year Volume = 2907 cu. ft.  
 Proposed 100-year Volume = 10514 cu. ft.

**PROPERTY ADDRESS:**  
 4113, 4201 and 4209 Atrisco Dr. NW

**TOPOGRAPHY:**  
 Topographic information provided by Gary Taylor Construction & Development.



FEMA FLOODWAY MAP (AGIS) VICINITY MAP ZONE ATLAS: F & G-11

- GENERAL GRADING NOTES:**
1. THE CONTRACTOR SHALL OBTAIN A TOP SOIL DISTURBANCE PERMIT FROM THE CITY OF ALBUQUERQUE, ENVIRONMENTAL HEALTH DIVISION PRIOR TO CONSTRUCTION.
  2. THE CONTRACTOR IS TO REFER TO THE EARTHWORK SPECIFICATIONS NOTED IN THE GEOTECHNICAL INVESTIGATION REPORT PREPARED FOR THIS LOT AND CAN BE OBTAINED BE THE OWNER.
  3. THE CONTRACTOR SHALL CONFORM TO ALL CITY, COUNTY, STATE AND FEDERAL DUST CONTROL MEASURES AND REQUIREMENTS AND WILL BE RESPONSIBLE FOR PREPARING AND OBTAINING ALL NECESSARY APPLICATIONS, PERMITS AND APPROVALS.
  4. PVC DRAINAGE PIPES MAY REQUIRE FIELD ADJUSTMENT DUE TO SUBSURFACE ROCK. CONTRACTOR SHALL PROVIDE POSITIVE DRAINAGE TO INLET/STREET.
  5. CONTRACTOR SHALL FIELD VERIFY ALL EXISTING UTILITY CONDITIONS AND NOTIFY THE ENGINEER IMMEDIATELY OF ANY DISCREPANCIES.
  6. TWO WORKING DAYS PRIOR TO EXCAVATION THE CONTRACTOR SHALL CONTACT NEW MEXICO ONE CALL SYSTEM (260-1990) FOR LOCATION OF EXISTING UTILITIES.
  7. CONTRACTOR SHALL PROVIDE DOUBLE CLEAN-OUTS AT ALL BENDS IN DRAINAGE PIPE.
  8. THE TOPSOIL COULD BE SAVED ASIDE FOR RE-USE IN FILLING DISTURBED AREAS AROUND THE STRUCTURE.
  9. ALL DISTURBED AREAS ON THE LOT SHALL BE RESEEDED WITH NATIVE SEEDING MATERIAL.
  10. THE MAXIMUM GRADED SIDE SLOPE SHALL NOT EXCEED 3 FEET (HORIZONTALLY) TO 1 FOOT (VERTICALLY).
  11. AREAS DISTURBED DUE TO GRADING SHALL BE RESEEDED IN ACCORDANCE WITH CITY OF ALBUQUERQUE STD. SPECIFICATION 1012 - NATIVE GRASS SEEDING, O.A.E.

**LEGEND**

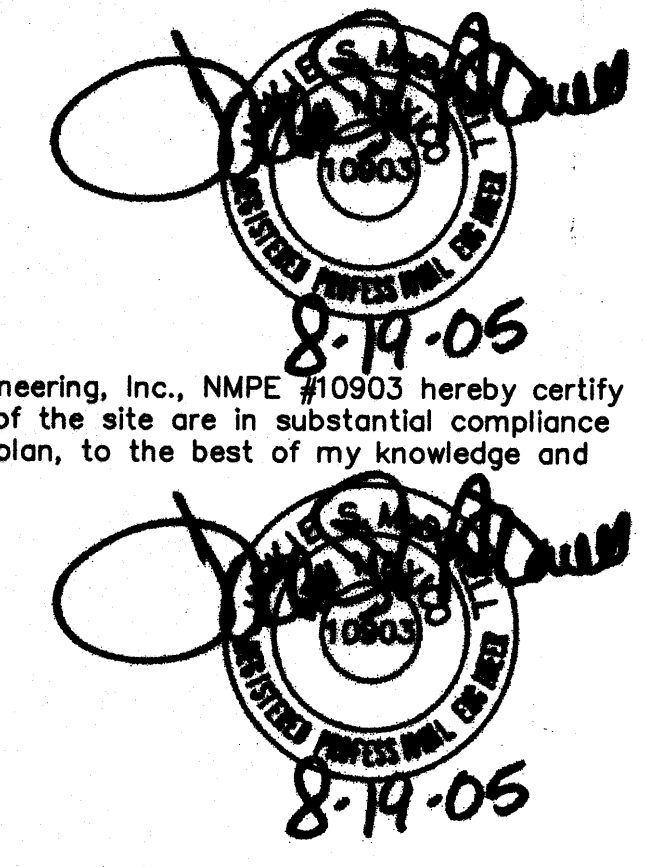
|                            | EXISTING     | PROPOSED               |
|----------------------------|--------------|------------------------|
| CONTOUR                    | --- 5820 --- | --- 5850 ---           |
| PROPERTY LINE              | ---          | ---                    |
| ROAD                       | ---          | ---                    |
| SETBACK                    | ---          | ---                    |
| RETAINING WALL             | ---          | ⊘⊘⊘⊘⊘⊘                 |
| SPOT ELEVATION             | ⊕ 5117.30    | ⊕ TC18.25<br>⊕ FL17.75 |
| FUTURE SPOT ELEVATION ● FL |              | ⊕ 5116.95              |

**TRAFFIC CERTIFICATION**

I, Jackie McDowell, NMPE #10903, McDowell Engineering, Inc., hereby certified that this project (SLOAN'S ACRES SUBDIVISION) is in substantial compliance with the design intent of the approved plan dated 4-22-03. I certify that I have personally visited the project site on August 15, 2005 and have determined by visual inspection that the actual site conditions are correct to the best of my knowledge and belief. The building permit approval included 11 parking spaces, 11 parking spaces have been provided in a different orientation, which is shown on the plan.

This certification is submitted in support of a request for certificate of occupancy.

The record information presented hereon is not necessarily complete and intended only to verify substantial compliance of the traffic aspects of this project. Those relying on the record document are advised to obtain independent verification of it's accuracy before using it for any other purpose.



**DRAINAGE CERTIFICATION**

I, Jackie S. McDowell, of McDowell Engineering, Inc., NMPE #10903 hereby certify that the as-built drainage conditions of the site are in substantial compliance with the approved grading a drainage plan, to the best of my knowledge and belief.

GRADING  
 8-19-05  
 1=20  
 TAY0102L

CITY OF ALBUQUERQUE, BERNALILLO COUNTY NEW MEXICO

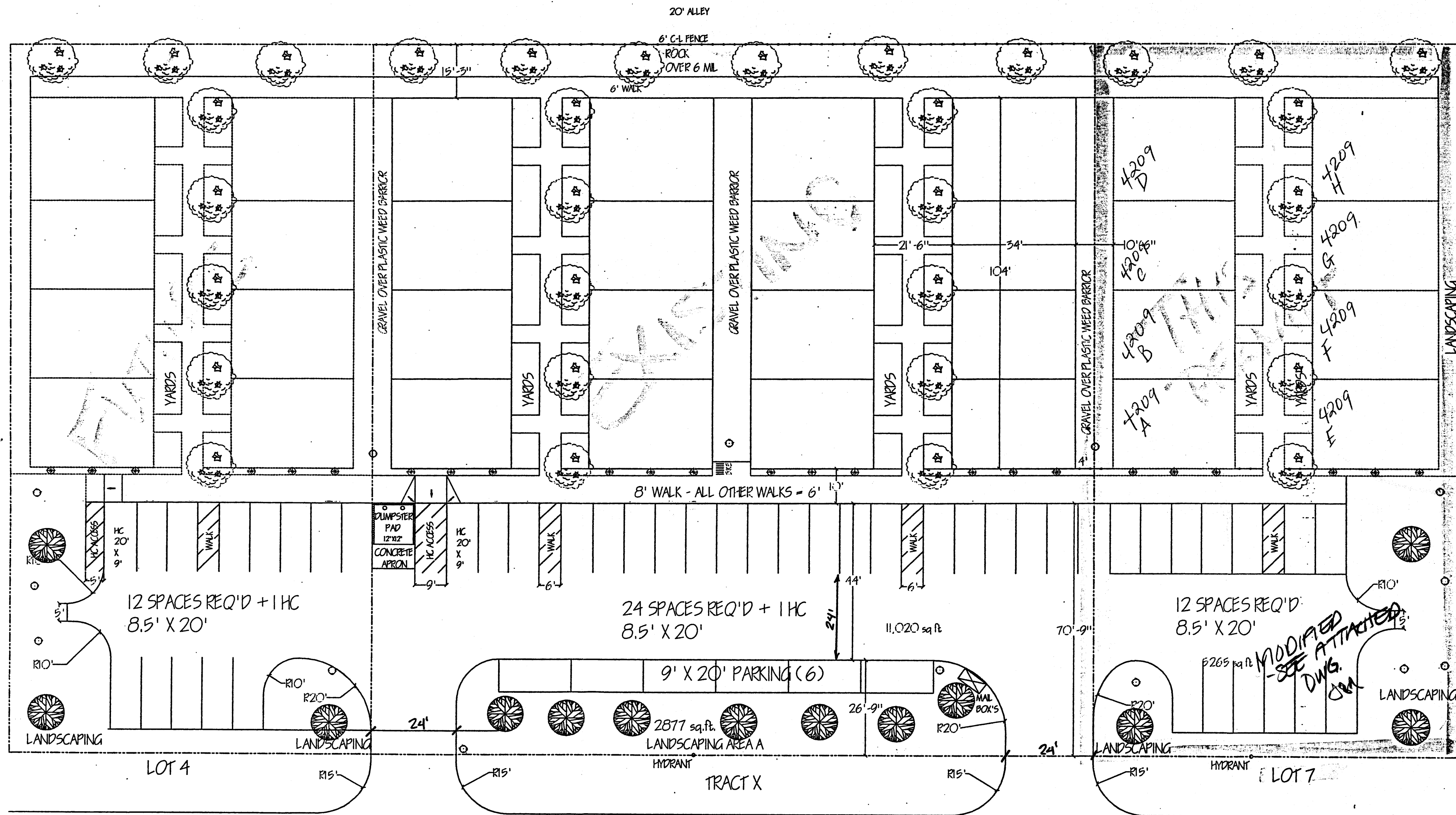
LOT 4, TRACT "X", & LOT 7, BLOCK 1  
 SLOAN'S ACRES SUBDIVISION

TAYLOR, RUSSWOOD GRADING & DRAINAGE PLAN

**McDowell Engineering Inc.**

Designed JSM Drawn STAFF Checked JSM Sheet of  
 File TAY0102L Date AUGUST,2005 1 1





ATRISCO NW

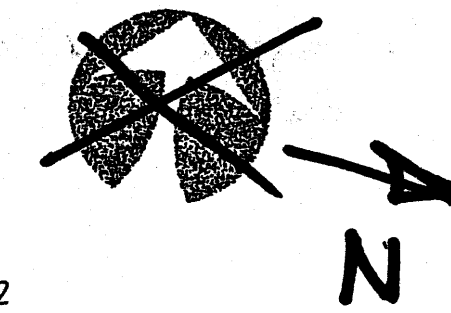
NO CURB & CLITTER

LOTS 4, TRACT X, & 7, SLOAN'S ACRES

SCALE: 1" = 20'

TRACT X:  
 LOT SIZE: 40,000  
 BLD AREA: 14,144  
 NET LOT AREA: 29,856

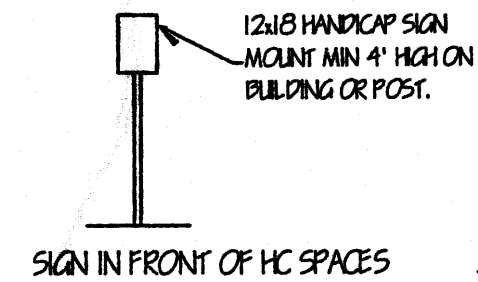
REQ'D OPEN SPACE:  
 16 x 500' - 8000  
 REQUIRED 15% LANDSCAPING - 5878  
 PROVIDED LANDSCAPING:  
 YARDS AND WALKS BETWEEN BUILDINGS: 4472  
 REAR OF BUILDINGS: 3000  
 EAST END OF BUILDINGS  
 FRONT ISLAND @ STREET: 2877  
 TOTAL LANDSCAPING: 12,349



| VEGETATION TABLE   | #  | AREA | TOTAL  |
|--|----|------|--------|
| BRADFORD FLOWERING PEAR 5 GAL<br>PYRUS CALLERYANA "BRADFORD" | 7  | 706  | 4942   |
| RED TIP PHOTINIA<br>PHOTINIA X FRASER                        | 12 | 50   | 600    |
| SPANISH BROOM<br>SPARTUM JUNCEUM                             | 5  | 79   | 257    |
| RAYWOOD ASH<br>FRAXINUS OXYCARPA                             | 16 | 962  | 15,392 |

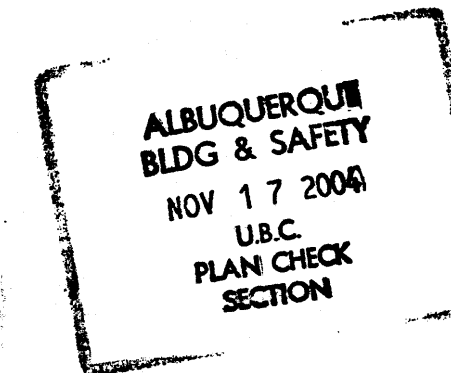
TOTAL CANOPY OF MATURE VEGETATION: 21,171 SQ FT

LANDSCAPED AREAS TO BE COVERED  
 W/ 6 MIL PLASTIC UNDER 2"  
 AGGREGATE AROUND LIVE PLANTS.  
 DRIP IRRIGATION SYSTEM FOR  
 ALL PLANTINGS

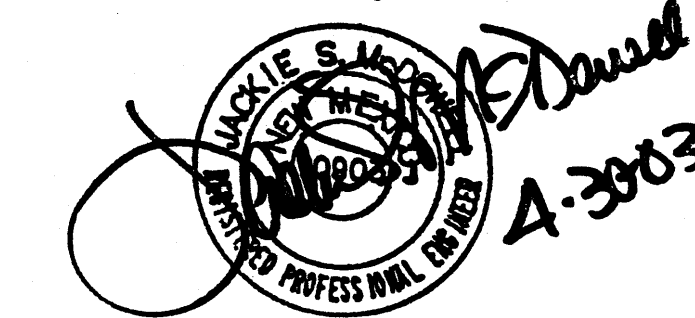


Public Infrastructure shown  
 on these plans for information  
 only and not part of approval.  
 Separate DRC/Permit approval  
 and Work Order required.

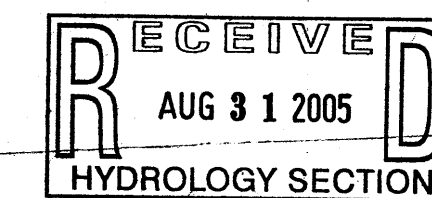
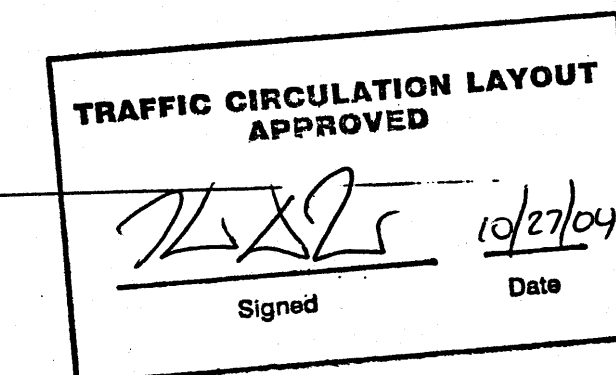
RUSSWOOD APARTMENTS  
 TRAFFIC & LANDSCAPING



I have reviewed the  
 Traffic Circulation  
 Layout and it appears  
 to meet City of Alb.  
 Standards.



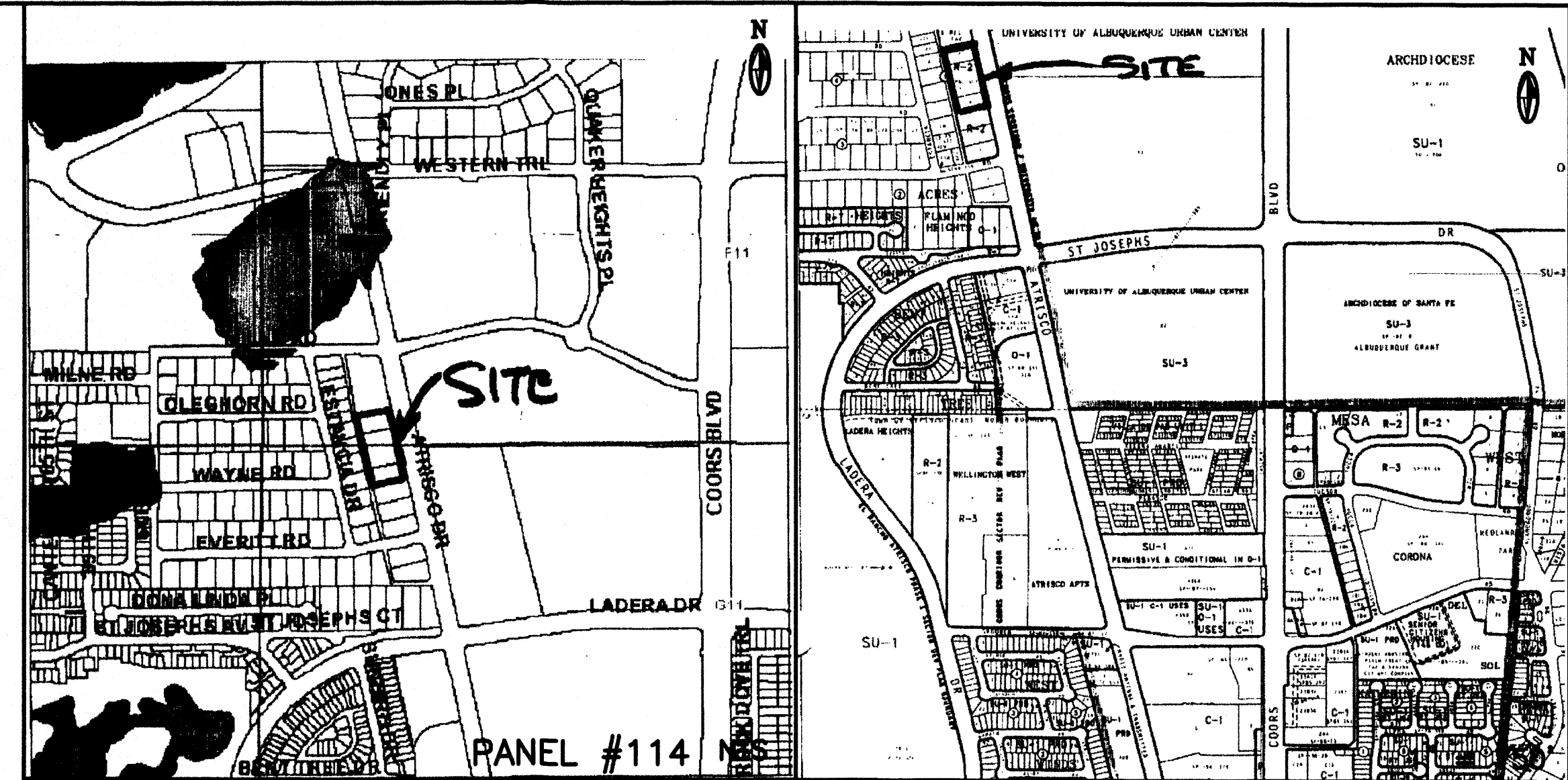
10-25-04  
 FOR LOT #7



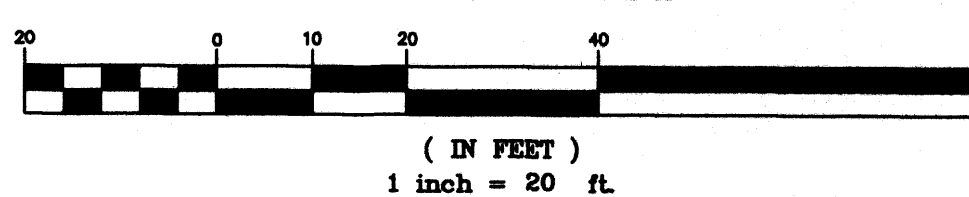


AS BUILT - NORTH PHASE

LOT 4, TRACT "X", & LOT 7  
 WITHIN  
 BLOCK 1  
 SLOAN'S ACRES SUBDIVISION  
 ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO  
 ADDRESS'S: 4113, 4201 & 4209 ATRISCO DRIVE NW



GRAPHIC SCALE



ACS BM: 9-F11, ELEV=5107.48 FT.  
 ACS 1.75" aluminum disk, stamped "ACS BM, 9-F11",  
 epoxied to top of concrete curb, SSE quadrant of Coors  
 Blvd. NW and the most northerly entrance to St. Plus High  
 School/Madonna Centre, 0.27 miles ± north of the  
 centerline of St. Joseph Dr.

DRAINAGE PLAN

SCOPE:  
 Pursuant to the latest City of Albuquerque Ordinances, the Drainage Plan shown hereon outlines the drainage management criteria for controlling developed runoff on and exiting the project site. Eight buildings (apartments) are proposed for the subject property (3 lots), with associated access, parking and landscaping.

EXISTING CONDITIONS:  
 Presently the 1.82 acre site is undeveloped. The site is bounded on the north by an existing church facility, on the west by a 20' alley with existing homes west of the alley, on the south by existing apartment building and on the east by Atrisco Dr. The site is very level and slopes to the north on an existing grade located between Atrisco Dr. and the east property line. As shown by the FEMA Map Panel No. 114, the site is not located in a 100-year floodplain. No offsite runoff enters the property.

PROPOSED CONDITIONS:  
 As shown by the plan, the buildings are located within the westerly portion of the lots. On site flows will drain around the structures and flow to the east to Atrisco Dr. In accordance with discussions with City Hydrology Engineer's, a one percent slope from the existing edge of pavement of Atrisco Dr. to the buildings will be used as the basis for draining the site which will flow discharge to Atrisco and be allowed to flow to the north to an existing city owned and maintained pond. Free discharge is proposed so that storm water from the site will drain to the pond before a peak runoff flow in the area. All roof drainage will discharge from the roofs to the east and continue to flow to Atrisco Dr.

Supplemental calculations have been provided to the City of Albuquerque Hydrology Department.

CALCULATIONS:  
 The calculations shown hereon define the 100 year/6 hour design storm falling within the project area under existing and developed conditions. The hydrology is per Section 22.2, Hydrology of the Development Process Manual, Volume 2, Design Criteria, for the City of Albuquerque, New Mexico in cooperation with Bernalillo County, New Mexico and the Albuquerque Metropolitan Arroyo Flood Control Authority, latest edition.

Existing Treatment Types:  
 Treatment A = 1.82 acres  
 Treatment B = 0 acres  
 Treatment C = 0 acres  
 Treatment D = 0 acres

Proposed Treatment Types:  
 Treatment A = 0.00 acres  
 Treatment B = 0.83 acres  
 Treatment C = 0.00 acres  
 Treatment D = 1.29 acres

Using the values above produces the following storm water flows and volumes:  
 Existing 100-year Flow = 2.35 cfs  
 Proposed 100-year Flow = 6.71 cfs  
 Existing 100-year Volume = 2907 cu. ft.  
 Proposed 100-year Volume = 10814 cu. ft.

PROPERTY ADDRESS:  
 4113, 4201 and 4209 Atrisco Dr. NW

TOPOGRAPHY:  
 Topographic information provided by Gary Taylor Construction & Development.

GENERAL GRADING NOTES:

- THE CONTRACTOR SHALL OBTAIN A TOP SOIL DISTURBANCE PERMIT FROM THE CITY OF ALBUQUERQUE, ENVIRONMENTAL HEALTH DIVISION PRIOR TO CONSTRUCTION.
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LEGEND

|                       | EXISTING     | PROPOSED               |
|-----------------------|--------------|------------------------|
| CONTOUR               | --- 5820 --- | --- 5850 ---           |
| PROPERTY LINE         | -----        | -----                  |
| ROAD                  | -----        | -----                  |
| SETBACK               | -----        | -----                  |
| RETAINING WALL        | -----        | -----                  |
| SPOT ELEVATION        | ▲ 5117.30    | ▲ TC18.25<br>▲ FL17.75 |
| FUTURE SPOT ELEVATION | ● FL         | ● 516.95               |

**TRAFFIC CERTIFICATION**

I, Jackie S. McDowell, NMPE #10903 of the firm of McDowell Engineering, Inc., hereby certify that this project is in substantial compliance with and in accordance with the design intent of the approved plan dated October 25, 2004. The record information shown on the attached modified original Cad drawing dated August 19, 2005, was obtained by McDowell Engineering, Inc. I further certify that I have personally visited the project site on August 18, 2005 and have determined by visual inspection that the traffic circulation and parking follow the general intent of the approved plan with some minor parking layout modifications. The original plan showed that 12 spaces were required. 12 spaces have been provided. This certification is submitted in support of a request for Certificate of Occupancy.

The record information presented hereon is not necessarily complete and intended only to verify substantial compliance of the traffic aspects of this project. Those relying on the record document are advised to obtain independent verification of its accuracy before using it for any other purpose.

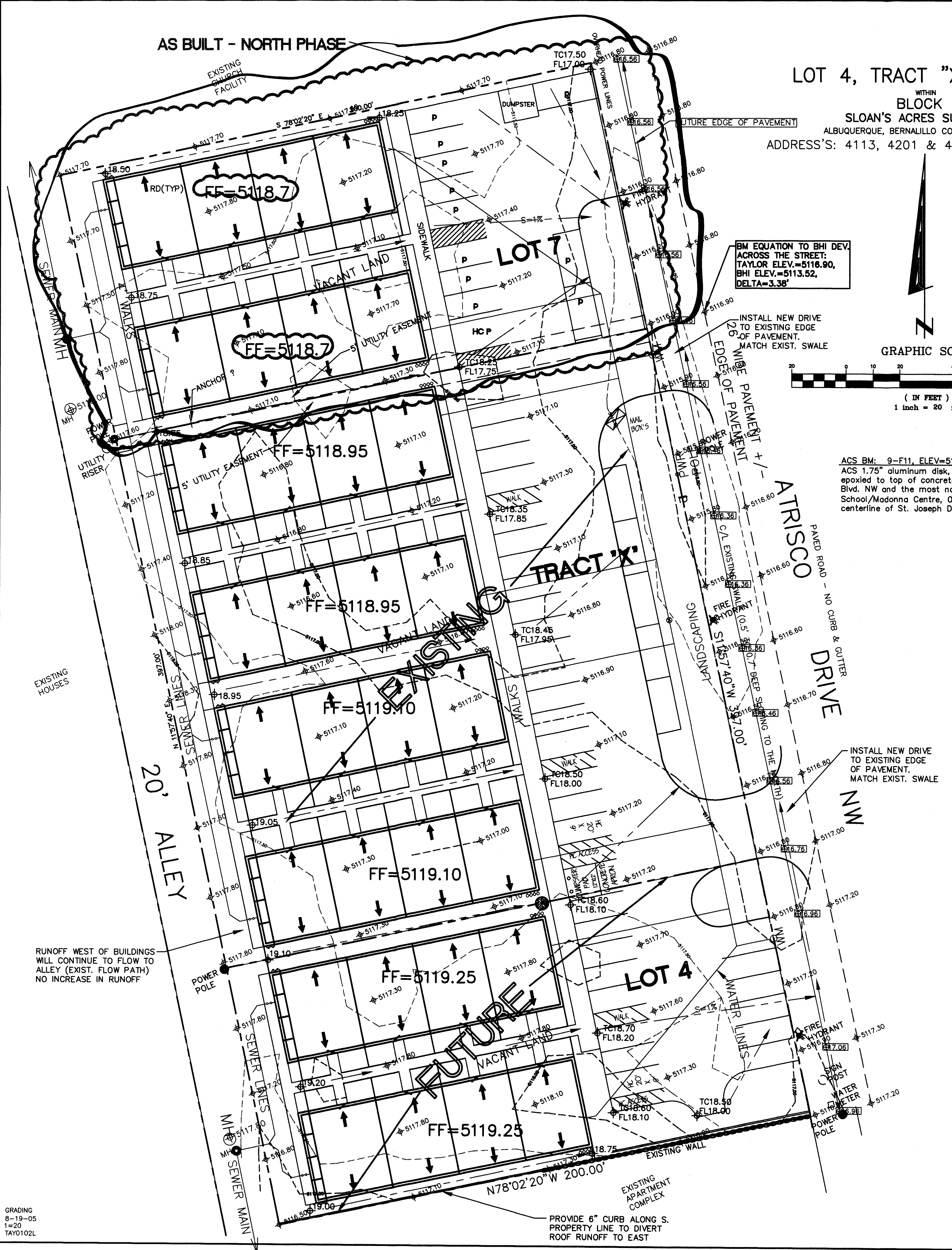
*Jackie S. McDowell*  
 8-19-05  
 REV. 8-30-05

**DRAINAGE CERTIFICATION**

I, Jackie S. McDowell, NMPE #10903, of the firm of McDowell Engineering, Inc., hereby certify that this project has been graded and will drain in substantial compliance with and in accordance with the design intent of the approved plan dated January 20, 2003. The record information edited onto the attached revised original Cad design document has been obtained by me or under my direct supervision and is true and correct to the best of my knowledge and belief. This certification is submitted in support of a request for Certification of Occupancy.

The record information presented hereon is not necessarily complete and intended only to verify substantial compliance of the Grading and Drainage aspects of this project. Those relying on this record document are advised to obtain independent verification of its accuracy before using it for any purpose.

*Jackie S. McDowell*  
 8-19-05  
 REV. 8-30-05



GRADING  
 8-19-05  
 1=20  
 TAY0102L

CITY OF ALBUQUERQUE, BERNALILLO COUNTY NEW MEXICO

LOT 4, TRACT "X", & LOT 7, BLOCK 1  
 SLOAN'S ACRES SUBDIVISION

TAYLOR, RUSSWOOD GRADING & DRAINAGE PLAN

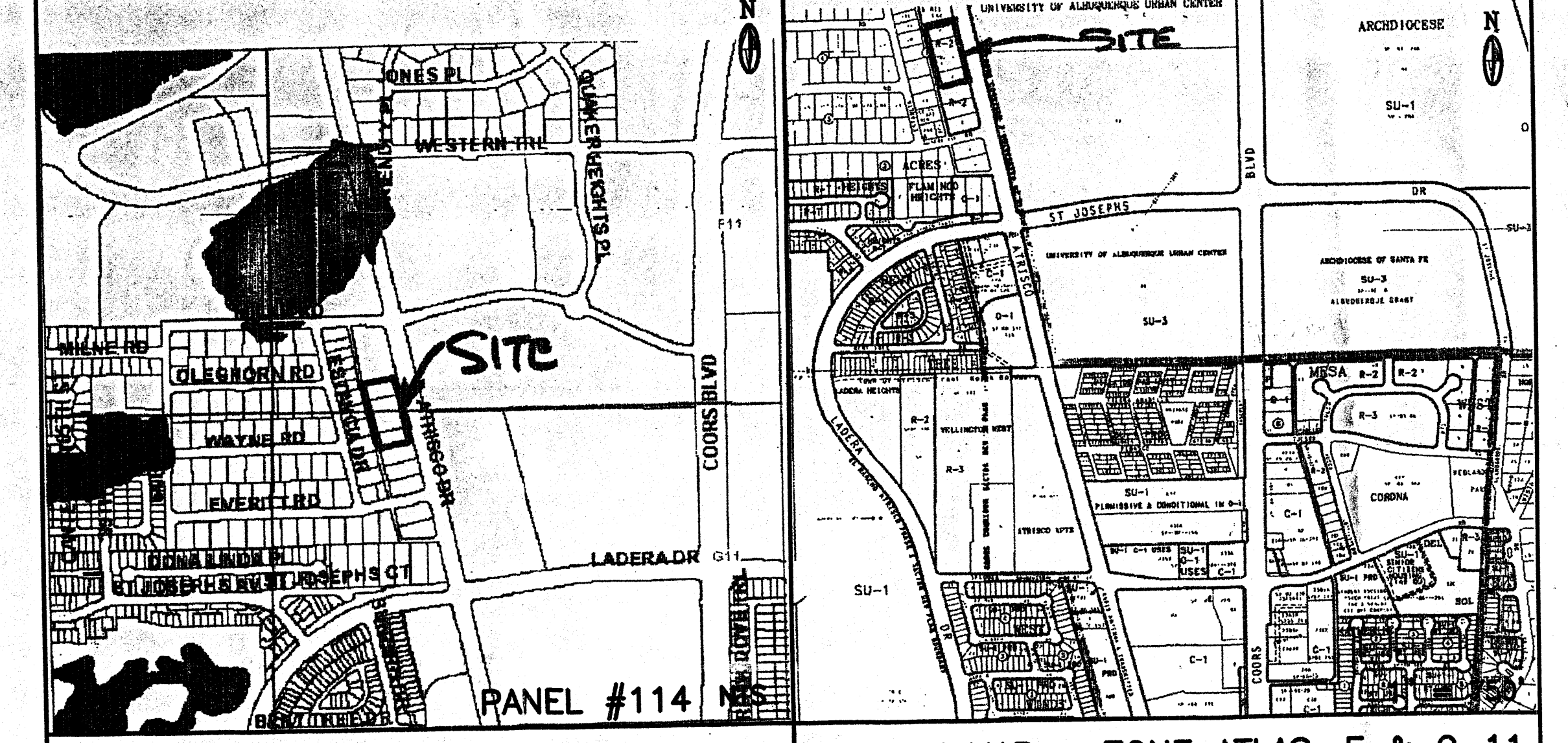
**McDowell Engineering Inc.**

Designed JSM Drawn STAFF Checked JSM Sheet of  
 File TAY0102L Date AUGUST, 2005 1 1

INFO.

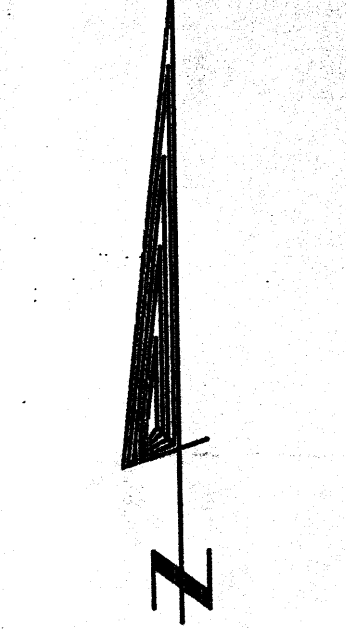
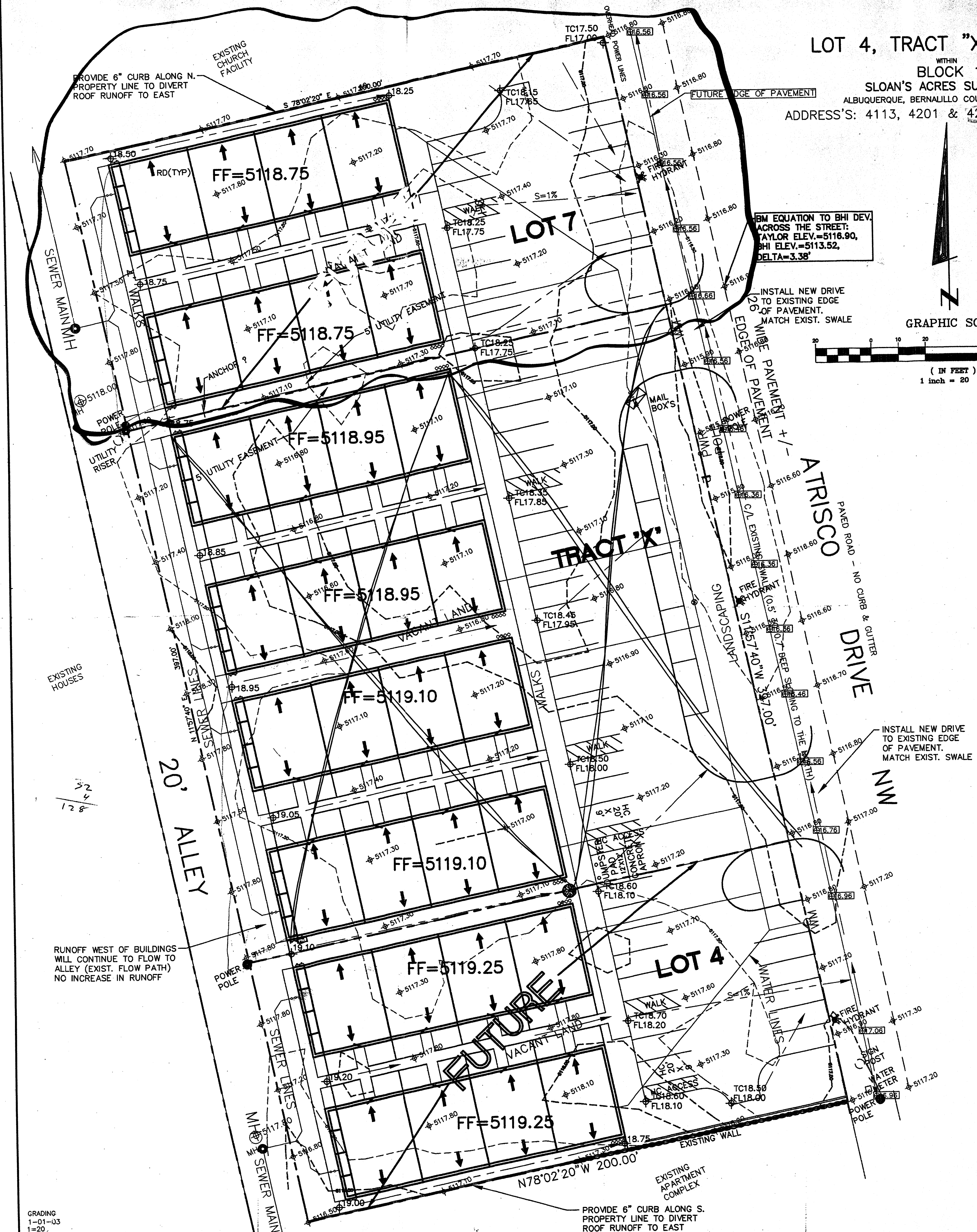


**LOT 4, TRACT "X", & LOT 7**  
 WITHIN  
**BLOCK 1**  
**SLOAN'S ACRES SUBDIVISION**  
 ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO  
 ADDRESS'S: 4113, 4201 & 4209 ATRISCO DRIVE NW



FEMA FLOODWAY MAP (AGIS)

VICINITY MAP ZONE ATLAS: F & G-11



**DRAINAGE PLAN**

**SCOPE:**

Pursuant to the latest City of Albuquerque Ordinance, the Drainage Plan shown hereon outlines the drainage management criteria for controlling developed runoff on and exiting the project site. Eight buildings (apartments) are proposed for the subject property (3 lots), with associated access, parking and landscaping.

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**Existing Treatment Types:**

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- Treatment B = 0 acres
- Treatment C = 0 acres
- Treatment D = 0 acres

**Proposed Treatment Types:**

- Treatment A = 0.00 acres
- Treatment B = 0.53 acres
- Treatment C = 0.00 acres
- Treatment D = 1.29 acres

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Topographic information provided by Gary Taylor Construction & Development.

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 ACS 1.75" aluminum disk, stamped "ACS BM, 9-F11", epoxied to top of concrete curb, SSE quadrant of Coors Blvd. NW and the most northerly entrance to St. Pius High School/Madonna Centre, 0.27 miles ± north of the centerline of St. Joseph Dr.

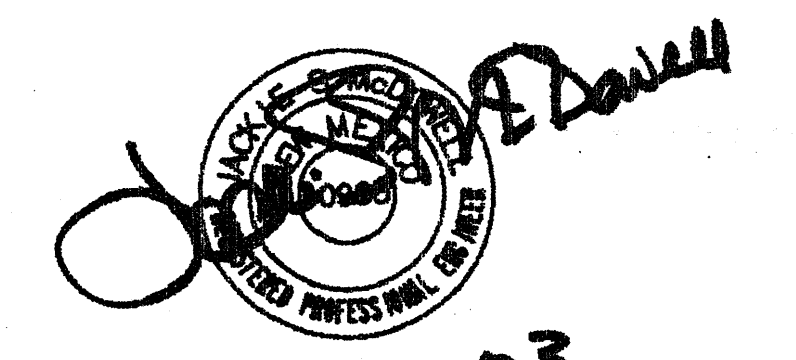
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7. CONTRACTOR SHALL PROVIDE DOUBLE CLEAN-OUTS AT ALL BENDS IN DRAINAGE PIPE.
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11. AREAS DISTURBED DUE TO GRADING SHALL BE RESEEDED IN ACCORDANCE WITH CITY OF ALBUQUERQUE STD. SPECIFICATION 1012 - NATIVE GRASS SEEDING, O.A.E.

**LEGEND**

|                       | EXISTING     | PROPOSED             |
|-----------------------|--------------|----------------------|
| CONTOUR               | --- 5820 --- | --- 5850 ---         |
| PROPERTY LINE         | ---          | ---                  |
| ROAD                  | ---          | ---                  |
| SETBACK               | ---          | ---                  |
| RETAINING WALL        | ---          | ---                  |
| SPOT ELEVATION        | ▲ 5117.30    | ▲ TC18.25<br>FL17.75 |
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ALBUQUERQUE  
 BLDG & SAFETY  
 JAN 30 2004  
 U.S.  
 PLAN CHECK  
 SECTION



1-20-03  
 Rev. 4-22-03



RECEIVED  
 AUG 31 2005  
 HYDROLOGY SECTION

CITY OF ALBUQUERQUE, BERNALILLO COUNTY NEW MEXICO

**LOT 4, TRACT "X", & LOT 7, BLOCK 1**  
**SLOAN'S ACRES SUBDIVISION**

TAYLOR GRADING & DRAINAGE PLAN

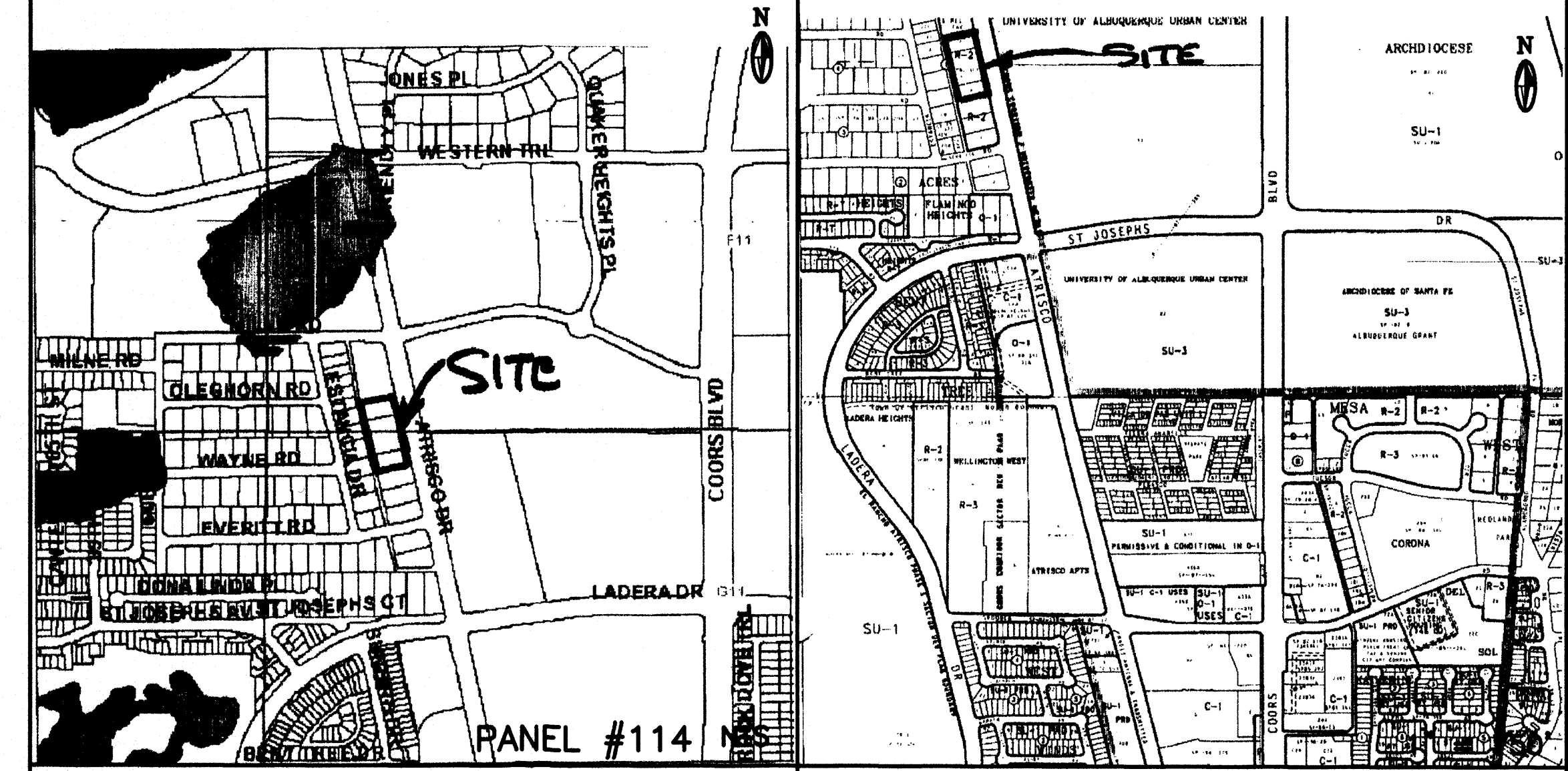
**McDowell Engineering Inc.**

|               |                  |             |          |
|---------------|------------------|-------------|----------|
| Designed JSM  | Drawn STAFF      | Checked JSM | Sheet of |
| File TAY0102L | Date APRIL, 2003 |             | 1 1      |

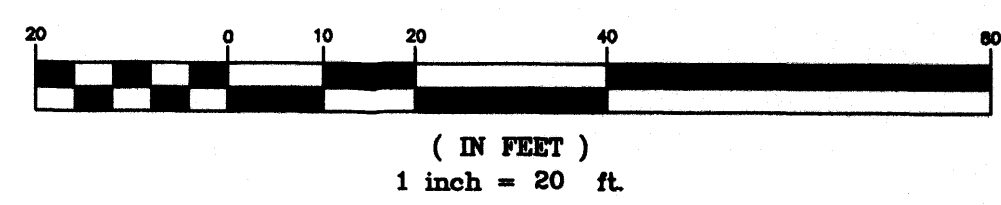


AS BUILT - NORTH PHASE

LOT 4, TRACT "X", & LOT 7  
 WITHIN  
 BLOCK 1  
 SLOAN'S ACRES SUBDIVISION  
 ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO  
 ADDRESS'S: 4113, 4201 & 4209 ATRISCO DRIVE NW



GRAPHIC SCALE  
 ( IN FEET )  
 1 inch = 20 ft.



ACS BM: 9-F11, ELEV=5107.48 FT.  
 ACS 1.75" aluminum disk, stamped "ACS BM, 9-F11",  
 exp'd to top of concrete curb, SSE quadrant of Coors  
 Blvd. NW and the most northerly entrance to St. Plus High  
 School/Madonna Centre, 0.27 miles ± north of the  
 centerline of St. Joseph Dr.

**DRAINAGE PLAN**  
 SCOPE:  
 Pursuant to the latest City of Albuquerque Ordinance, the Drainage Plan shown herein outlines the drainage management criteria for controlling runoff on and exiting the project site. Eight buildings (apartments) are proposed for the subject property (3 lots), with associated access, parking and landscaping.

**EXISTING CONDITIONS:**  
 Presently the 1.82 acre site is undeveloped. The site is bounded on the north by an existing church facility, on the west by a 20' alley with existing homes west of the alley, on the south by existing apartment building and on the east by Atrisco Dr. NW. The site is very level and slopes to the north on an existing grade located between Atrisco Dr. and the east property line. As shown by the FEMA Map Panel No. 114, the site is not located in a 100-year floodplain. No off-site runoff enters the property.

**PROPOSED CONDITIONS:**  
 As shown by the plan, the buildings are located within the westerly portion of the lots. On site flows will drain around the structures and flow to the east to Atrisco Dr. In accordance with discussions with City Hydrology Engineer, a one percent slope from the existing edge of pavement of Atrisco Dr. to the buildings will be used as the basis for draining the site which will free discharge to Atrisco and be allowed to flow to the north on an existing City owned and maintained pond. Free discharge is proposed so that storm water from the site will drain to the pond before a peak runoff flow in the area. All roof drainage will discharge from the roofs to the east and continue to flow to Atrisco Dr.

Supplemental calculations have been provided to the City of Albuquerque Hydrology Department.

**CALCULATIONS:**  
 The calculations shown herein define the 100 year/6 hour design storm falling within the project area under existing and developed conditions. The Hydrology is per Section 22.2, Hydrology of the Development Process Manual, Volume 2, Design Criteria, for the City of Albuquerque, New Mexico in cooperation with Bernalillo County, New Mexico and the Albuquerque Metropolitan Arroyo Flood Control Authority, latest edition.

**Existing Treatment Types:**  
 Treatment A = 1.82 acres  
 Treatment B = 0 acres  
 Treatment C = 0 acres  
 Treatment D = 0 acres

**Proposed Treatment Types:**  
 Treatment A = 0.00 acres  
 Treatment B = 0.53 acres  
 Treatment C = 0.00 acres  
 Treatment D = 1.29 acres

Using the values above produces the following storm water flows and volumes:  
 Existing 100-year Flow = 2.35 cfs  
 Proposed 100-year Flow = 3.71 cfs  
 Existing 100-year Volume = 2907 cu. ft.  
 Proposed 100-year Volume = 10514 cu. ft.

**PROPERTY ADDRESS:**  
 4113, 4201 and 4209 Atrisco Dr. NW

**TOPOGRAPHY:**  
 Topographic information provided by Gary Taylor Construction & Development.

- GENERAL GRADING NOTES:**
1. THE CONTRACTOR SHALL OBTAIN A TOP SOIL DISTURBANCE PERMIT FROM THE CITY OF ALBUQUERQUE, ENVIRONMENTAL HEALTH DIVISION PRIOR TO CONSTRUCTION.
  2. THE CONTRACTOR IS TO REFER TO THE EARTHWORK SPECIFICATIONS NOTED IN THE GEOTECHNICAL INVESTIGATION REPORT PREPARED FOR THIS LOT AND CAN BE OBTAINED BY THE OWNER.
  3. THE CONTRACTOR SHALL CONFORM TO ALL CITY, COUNTY, STATE AND FEDERAL DUST CONTROL MEASURES AND REQUIREMENTS AND WILL BE RESPONSIBLE FOR PREPARING AND OBTAINING ALL NECESSARY APPLICATIONS, PERMITS AND APPROVALS.
  4. PVC DRAINAGE PIPES MAY REQUIRE FIELD ADJUSTMENT DUE TO SUBSURFACE ROCK. CONTRACTOR SHALL PROVIDE POSITIVE DRAINAGE TO INLET/STREET.
  5. CONTRACTOR SHALL FIELD VERIFY ALL EXISTING UTILITY CONDITIONS AND NOTIFY THE ENGINEER IMMEDIATELY OF ANY DISCREPANCIES.
  6. TWO WORKING DAYS PRIOR TO EXCAVATION THE CONTRACTOR SHALL CONTACT NEW MEXICO ONE CALL SYSTEM (260-1990) FOR LOCATION OF EXISTING UTILITIES.
  7. CONTRACTOR SHALL PROVIDE DOUBLE CLEAN-OUTS AT ALL BENDS IN DRAINAGE PIPE.
  8. THE TOPSOIL COULD BE SAVED ASIDE FOR RE-USE IN FILLING DISTURBED AREAS AROUND THE STRUCTURE.
  9. ALL DISTURBED AREAS ON THE LOT SHALL BE RESEED WITH NATIVE SEEDING MATERIAL.
  10. THE MAXIMUM GRADED SIDE SLOPE SHALL NOT EXCEED 3 FEET (HORIZONTALLY) TO 1 FOOT (VERTICALLY)
  11. AREAS DISTURBED DUE TO GRADING SHALL BE RESEED IN ACCORDANCE WITH CITY OF ALBUQUERQUE STD. SPECIFICATION 1012 - NATIVE GRASS SEEDING, O.A.E.

LEGEND

|                            | EXISTING     | PROPOSED             |
|----------------------------|--------------|----------------------|
| CONTOUR                    | --- 5820 --- | --- 5850 ---         |
| PROPERTY LINE              | -----        | -----                |
| ROAD                       | =====        | =====                |
| SETBACK                    | -----        | -----                |
| RETAINING WALL             | -----        | -----                |
| SPOT ELEVATION             | ▲ 517.30     | ▲ TC18.25<br>FL17.75 |
| FUTURE SPOT ELEVATION @ FL |              | ▲ 516.95             |

**TRAFFIC CERTIFICATION**

I, Jackie S. McDowell, NMPE #10903 of the firm of McDowell Engineering, Inc., hereby certify that this project is in substantial compliance with and in accordance with the design intent of the approved plan dated October 25, 2004. The record information shown on the attached modified original Cad drawing dated August 19, 2005, was obtained by McDowell Engineering, Inc. I further certify that I have personally visited the project site on August 16, 2005 and have determined by visual inspection that the traffic circulation and parking follow the general intent of the approved plan with some minor parking layout modifications. The original plan showed that 12 spaces were required. 12 spaces have been provided. This certification is submitted in support of a request for Certificate of Occupancy.

The record information presented hereon is not necessarily complete and intended only to verify substantial compliance of the traffic aspects of this project. Those relying on the record document are advised to obtain independent verification of its accuracy before using it for any other purpose.

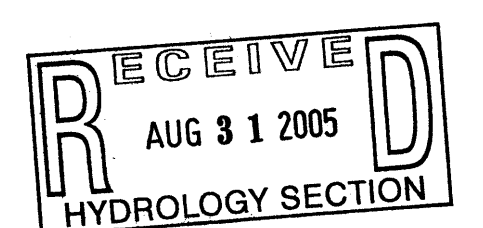
*Jackie S. McDowell*  
 8-19-05  
 REV. 8-30-05

**DRAINAGE CERTIFICATION**

I, Jackie S. McDowell, NMPE #10903, of the firm of McDowell Engineering, Inc., hereby certify that this project has been graded and will drain in substantial compliance with and in accordance with the design intent of the approved plan dated January 20, 2003. The record information edited onto the attached revised original Cad design document has been obtained by me or under my direct supervision and is true and correct to the best of my knowledge and belief. This certification is submitted in support of a request for Certification of Occupancy.

The record information presented hereon is not necessarily complete and intended only to verify substantial compliance of the Grading and Drainage aspects of this project. Those relying on this record document are advised to obtain independent verification of its accuracy before using it for any purpose.

*Jackie S. McDowell*  
 8-19-05  
 REV. 8-30-05



CITY OF ALBUQUERQUE, BERNALILLO COUNTY NEW MEXICO

LOT 4, TRACT "X", & LOT 7, BLOCK 1  
 SLOAN'S ACRES SUBDIVISION

TAYLOR, RUSSWOOD GRADING & DRAINAGE PLAN

**McDowell Engineering Inc.**

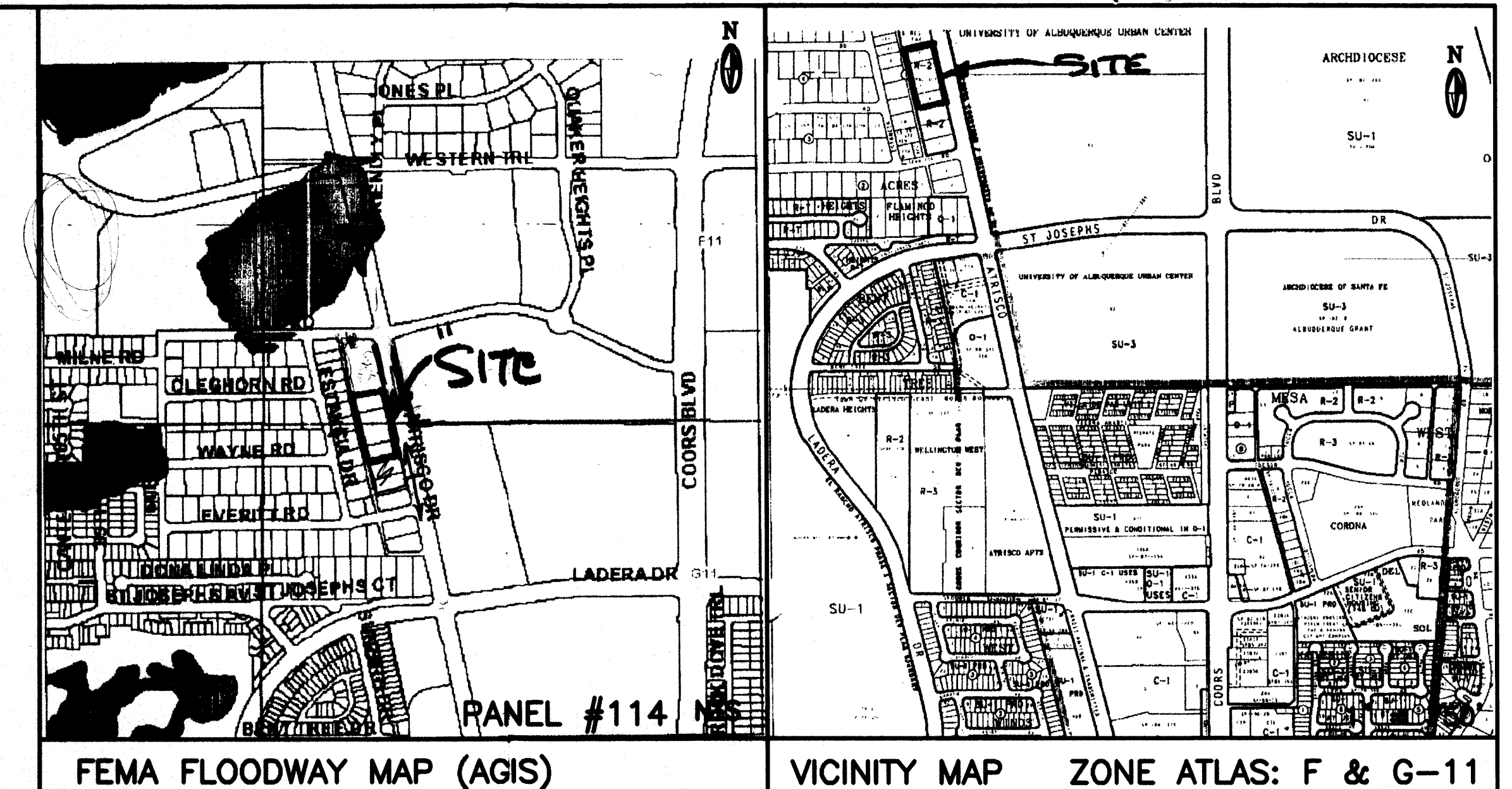
Designed JSM Drawn STAFF Checked JSM Sheet of  
 File TAYO102L Date AUGUST,2005 1 1

GRADING  
 8-19-05  
 1=20  
 TAYO102L

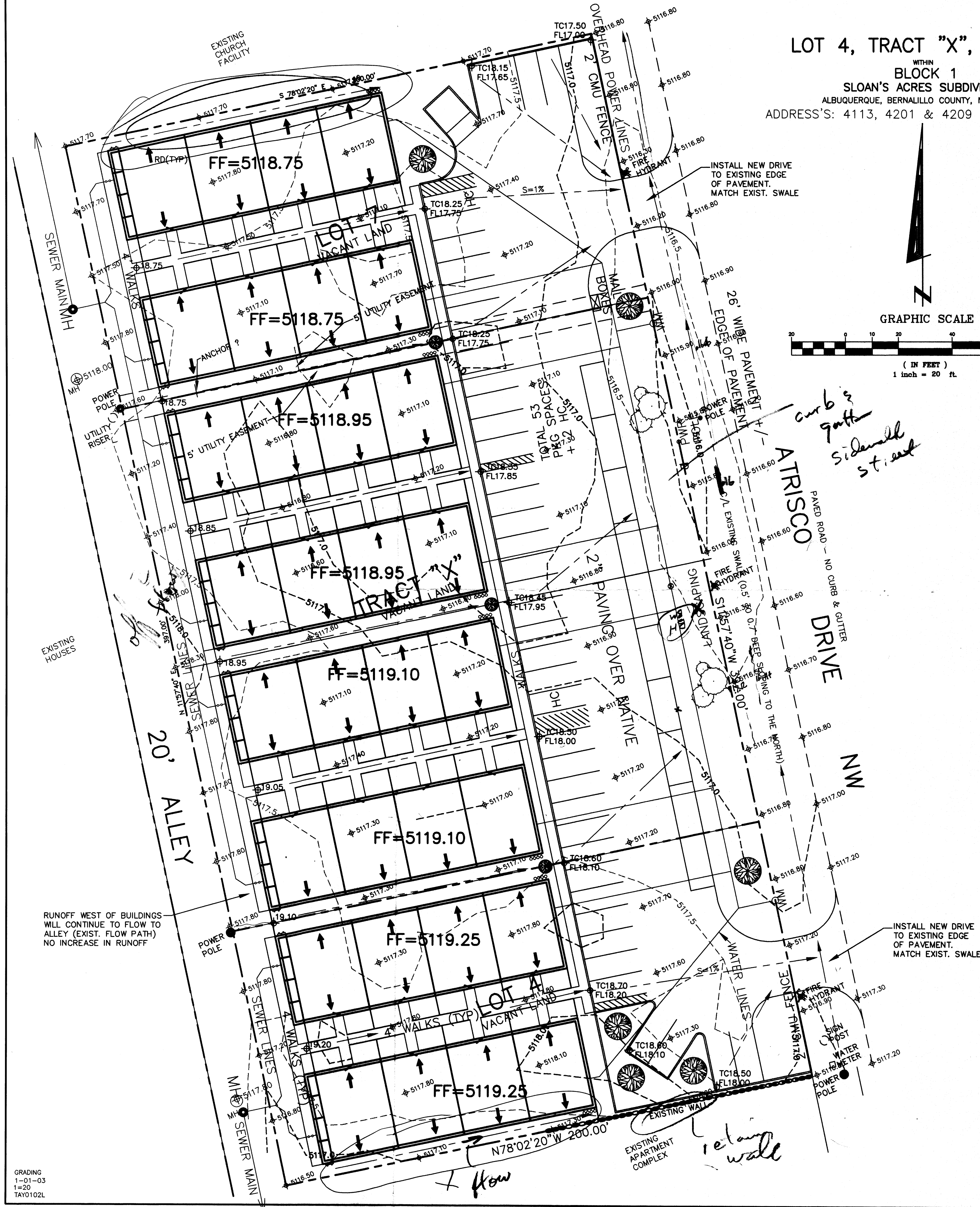
INFO



LOT 4, TRACT "X", & LOT 7  
 WITHIN  
 BLOCK 1  
 SLOAN'S ACRES SUBDIVISION  
 ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO  
 ADDRESS'S: 4113, 4201 & 4209 ATRISCO DRIVE NW



GRAPHIC SCALE  
 (IN FEET)  
 1 inch = 20 ft.



DRAINAGE PLAN

SCOPE:

Pursuant to the latest City of Albuquerque Ordinance, the Drainage Plan shown herein outlines the drainage management criteria for controlling developed runoff on and exiting the project site. Eight buildings (apartments) are proposed for the subject property (3 lots), with associated access, parking and landscaping.

EXISTING CONDITIONS:

Presently the 1.82 acre site is undeveloped. The site is bounded on the north by an existing church facility, on the west by a 20' alley with existing homes west of the alley, on the south by existing apartment building and on the east by Atrisco Dr. NW. The site is very level and slopes to the north via an existing swale located between Atrisco Dr. and the east property line. As shown by the FEMA Map Panel No. 114, the site is not located in a 100-year floodplain. No offsite runoff enters the property.

PROPOSED CONDITIONS:

As shown by the plan, the buildings are located within the westerly portion of the lots. On site flows will drain around the structures and flow to the east by Atrisco Dr. In accordance with discussions with City Hydrology Engineer's, a one percent slope from the existing edge of pavement of Atrisco Dr. to the buildings will be used as the basis for draining the site which will free discharge to Atrisco and be allowed to flow to the north to an existing City owned and maintained pond. Free discharge is proposed so that storm water from the site will drain to the pond before a peak runoff flows in the area. All roof drainage will discharge from the roofs to the east and continue to flow to Atrisco Dr.

Supplemental calculations have been provided to the City of Albuquerque Hydrology Department.

CALCULATIONS:

The calculations shown herein define the 100 year/6 hour design storm falling within the project area under existing and developed conditions. The Hydrology is per "Section 22.2, Hydrology of the Development Process Manual, Volume 2, Design Criteria, for the City of Albuquerque, New Mexico in cooperation with Bernalillo County, New Mexico and the Albuquerque Metropolitan Arroyo Flood Control Authority, latest edition.

Existing Treatment Types:

Treatment A = 1.82 acres  
 Treatment B = 0 acres  
 Treatment C = 0 acres  
 Treatment D = 0 acres

Proposed Treatment Types:

Treatment A = 0.00 acres  
 Treatment B = 0.53 acres  
 Treatment C = 0.00 acres  
 Treatment D = 1.29 acres

Using the values above produces the following storm water flows and volumes:

Existing 100-year Flow = 2.35 cfs  
 Proposed 100-year Flow = 6.71 cfs

Existing 100-year Volume = 2907 cu. ft.  
 Proposed 100-year Volume = 10514 cu. ft.

PROPERTY ADDRESS:

4113, 4201 and 4209 Atrisco Dr. NW

TOPOGRAPHY:

Topographic information provided by Gary Taylor Construction & Development.

ACS BM: 9-F11, ELEV=5107.48 FT.  
 ACS 1.75" aluminum disk, stamped "ACS BM, 9-F11", epoxied to top of concrete curb, SSE quadrant of Coors Blvd. NW and the most northerly entrance to St. Plus High School/Madonna Centre, 0.27 miles ± north of the centerline of St. Joseph Dr.

GENERAL GRADING NOTES:

1. THE CONTRACTOR SHALL OBTAIN A TOP SOIL DISTURBANCE PERMIT FROM THE CITY OF ALBUQUERQUE, ENVIRONMENTAL HEALTH DIVISION PRIOR TO CONSTRUCTION.
2. THE CONTRACTOR IS TO REFER TO THE EARTHWORK SPECIFICATIONS NOTED IN THE GEOTECHNICAL INVESTIGATION REPORT PREPARED FOR THIS LOT AND CAN BE OBTAINED BY THE OWNER.
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LEGEND

|                | EXISTING     | PROPOSED               |
|----------------|--------------|------------------------|
| CONTOUR        | --- 5820 --- | --- 5850 ---           |
| PROPERTY LINE  | -----        | -----                  |
| ROAD           | -----        | -----                  |
| SETBACK        | -----        | -----                  |
| RETAINING WALL | -----        | -----                  |
| SPOT ELEVATION | ▲ 5117.30    | ▲ TC18.25<br>▲ FL17.75 |

*Gary Taylor*  
 1-20-03

CITY OF ALBUQUERQUE, BERNALILLO COUNTY NEW MEXICO

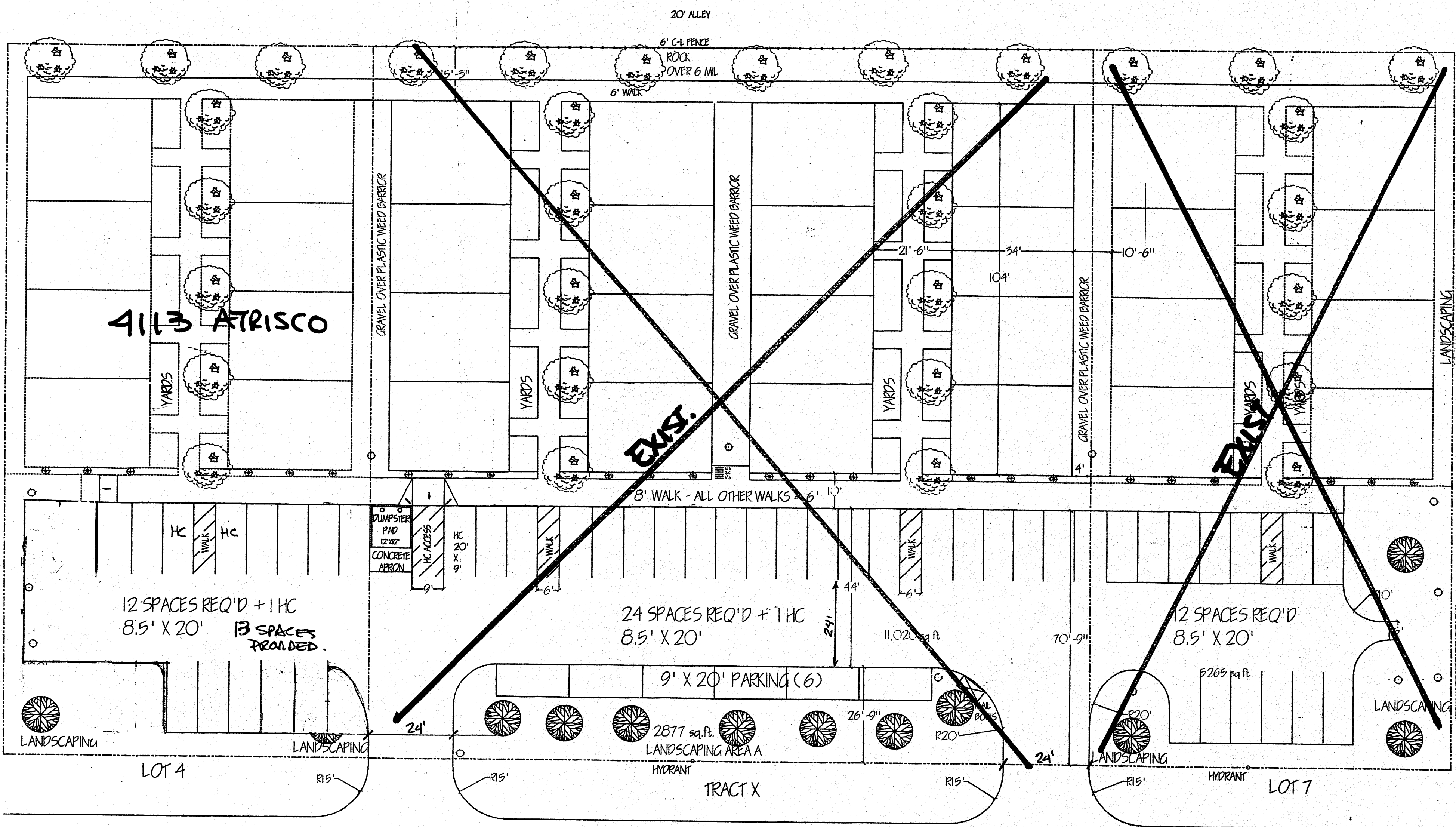
LOT 4, TRACT "X", & LOT 7, BLOCK 1  
 SLOAN'S ACRES SUBDIVISION

TAYLOR GRADING & DRAINAGE PLAN

**McDowell Engineering Inc.**

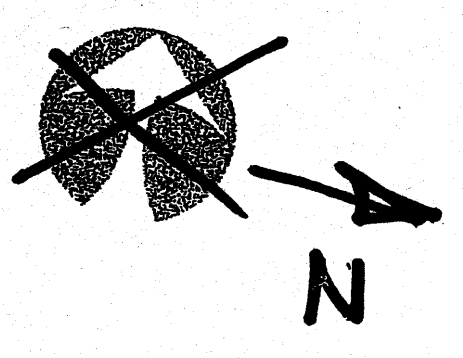
Designed JSM Drawn STAFF Checked JSM Sheet of  
 File TAY0102L Date JANUARY, 2003 1 1





TRACT X:  
 LOT SIZE: 40,000  
 BLD AREA: 14,144  
 NET LOT AREA: 25,856

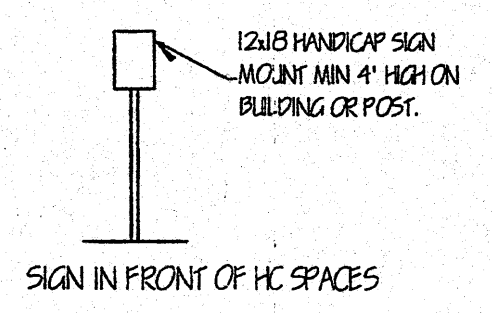
REQ'D OPEN SPACE:  
 16 x 500' = 8000  
 REQUIRED 15% LANDSCAPING = 3878  
 PROVIDED LANDSCAPING:  
 YARDS AND WALKS BETWEEN BUILDINGS: 4472  
 REAR OF BUILDINGS: 3000  
 EAST END OF BUILDINGS  
 FRONT ISLAND @ STREET: 2877  
 TOTAL LANDSCAPING: 12,349



| VEGETATION TABLE   | #  | AREA | TOTAL  |
|--|----|------|--------|
| BRADFORD FLOWERING PEAR 5 GAL<br>PYRUS CALLERYANA "BRADFORD" | 7  | 706  | 4942   |
| RED TIP PHOTINIA<br>PHOTINIA X FRASERI                       | 12 | 90   | 600    |
| SPANISH BROOM<br>SPARTIUM JUNCEUM                            | 3  | 79   | 237    |
| RAYWOOD ASH<br>FRAXINUS OXYCARPA                             | 16 | 962  | 15,392 |

TOTAL CANOPY OF MATURE VEGETATION: 21,171 SQ FT

LANDSCAPED AREAS TO BE COVERED  
 W/ 6 MIL PLASTIC UNDER 2"  
 AGGREGATE AROUND LIVE PLANTS.  
 DRIP IRRIGATION SYSTEM FOR  
 ALL PLANTINGS



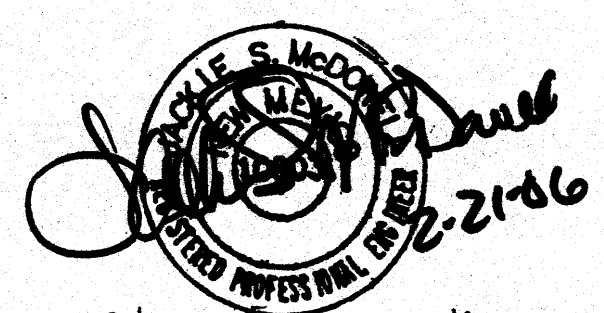
12x18 HANDICAP SIGN  
 MOUNT MIN 4" HIGH ON  
 BUILDING OR POST.  
 SIGN IN FRONT OF HC SPACES

ATRISCO NW

NO CURB & GUTTER

LOTS 4, TRACT X, & 7, SLOAN'S ACRES

SCALE: 1" = 20'



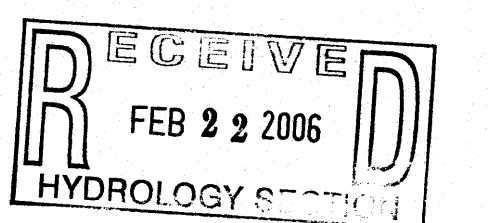
I have reviewed the  
 Traffic Circulation  
 Layout and it appears  
 to meet City of Albuq.  
 Standards. 2-21-06

TRAFFIC CIRCULATION LAYOUT  
 APPROVED  
*[Signature]*  
 Signed Date 10/27/04

RUSSWOOD APARTMENTS  
 TRAFFIC & LANDSCAPING

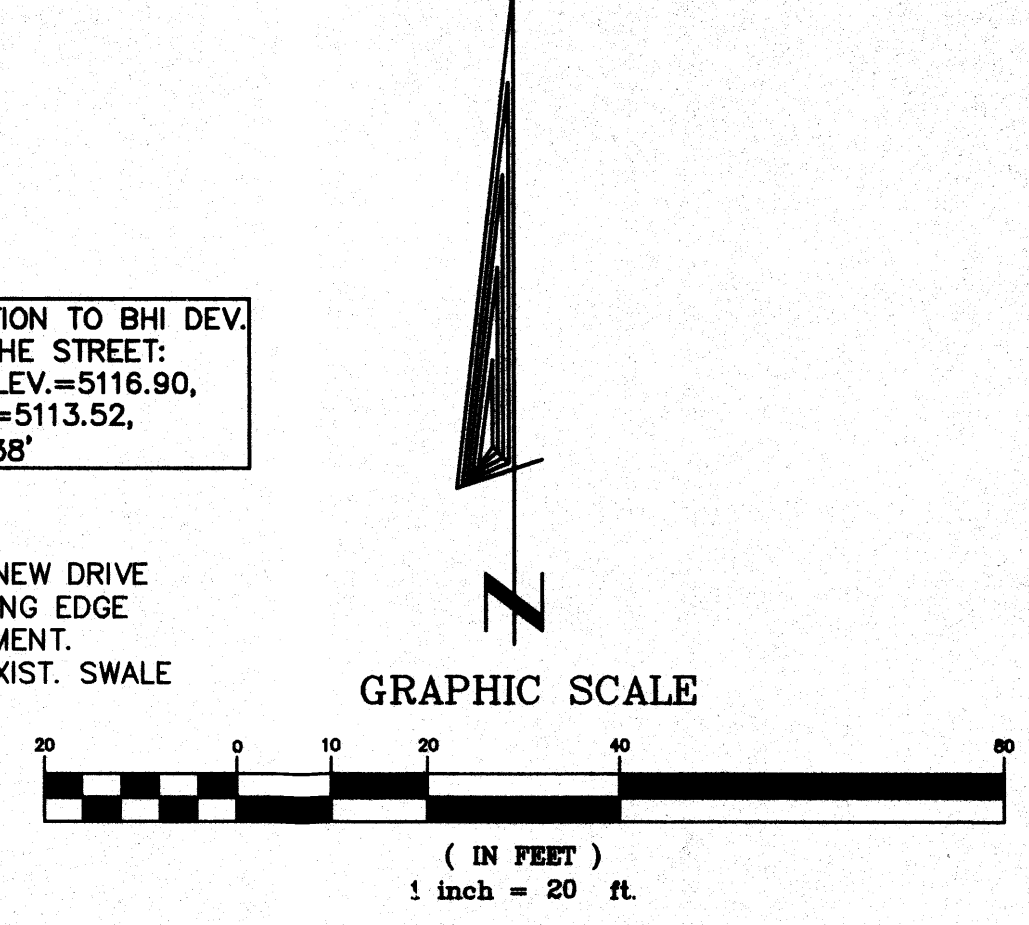
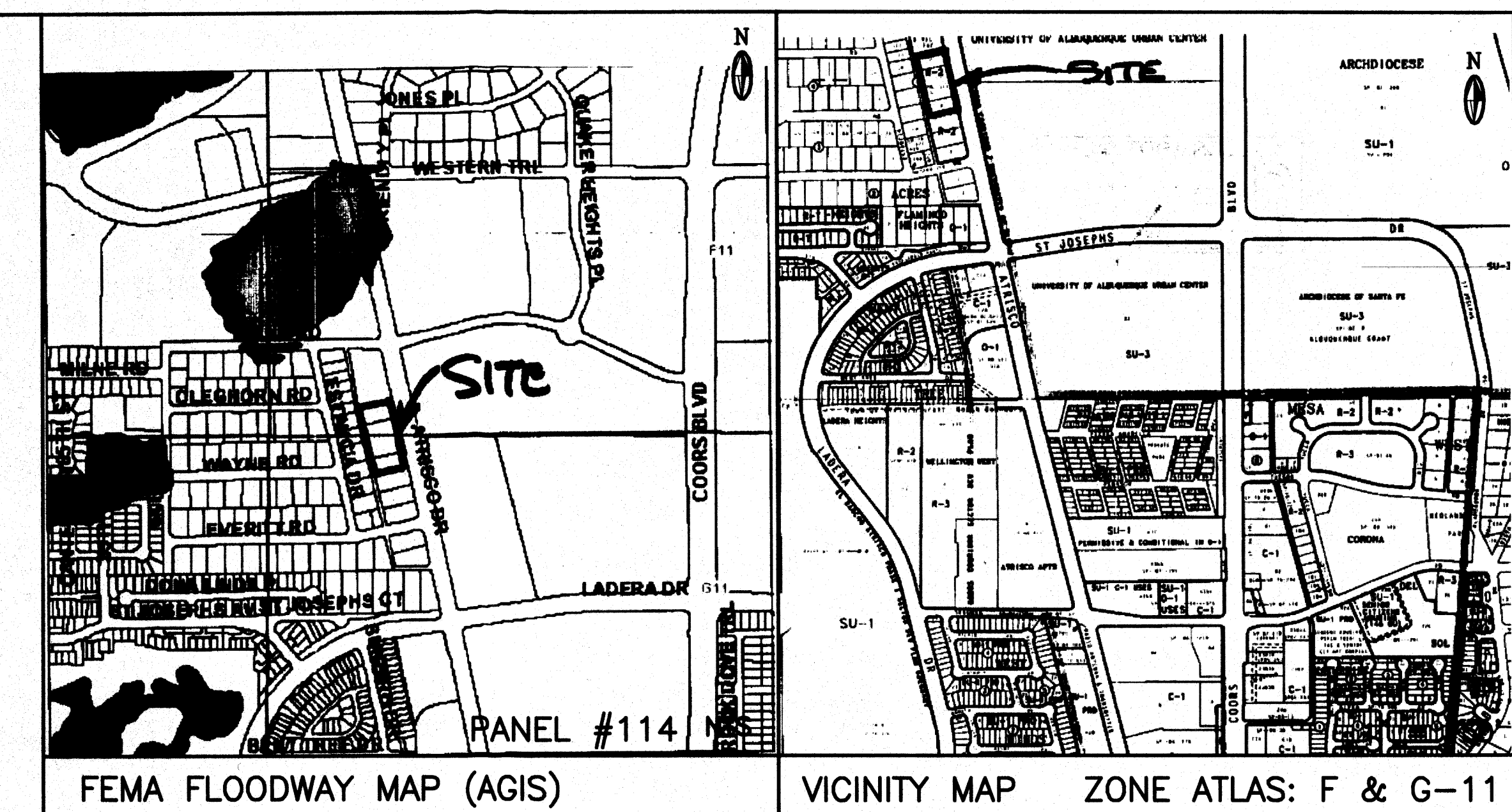
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 Layout and it appears  
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 Standards.  
*[Signature]*  
 A-3003

*[Signature]*  
 10/25/04  
 For Lot # 7



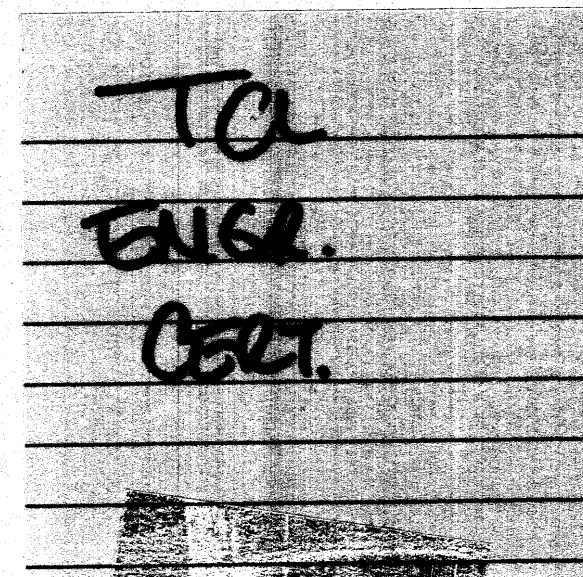


LOT 4, TRACT "X", & LOT 7  
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 ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO  
 ADDRESS'S: 4113, 4201 & 4209 ATRISCO DRIVE NW



BM EQUATION TO BHI DEV.  
 ACROSS THE STREET:  
 TAYLOR ELEV.=5116.90,  
 BHI ELEV.=5113.52,  
 DELTA=3.38'

ACS BM: 9-F11, ELEV=5107.48 FT.  
 ACS 1.75" aluminum disk, stamped "ACS BM, 9-F11",  
 epoxied to top of concrete curb. SSE quadrant of Coors  
 Blvd. NW and the most northerly entrance to St. Plus High  
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**DRAINAGE PLAN**  
 SCOPE:  
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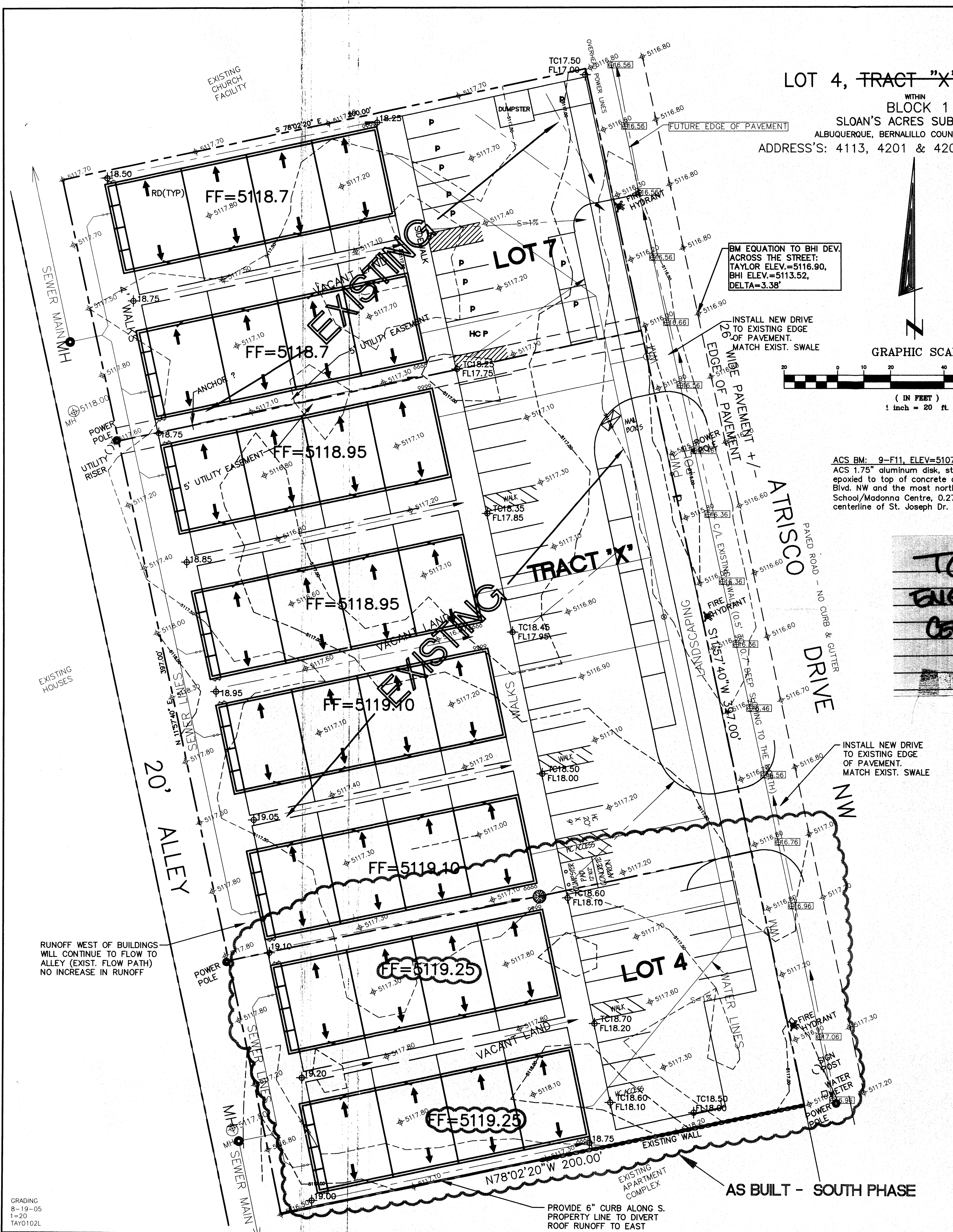
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**LEGEND**

|                       | EXISTING     | PROPOSED             |
|-----------------------|--------------|----------------------|
| CONTOUR               | --- 5820 --- | --- 5850 ---         |
| PROPERTY LINE         | ---          | ---                  |
| ROAD                  | ---          | ---                  |
| SETBACK               | ---          | ---                  |
| RETAINING WALL        | ---          | ---                  |
| SPOT ELEVATION        | ⊕ 5117.80    | ⊕ TC18.25<br>FL17.75 |
| FUTURE SPOT ELEVATION | ⊕ FL         | ⊕ 516.95             |

**TRAFFIC CERTIFICATION**  
 I, Jackie S. McDowell, NMPE #10903 of the firm of McDowell Engineering, Inc., hereby certify that this project is in substantial compliance with and in accordance with the design intent of the approved plan dated October 27, 2004. I further certify that I have personally visited the project site on February 17, 2006 and have determined by visual inspection that the traffic circulation and parking along the general intent of the approved plan with some minor parking layout modifications. The original plan showed that 13 spaces were required. 13 spaces have been provided. This certification is submitted in support of a Certificate of Occupancy.  
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 The record information presented hereon is not necessarily complete and intended only to verify substantial compliance of the Grading and Drainage aspects of this project. Those relying on this record document are advised to obtain independent verification of its accuracy before using it for any purpose.



GRADING  
 8-19-05  
 1=20'  
 TAY0102L

CITY OF ALBUQUERQUE, BERNALILLO COUNTY NEW MEXICO

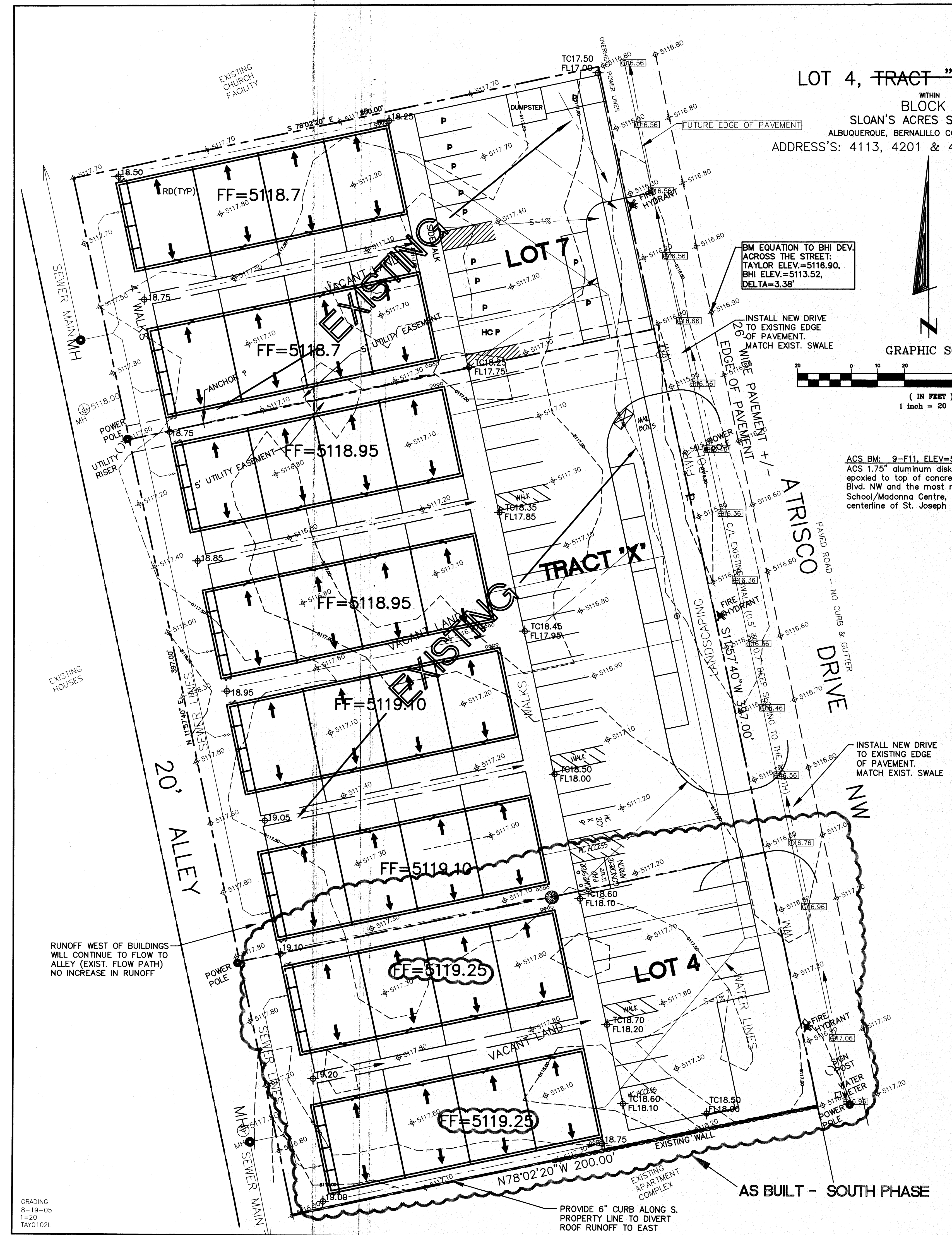
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TAYLOR, RUSSWOOD GRADING & DRAINAGE PLAN

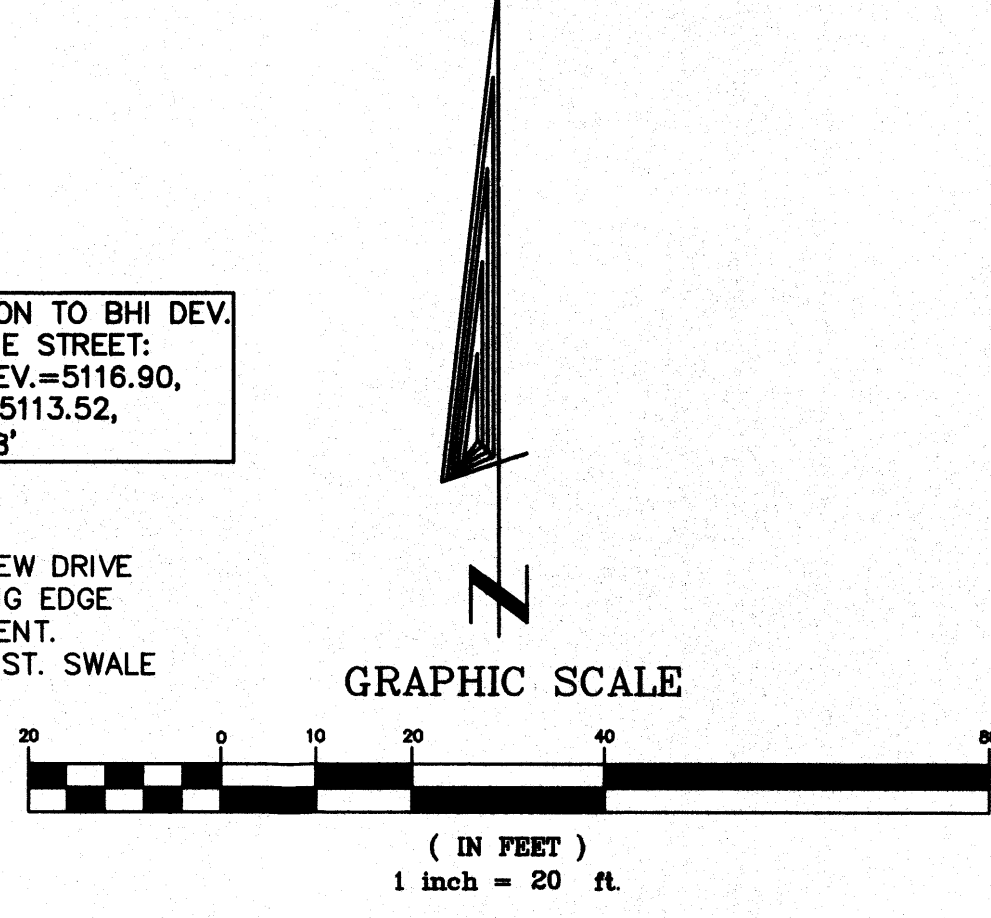
**McDowell Engineering Inc.**

|               |                   |             |          |
|---------------|-------------------|-------------|----------|
| Designed JSM  | Drawn STAFF       | Checked JSM | Sheet of |
| File TAY0102L | Date AUGUST, 2005 |             | 1 of 1   |

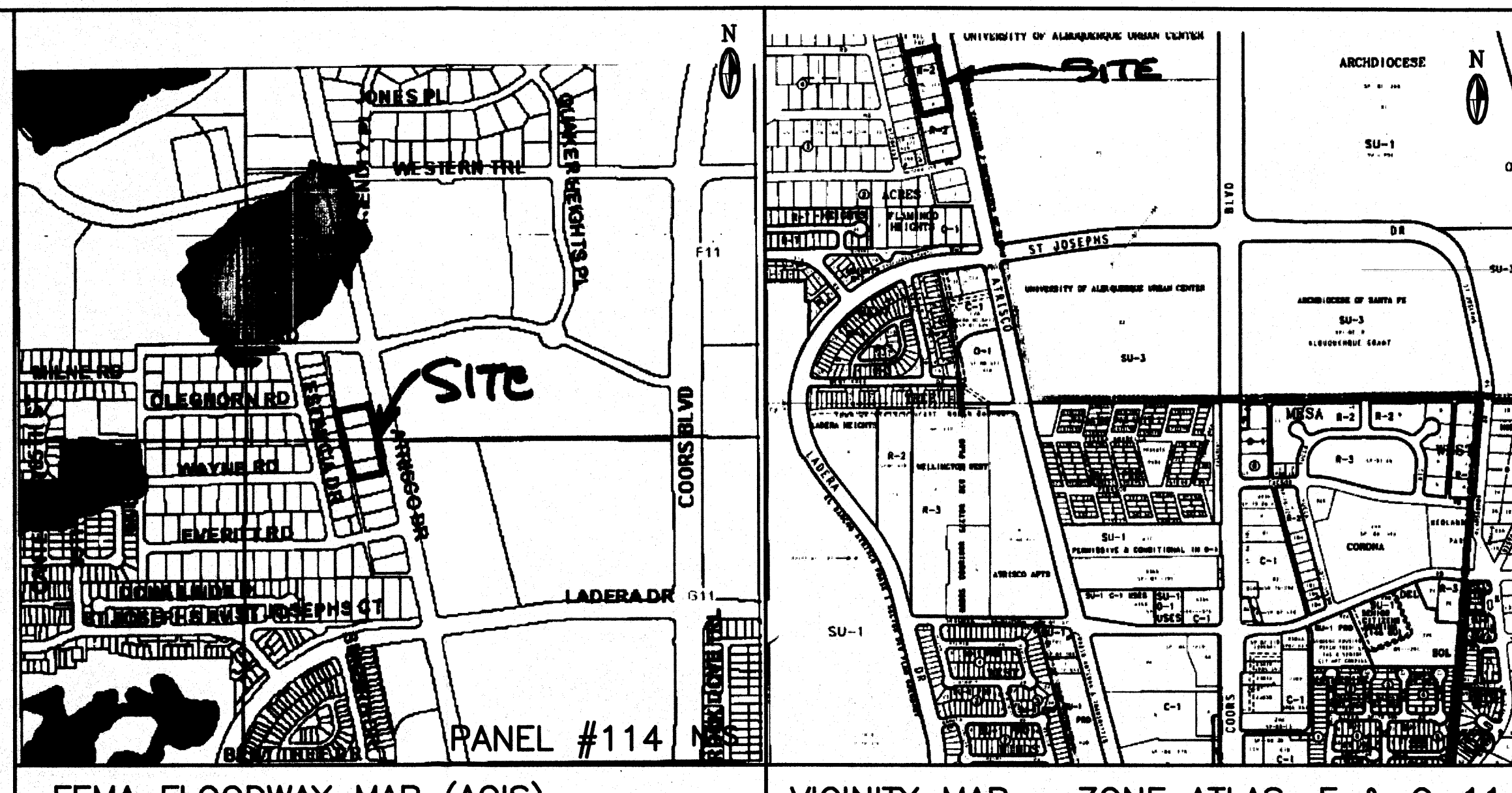




LOT 4, TRACT "X", & LOT 7  
 WITHIN  
 BLOCK 1  
 SLOAN'S ACRES SUBDIVISION  
 ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO  
 ADDRESS'S: 4113, 4201 & 4209 ATRISCO DRIVE NW



ACS BM: 9-F11, ELEV=5107.48 FT.  
 ACS 1.75" aluminum disk, stamped "ACS BM, 9-F11",  
 epoxied to top of concrete curb, SSE quadrant of Coors  
 Blvd. NW and the most northerly entrance to St. Joseph  
 School/Madonna Centre, 0.27 miles ± north of the  
 centerline of St. Joseph Dr.



**DRAINAGE PLAN**  
 SCOPE:  
 Pursuant to the latest City of Albuquerque Ordinance, the Drainage Plan shown hereon outlines the drainage management criteria for controlling developed runoff on and exiting the project site. Eight buildings (apartments) are proposed for the subject property (3 lots), with associated access, parking and landscaping.  
 EXISTING CONDITIONS:  
 Presently the 1.82 acre site is undeveloped. The site is bounded on the north by an existing church facility, on the west by a 20' alley with existing homes west of the alley, on the south by existing apartment building and on the east by Atrisco Dr. NW. The site is very level and slopes to the north via an existing swale located between Atrisco Dr. and the east property line. As shown by the FEMA Map Panel No. 114, the site is not located in a 100-year floodplain. No off-site runoff enters the property.  
 PROPOSED CONDITIONS:  
 As shown by the plan, the buildings are located within the westerly portion of the lots. On site flows will drain around the structures and flow to the east to Atrisco Dr. In accordance with discussions with City Hydrology Engineer's, a one percent slope from the existing edge of pavement of Atrisco Dr. to the building will be used as the basis for draining the site which will free discharge to Atrisco and be allowed to flow to the north to an existing City owned and maintained pond. Free discharge is proposed so that storm water from the site will drain to the pond before a peak runoff flow in the area. All roof drainage will discharge from the roofs to the east and continue to flow to Atrisco Dr.  
 Supplemental calculations have been provided to the City of Albuquerque Hydrology Department.  
 CALCULATIONS:  
 The calculations shown hereon define the 100 year/6 hour design storm falling within the project area under existing and developed conditions. The Hydrology is per Section 22.2, Hydrology of the Development Process Manual, Volume 2, Design Criteria, for the City of Albuquerque, New Mexico in cooperation with Bernalillo County, New Mexico and the Albuquerque Metropolitan Arroyo Flood Control Authority, latest edition.  
 Existing Treatment Types:  
 Treatment A = 1.82 acres  
 Treatment B = 0 acres  
 Treatment C = 0 acres  
 Treatment D = 0 acres  
 Proposed Treatment Types:  
 Treatment A = 0.00 acres  
 Treatment B = 0.53 acres  
 Treatment C = 0.00 acres  
 Treatment D = 1.29 acres  
 Using the values above produces the following storm water flows and volumes:  
 Existing 100-year Flow = 2.35 cfs  
 Proposed 100-year Flow = 5.71 cfs  
 Existing 100-year Volume = 2907 cu. ft.  
 Proposed 100-year Volume = 10514 cu. ft.  
 PROPERTY ADDRESS:  
 4113, 4201 and 4209 Atrisco Dr. NW  
 TOPOGRAPHY:  
 Topographic information provided by Gary Taylor Construction & Development.

- GENERAL GRADING NOTES:**
- THE CONTRACTOR SHALL OBTAIN A TOP SOIL DISTURBANCE PERMIT FROM THE CITY OF ALBUQUERQUE, ENVIRONMENTAL HEALTH DIVISION PRIOR TO CONSTRUCTION.
  - THE CONTRACTOR IS TO REFER TO THE EARTHWORK SPECIFICATIONS NOTED IN THE GEOTECHNICAL INVESTIGATION REPORT PREPARED FOR THIS LOT AND CAN BE OBTAINED BY THE OWNER.
  - THE CONTRACTOR SHALL CONFORM TO ALL CITY, COUNTY, STATE AND FEDERAL DUST CONTROL MEASURES AND REQUIREMENTS AND WILL BE RESPONSIBLE FOR PREPARING AND OBTAINING ALL NECESSARY APPLICATIONS, PERMITS AND APPROVALS.
  - PVC DRAINAGE PIPES MAY REQUIRE FIELD ADJUSTMENT DUE TO SUBSURFACE ROCK. CONTRACTOR SHALL PROVIDE POSITIVE DRAINAGE TO INLET/STREET.
  - CONTRACTOR SHALL FIELD VERIFY ALL EXISTING UTILITY CONDITIONS AND NOTIFY THE ENGINEER IMMEDIATELY OF ANY DISCREPANCIES.
  - TWO WORKING DAYS PRIOR TO EXCAVATION THE CONTRACTOR SHALL CONTACT NEW MEXICO ONE CALL SYSTEM (260-1990) FOR LOCATION OF EXISTING UTILITIES.
  - CONTRACTOR SHALL PROVIDE DOUBLE CLEAN-OUTS AT ALL BENDS IN DRAINAGE PIPE.
  - THE TOPSOIL COULD BE SAVED ASIDE FOR RE-USE IN FILLING DISTURBED AREAS AROUND THE STRUCTURE.
  - ALL DISTURBED AREAS ON THE LOT SHALL BE RESEEDDED WITH NATIVE SEEDING MATERIAL.
  - THE MAXIMUM GRADED SIDE SLOPE SHALL NOT EXCEED 3 FEET (HORIZONTALLY) TO 1 FOOT (VERTICALLY)
  - AREAS DISTURBED DUE TO GRADING SHALL BE RESEEDDED IN ACCORDANCE WITH CITY OF ALBUQUERQUE STD. SPECIFICATION 1012 - NATIVE GRASS SEEDING, O.A.E.

**LEGEND**

| EXISTING                   | PROPOSED           |
|----------------------------|--------------------|
| CONTOUR                    | 5820 --- 5850      |
| PROPERTY LINE              | ---                |
| ROAD                       | ---                |
| SETBACK                    | ---                |
| RETAINING WALL             | -----              |
| SPOT ELEVATION             | TC18.25<br>FL17.75 |
| FUTURE SPOT ELEVATION @ FL | 66.96              |

**TRAFFIC CERTIFICATION**  
 I, Jackie S. McDowell, NMPE #10903 of the firm of McDowell Engineering, Inc., hereby certify that this project is in substantial compliance with and in accordance with the design intent of the approved plan dated October 27, 2004. I further certify that I have personally visited the project site on February 17, 2006 and have determined by visual inspection that the traffic circulation and parking follow the general intent of the approved plan with some minor parking layout modifications. The original plan showed that 13 spaces were required. 13 spaces have been provided. This certification is submitted in support of a request for Certificate of Occupancy.  
 The record information presented hereon is not necessarily complete and intended only to verify substantial compliance of the traffic aspects of this project. Those relying on the record document are advised to obtain independent verification of its accuracy before using it for any other purpose.

**DRAINAGE CERTIFICATION**  
 I, Jackie S. McDowell, NMPE #10903, of the firm of McDowell Engineering, Inc., hereby certify that this project has been graded and will drain in substantial compliance with and in accordance with the design intent of the approved plan dated January 20, 2003. The record information edited onto the attached revised original Cod design document has been obtained by me or under my direct supervision and is true and correct to the best of my knowledge and belief. This certification is submitted in support of a request for Certification of Occupancy.  
 The record information presented hereon is not necessarily complete and intended only to verify substantial compliance of the Grading and Drainage aspects of this project. Those relying on this record document are advised to obtain independent verification of its accuracy before using it for any purpose.

*Jackie S. McDowell*  
 2-21-06  
 REGISTERED PROFESSIONAL ENGINEER

*Jackie S. McDowell*  
 2-21-06  
 REGISTERED PROFESSIONAL ENGINEER

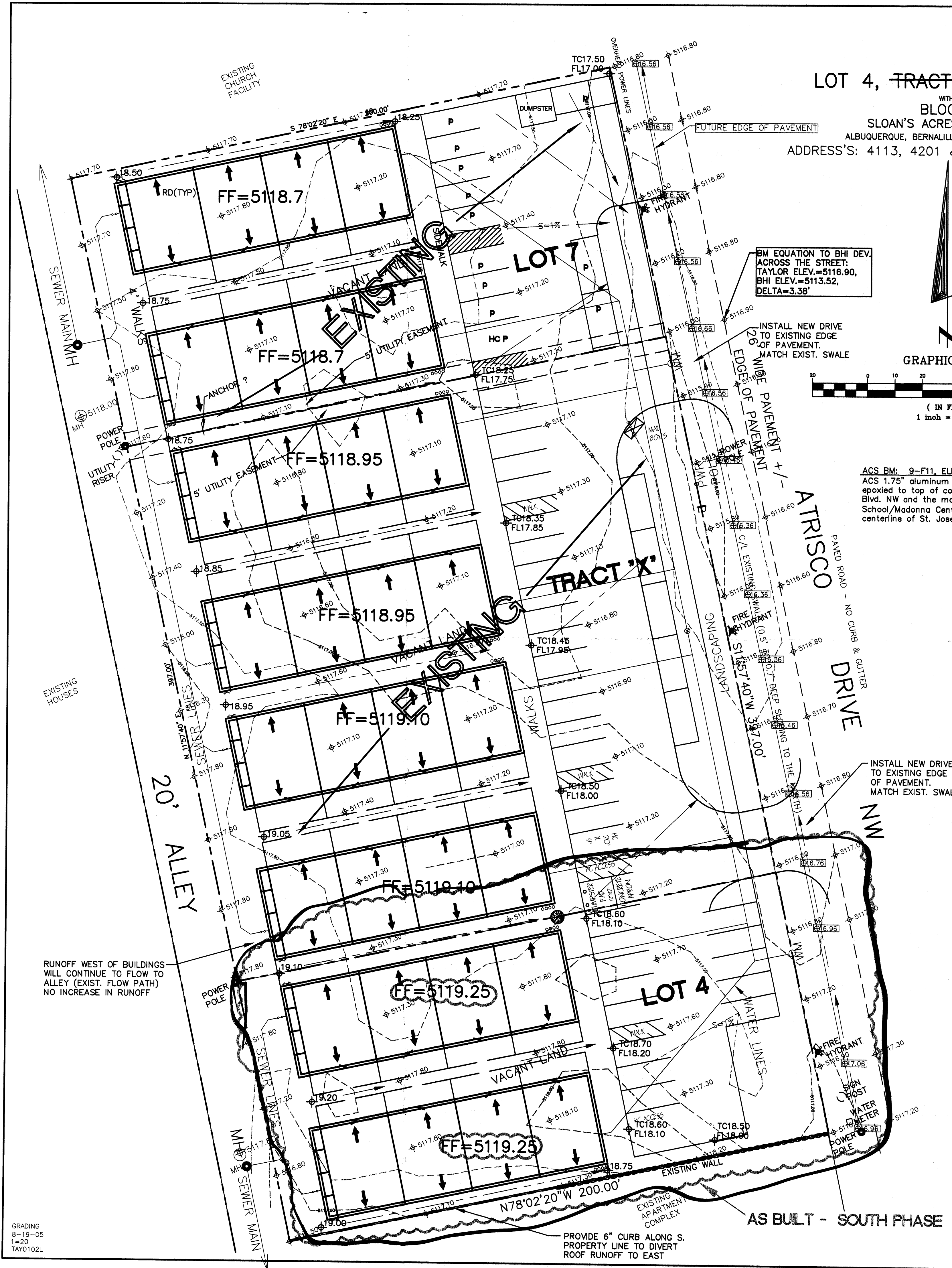
HYDROLOGIST  
 ENGR.  
 CERT.  
 RECEIVED  
 FEB 22 2006  
 HYDROLOGY SECTION

CITY OF ALBUQUERQUE, BERNALILLO COUNTY NEW MEXICO  
 LOT 4, TRACT "X", & LOT 7, BLOCK 1  
 SLOAN'S ACRES SUBDIVISION  
 TAYLOR, RUSSWOOD GRADING & DRAINAGE PLAN

**McDowell Engineering Inc.**

|               |                   |             |          |
|---------------|-------------------|-------------|----------|
| Designed JSM  | Drawn STAFF       | Checked JSM | Sheet of |
| File TAY0102L | Date AUGUST, 2005 |             | 1 1      |



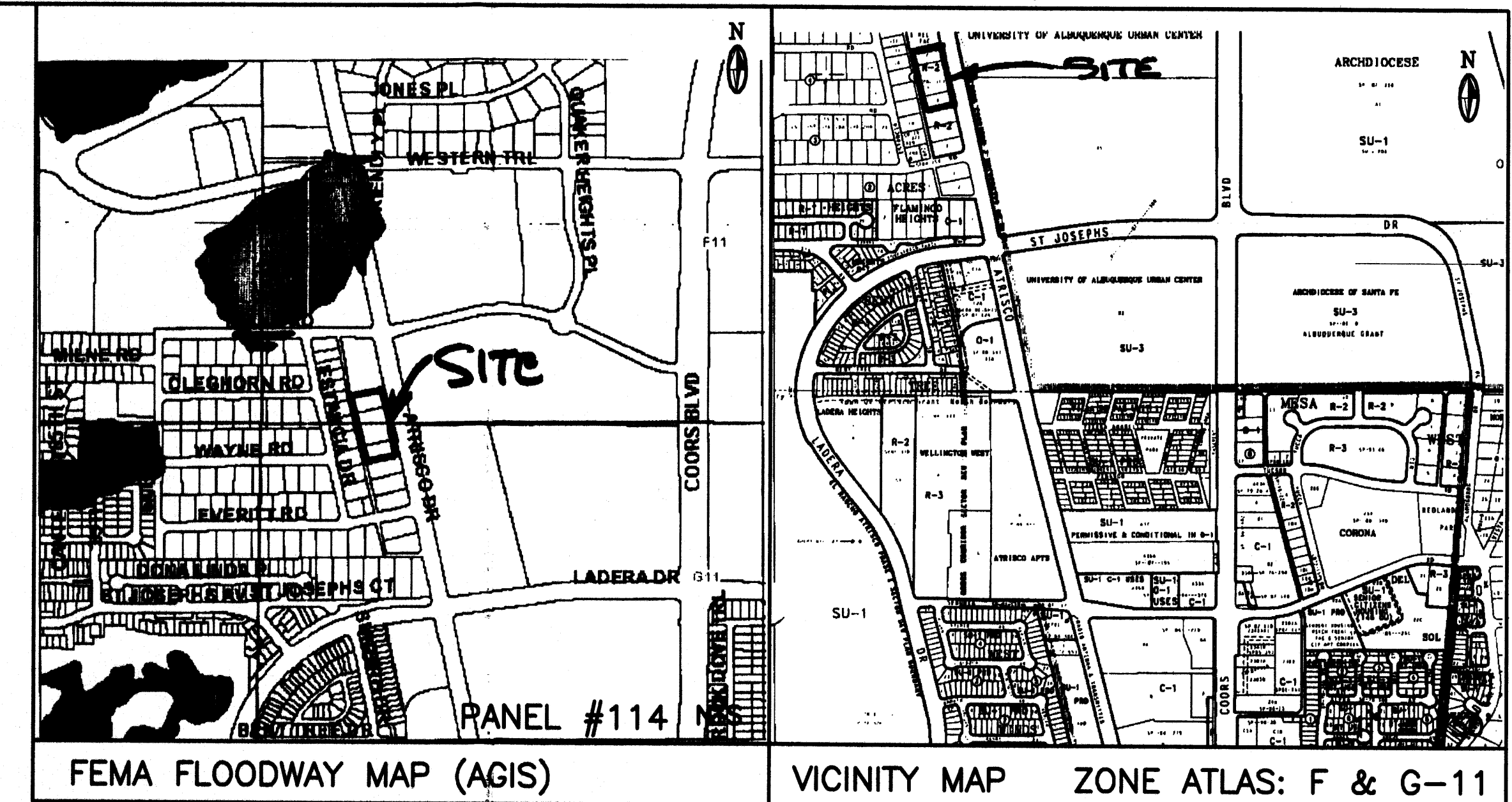
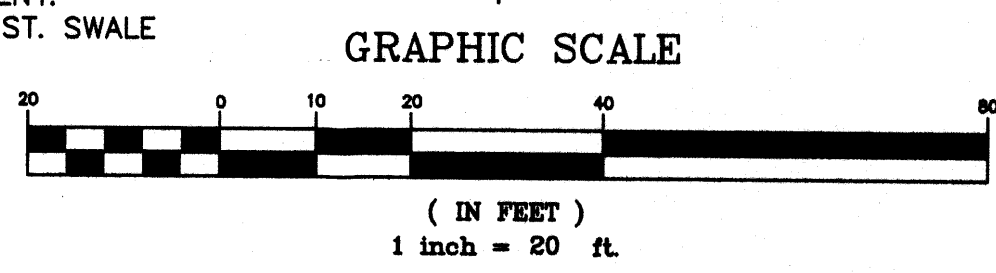


LOT 4, TRACT "X", & LOT 7  
 WITHIN  
 BLOCK 1  
 SLOAN'S ACRES SUBDIVISION  
 ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO  
 ADDRESS'S: 4113, 4201 & 4209 ATRISCO DRIVE NW

BM EQUATION TO BHI DEV.  
 ACROSS THE STREET:  
 TAYLOR ELEV.=5116.90,  
 BHI ELEV.=5113.52,  
 DELTA=3.38'

INSTALL NEW DRIVE  
 TO EXISTING EDGE  
 OF PAVEMENT.  
 MATCH EXIST. SWALE

ACS BM: 9-F11 ELEV=5107.48 FT.  
 ACS 1.75" aluminum disk, stamped "ACS BM, 9-F11",  
 epoxied to top of concrete curb, SSE quadrant of Coors  
 Blvd. NW and the most northerly entrance to St. Plus High  
 School/Madonna Centre, 0.27 miles ± north of the  
 centerline of St. Joseph Dr.



DRAINAGE PLAN  
 SCOPE:  
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 drainage management criteria for controlling runoff on and exiting the project site. Eight  
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 Authority, latest edition.

Existing Treatment Types:  
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 Treatment C = 0 acres  
 Treatment D = 0 acres  
 Proposed Treatment Types:  
 Treatment A = 0.00 acres  
 Treatment B = 0.33 acres  
 Treatment C = 0.00 acres  
 Treatment D = 1.23 acres

Using the values above produces the following storm water flows and volumes:  
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LEGEND

|                       | EXISTING  | PROPOSED               |
|-----------------------|-----------|------------------------|
| CONTOUR               | 5820      | 5850                   |
| PROPERTY LINE         | ---       | ---                    |
| ROAD                  | ---       | ---                    |
| SETBACK               | ---       | ---                    |
| RETAINING WALL        | -----     | -----                  |
| SPOT ELEVATION        | ⊕ 5117.30 | ⊕ TC18.25<br>⊕ FL17.75 |
| FUTURE SPOT ELEVATION | ● FL      | ⊕ 5116.95              |

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 PROFESSIONAL ENGINEER  
 STATE OF NEW MEXICO

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*Jackie S. McDowell*  
 2-21-06  
 PROFESSIONAL ENGINEER  
 STATE OF NEW MEXICO

*Jackie S. McDowell*  
 1-20-03  
 PROFESSIONAL ENGINEER  
 STATE OF NEW MEXICO

CITY OF ALBUQUERQUE, BERNALILLO COUNTY NEW MEXICO

LOT 4, TRACT "X", & LOT 7, BLOCK 1  
 SLOAN'S ACRES SUBDIVISION

TAYLOR, RUSSWOOD GRADING & DRAINAGE PLAN

**McDowell Engineering Inc.**

Designed JSM Drawn STAFF Checked JSM Sheet of  
 File TAY0102L Date AUGUST, 2005 1 1