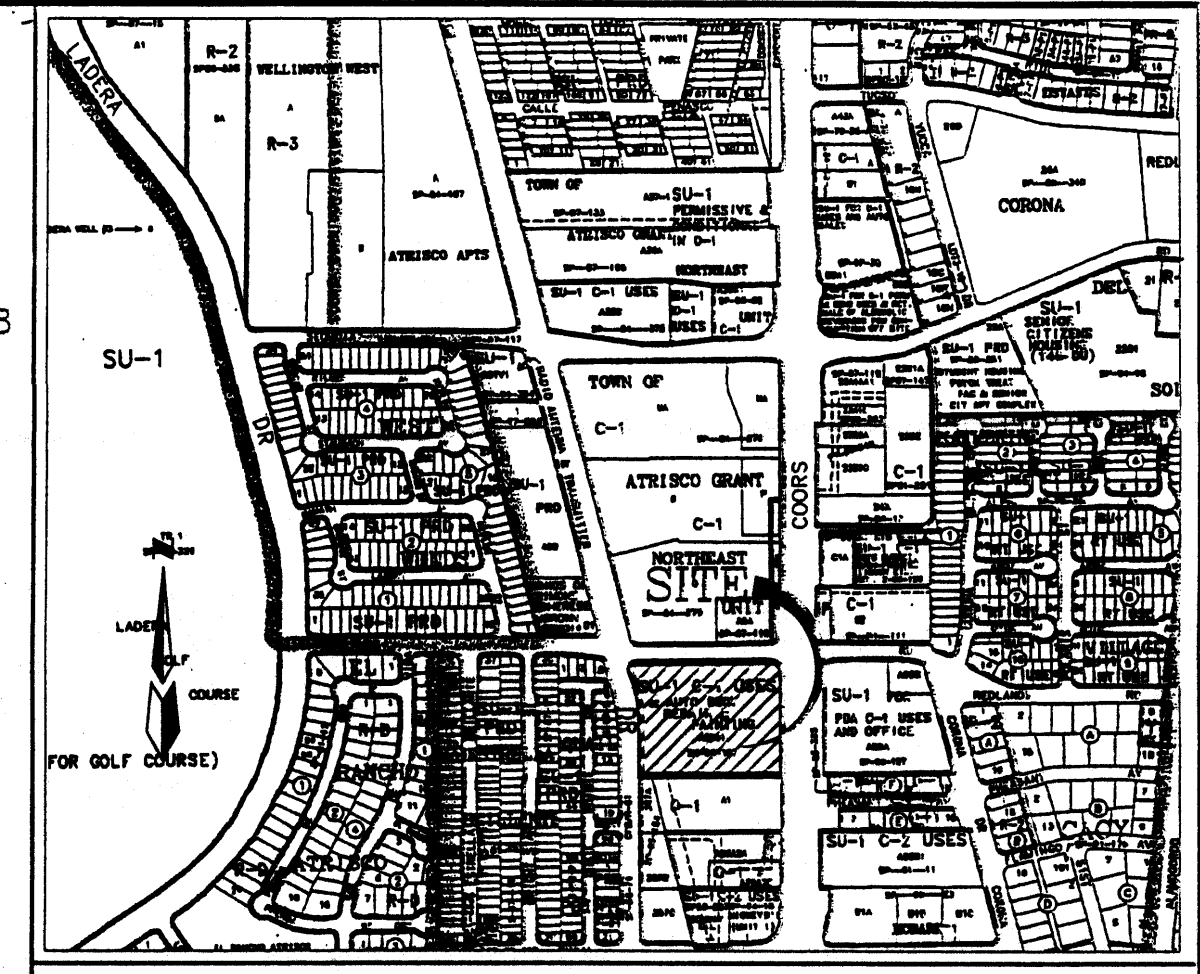
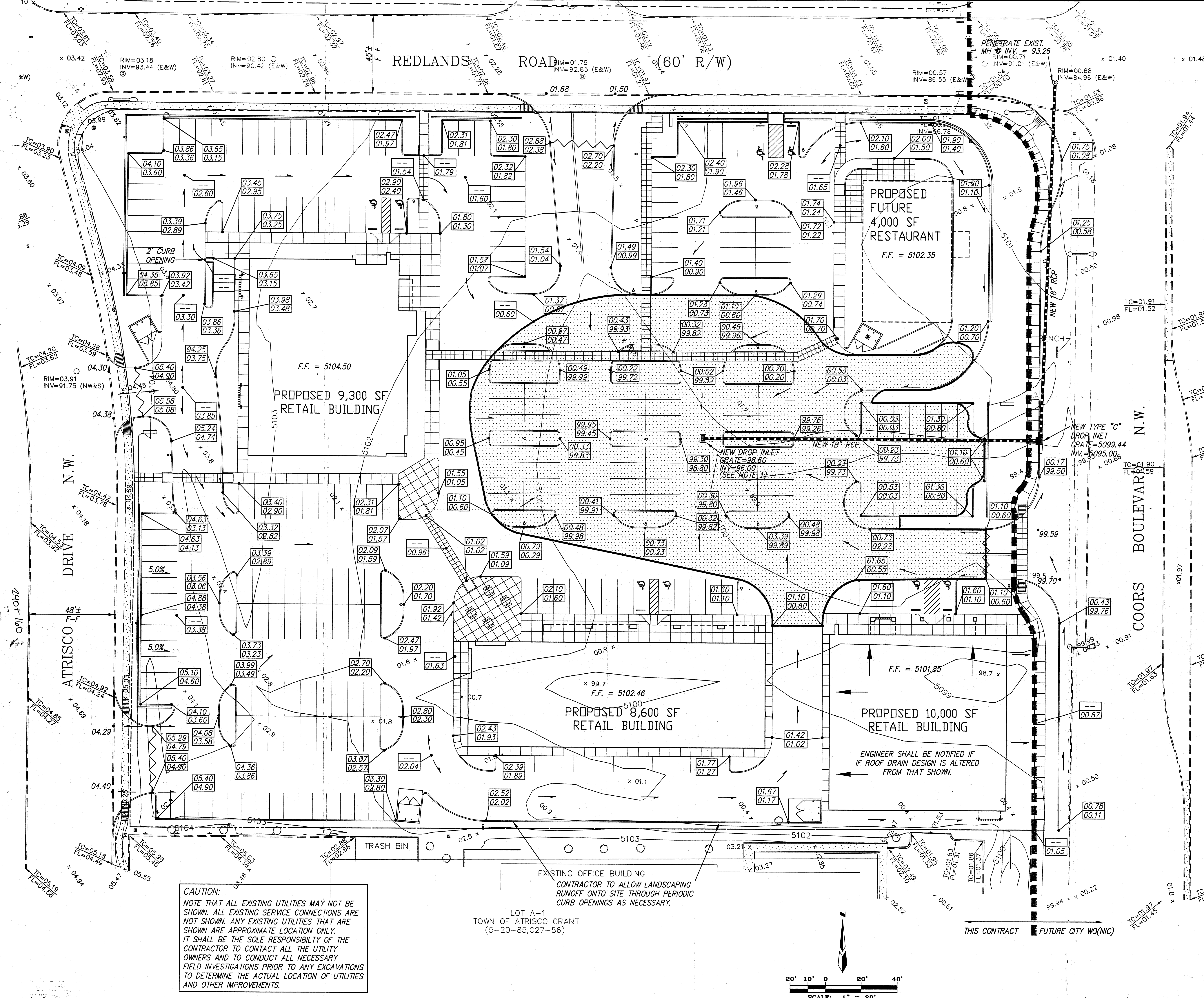




VICINITY MAP ZONE MAP: G-11-Z

- GENERAL NOTES**
- THE OPENING FROM THE ON-SITE DROP INLET TO THE 18" RCP OUTFALL SHALL BE COVERED WITH A 1/4" THICK STAINLESS STEEL PLATE WITH A 3/4" DIAMETER BOLLARD LOCATED SO THAT ITS BOTTOM MATCHES THE FLOWLINE OF THE RCP.
 - THIS PROPERTY IS NOT LOCATED IN A FEMA FLOODPLAIN PER FIRM NO. 3500100327.
 - THERE ARE NO SIGNIFICANT OFFSITE FLOWS ENTERING THIS SITE. EXISTING MINOR OFF-SITE FLOWS FROM THE SOUTH WILL BE ROUTED THROUGH THE SITE.
 - PROPERTY OWNER IS RESPONSIBLE FOR MAINTAINING DRAINAGE IMPROVEMENTS ON THE PROPERTY SO THAT THEY CONTINUE TO FUNCTION PROPERLY YEAR AFTER YEAR.
 - ELEVATIONS SHOWN HEREON ARE INTENDED TO BE FINAL GRADES. OWNER, ROUGH GRADING CONTRACTOR AND LANDSCAPE CONTRACTOR ARE RESPONSIBLE FOR ASSURING THAT AFTER ALL WORK IS COMPLETE, SITE'S FINAL SURFACE GRADES ARE AS SHOWN HEREON.
 - EARTHWORK CONTRACTOR IS RESPONSIBLE FOR OBTAINING AND FOLLOWING REQUIREMENTS OF THE SURFACE DISTURBANCE PERMIT FROM THE CITY ENVIRONMENTAL HEALTH DEPARTMENT.
 - OWNER AND ALL ASSOCIATED CONTRACTORS WHO ENGAGE IN ALTERATION OF SITE SURFACES, SHALL FILE A NOTICE OF INTENT WITH EPA AND FOLLOW STORM WATER POLLUTION PREVENTION PLAN REQUIREMENTS.
 - EXCEPT ALONG COORS BOULEVARD (CITY NO LATER), ALL NEW DRIVEWAYS SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY STANDARD DETAIL.

LEGAL DESCRIPTION

TRACT 4-28-B1 AND A-28-B2, NORTHEAST UNIT, TOWN OF ATRISCO GRANT, SECTION 2 TOWNSHIP 10 NORTH, RANGE 2 EAST, NMPM CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO.

LEGEND

	ROOF DRAIN
	WATER BLOCK
	EXISTING SPOT ELEV.
	PROPOSED TOP OF CURB AND FLOWLINE SPOT ELEVATIONS
	PROPERTY LINE
	EXISTING CONTOUR LINE
	EXISTING STORM DRAIN LINE
	EXISTING CURB & GUTTER
	EXISTING EDGE OF PAVEMENT
	EXISTING CONCRETE/SIDEWALK
	EXISTING PAVEMENT
	NEW POND AREA

For Information Only

RECEIVED
JAN 05 2004
HYDROLOGY SECTION

SEP 01 2004
HYDROLOGY SECTION

REDLANDS SHOPPING CENTER
GRADING & DRAINAGE PLAN

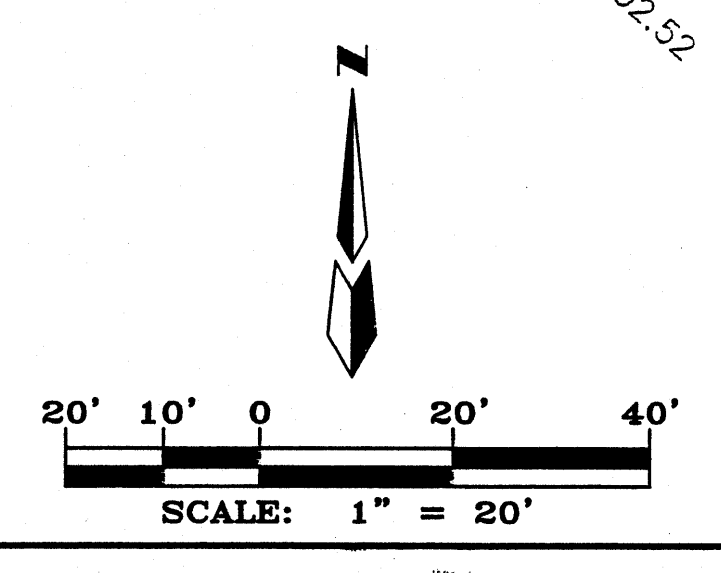
dmg MARK GOODWIN & ASSOCIATES, P.A.
CONSULTING ENGINEERS
P.O. BOX 90606
ALBUQUERQUE, NEW MEXICO 87199
(505)828-2200, FAX (505)797-9539

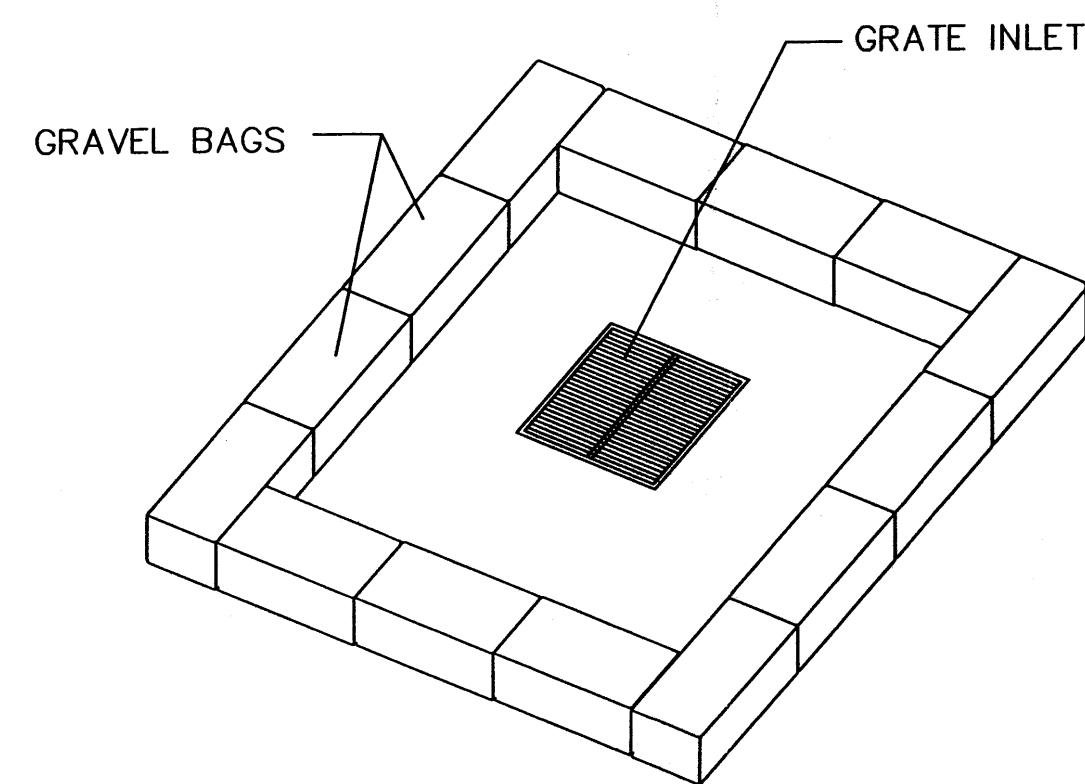
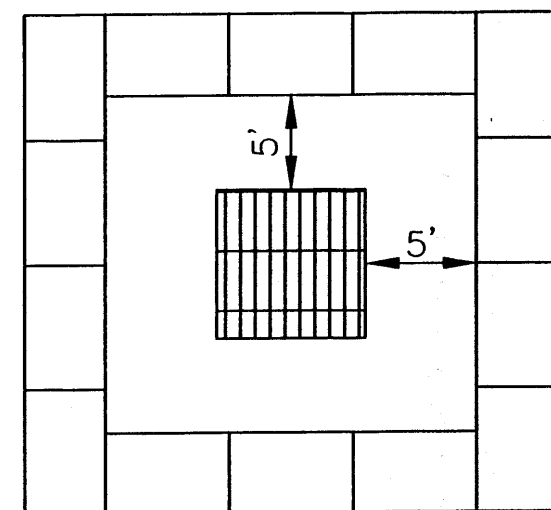
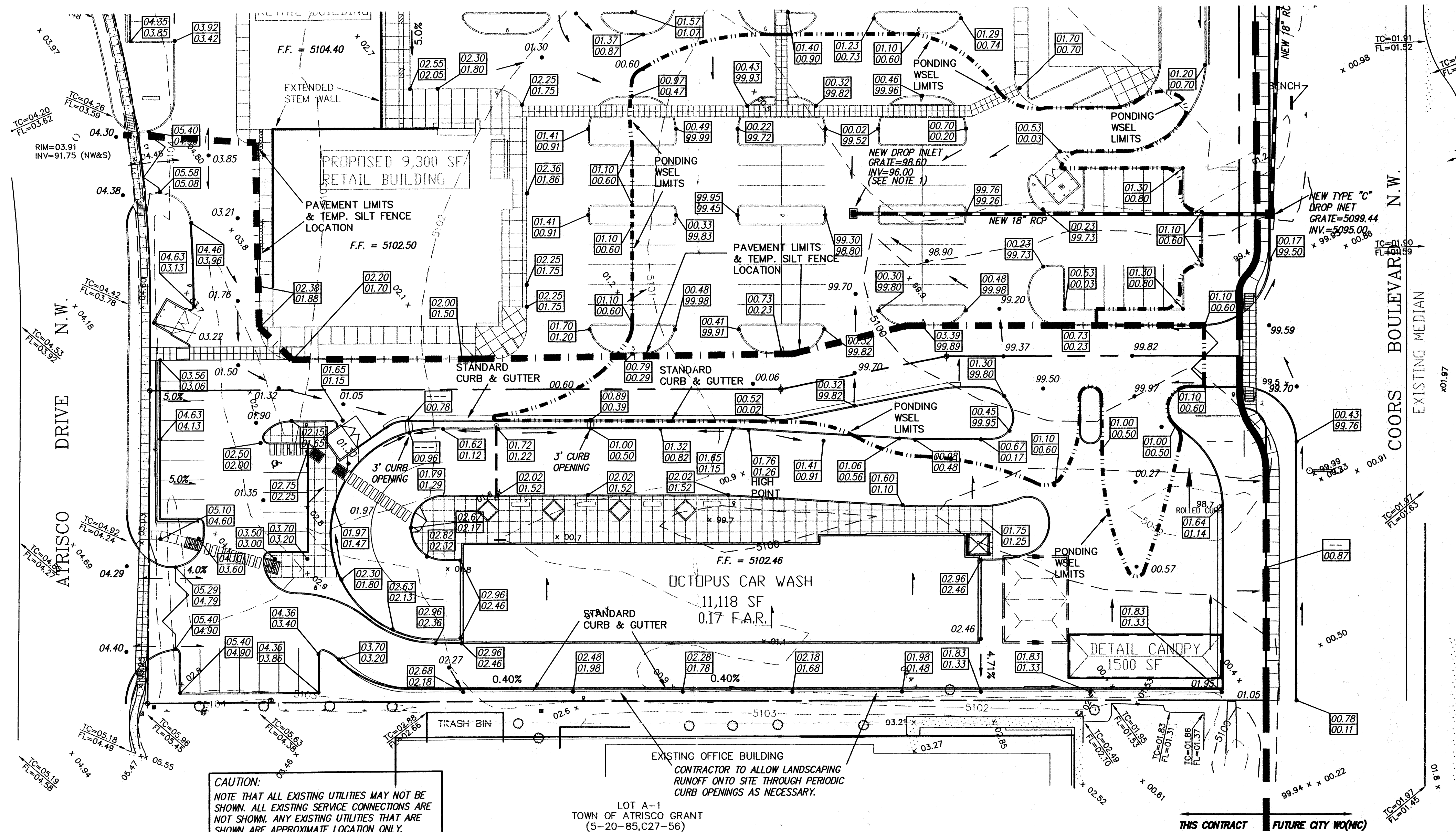
Designed: JMM Drawn: MJR Checked: DMG Sheet 1 of 1
Date: 04/02/03 Job: A02104

CAUTION:
NOTE THAT ALL EXISTING UTILITIES MAY NOT BE SHOWN. ALL EXISTING SERVICE CONNECTIONS ARE NOT SHOWN. ANY EXISTING UTILITIES THAT ARE SHOWN ARE APPROXIMATE LOCATION ONLY. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONTACT ALL THE UTILITY OWNERS AND TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO ANY EXCAVATIONS TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS.

LOT A-1
TOWN OF ATRISCO GRANT
(5-20-85,C27-56)

EXISTING OFFICE BUILDING
CONTRACTOR TO ALLOW LANDSCAPING RUNOFF ONTO SITE THROUGH PERIODIC CURB OPENINGS AS NECESSARY.





GRAVEL BAG DETAIL

- NOTICE TO CONTRACTORS**
1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
 2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
 3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 765-1234, FOR LOCATION OF EXISTING UTILITIES.
 4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
 5. BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
 6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
 7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

EROSION CONTROL PLAN AND POLLUTION PREVENTION NOTES

1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT OUT OF EXISTING RIGHT-OF-WAY.
3. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL STORM RUNOFF ON SITE.
4. REPAIR OF DAMAGED FACILITIES AND CLEAN-UP OF SEDIMENT ACCUMULATION ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL ACCEPTANCE OF ANY PROJECT.
6. ALL THE DISTURBED AREAS MUST BE REVEGETATED.

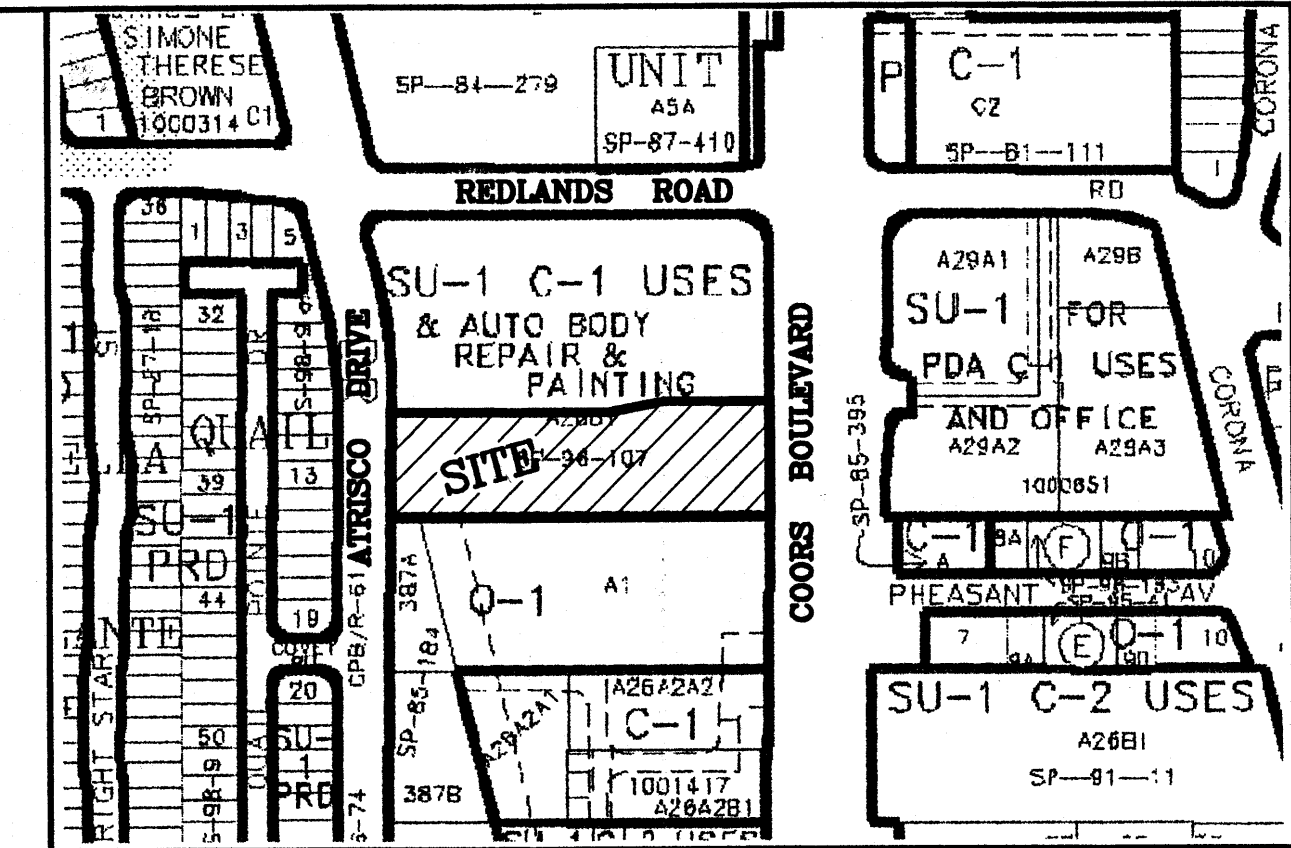
ROUGH GRADING APPROVAL _____ DATE _____

ADDITIONAL NOTES:

1. ADD 4900 TO SPOT ELEVATIONS TO SHOW TRUE ELEVATION.
2. CONTOUR INTERVAL IS ONE (1) FOOT.
3. ELEVATIONS ARE BASED ON CITY OF ALBUQUERQUE CONTROL STATION (THE TOPOGRAPHY WAS PROVIDED BY THE ARCHITECT)
4. UTILITIES SHOWN HEREON ARE IN THEIR APPROXIMATE LOCATION BASED ONLY ON ABOVE GROUND EVIDENCE FOUND IN THE FIELD AND AS-BUILT INFORMATION PROVIDED BY THE CLIENT. UTILITIES SHOWN HEREON, WHETHER INDICATED AS ABANDONED OR NOT, SHALL BE VERIFIED BY OTHERS FOR EXACT LOCATION AND/ OR DEPTH PRIOR TO EXCAVATION OR DESIGN CONSIDERATIONS.
5. THIS IS NOT A BOUNDARY SURVEY, BEARINGS ARE ASSUMED, DISTANCES AND FOUND PROPERTY CORNERS ARE FOR INFORMATIONAL PURPOSES ONLY.
6. SLOPES ARE AT 3:1 MAXIMUM.

GENERAL NOTES

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2. THIS PROPERTY IS NOT LOCATED IN A FEMA FLOODPLAIN PER FIRM NO. 35001C0327.
3. THERE ARE NO SIGNIFICANT OFFSITE FLOWS ENTERING THIS SITE. EXISTING MINOR OFF-SITE FLOWS FROM THE SOUTH WILL BE ROUTED THROUGH THE SITE.
4. PROPERTY OWNER IS RESPONSIBLE FOR MAINTAINING DRAINAGE IMPROVEMENTS ON THE PROPERTY SO THAT THEY CONTINUE TO FUNCTION PROPERLY YEAR AFTER YEAR.
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8. EXCEPT ALONG COORS BOULEVARD (CITY WO LATER), ALL NEW DRIVEWAYS SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY STANDARD DETAILS.



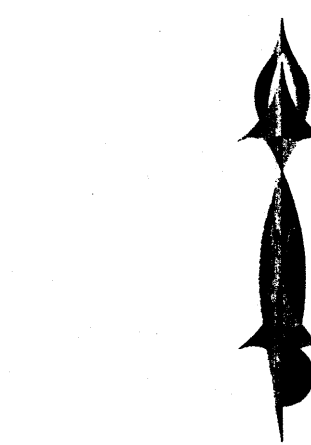
VICINITY MAP:

LEGAL DESCRIPTION:

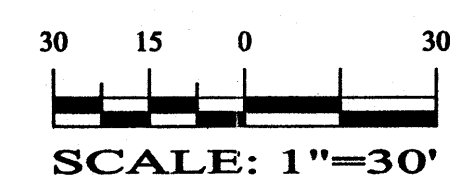
TRACT 4-28-B1 AND A-28-B2, NORTHEAST UNIT, TOWN OF ATRISCO GRANT, SECTION 2 TOWNSHIP 10 NORTH, RANGE 2 EAST, NMPM CITY OF ALBUQUERQUE BERNALILLO COUNTY, NEW MEXICO.

LEGEND

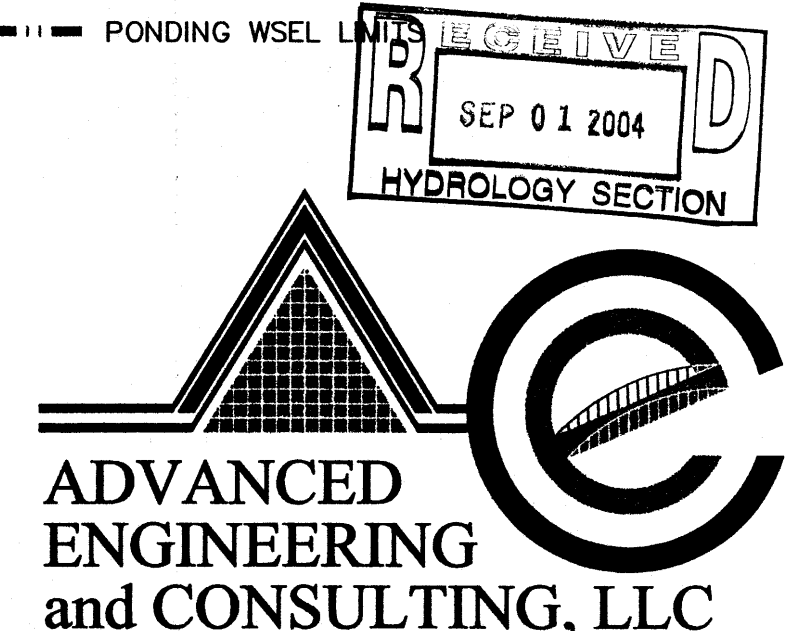
- EXISTING SAS MANHOLE
- EXISTING METER
- EXISTING VALVE W/BOX
- EXISTING FIRE HYDRANT
- EXISTING AIR RELEASE VALVE
- EXISTING REDUCER
- EX. 8" SAS --- EXISTING SANITARY SEWER LINE
- EX. 16" WL --- EXISTING WATER LINE
- EXISTING CURB & GUTTER
- EXISTING CURB & GUTTER
- 5100 --- EXISTING CONTOUR (MAJOR)
- 5102 --- EXISTING CONTOUR (MINOR)
- BOUNDARY LINE
- EASEMENT
- LIMITS OF TOP OF EXISTING SLOPE
- PROPOSED SIDEWALK
- PROPOSED GRADE
- PROPOSED SPOT ELEVATION
- EXISTING GRADE
- EXISTING POWER LINES
- EXISTING FENCE
- 100YR-WSEL --- 100-YEAR WSEL (FROM HEC-RAS OUTPUT)
- 100YR-EGL --- EXISTING FENCE
- FEMA --- FLOODPLAIN LIMITS FROM FEMA MAP
- EXISTING GARDEN WALL
- PROPOSED RETAINING WALL
- PROPOSED EXTENDED STEM WALL
- TOP OF RETAINING WALL
- TOP OF FOOTING
- TOP OF EXTENDED STEM WALL
- TOP OF FOOTING
- PAVEMENT LIMITS & TEMP. SILT FENCE LOCATION
- PONDING WSEL LIMITS



GRAPHIC SCALE

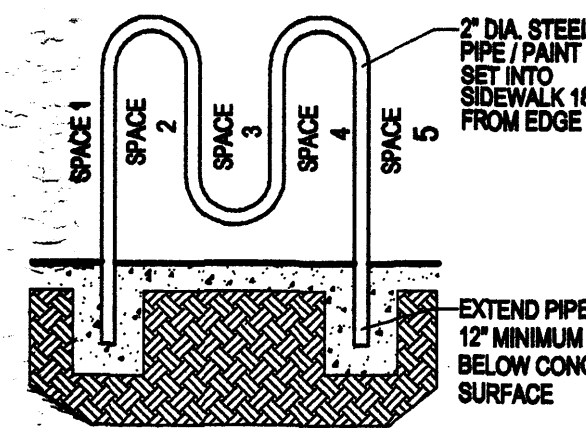


SHAHAB BIAZAR
P.E. #13479

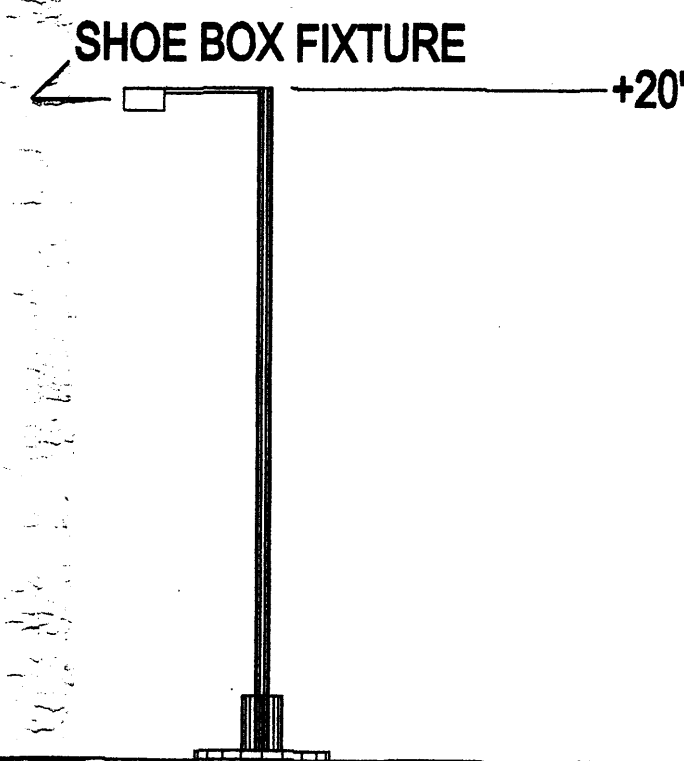


4416 ANAHEIM AVE., NE
ALBUQUERQUE, NEW MEXICO 87113
(505)899-5570

OCTOPUS CAR WASH GRADING AND DRAINAGE PLAN			
DRAWING:	DRAWN BY:	DATE:	SHEET #
200426-GR.DWG	SBB	04-28-2004	OF

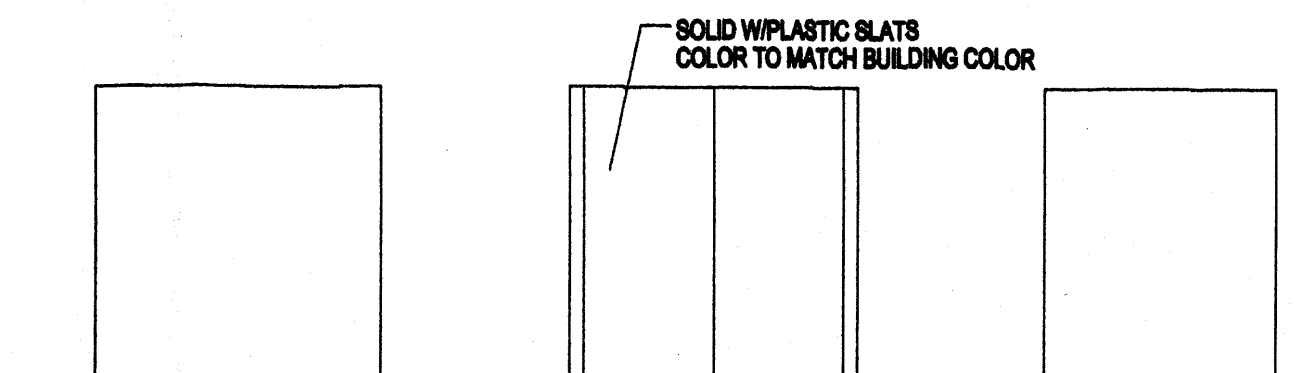


10 BIKE RACK DETAIL

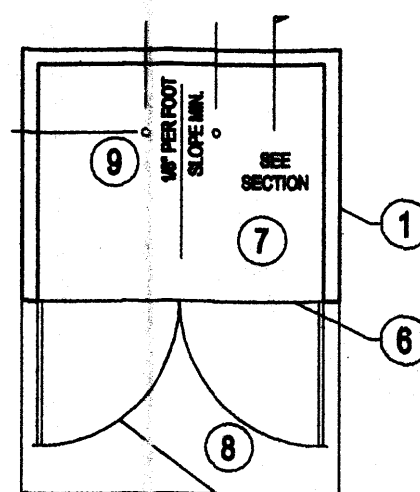


SIGHT LIGHTING PROVIDED ON THE BUILDING FACADES SHALL BE ANGLED TO BE NON-INTRUSIVE INTO ADJACENT AREAS. LIGHT LENSES ARE NOT TO PROJECT BELOW LIGHT SHIELD.
NOTE 97: 18" HIGH LIGHT FIXTURE WITHIN 100' OF RESIDENTIAL

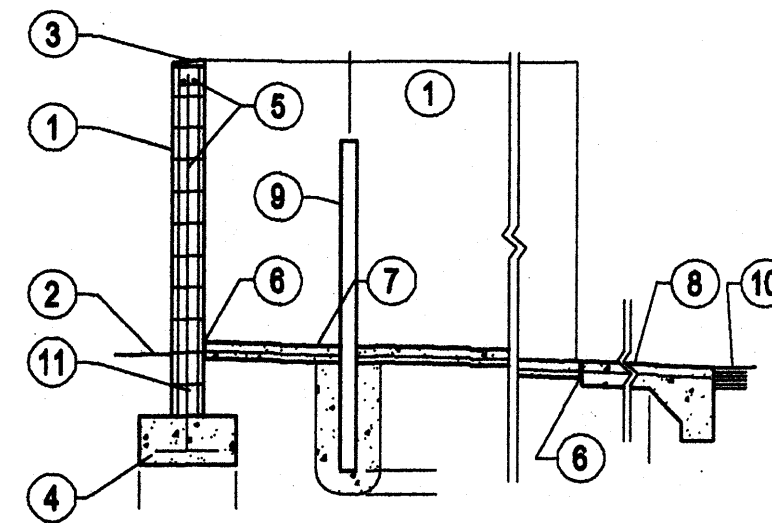
11 SITE LIGHTING DETAIL



ELEVATIONS



PLAN VIEW

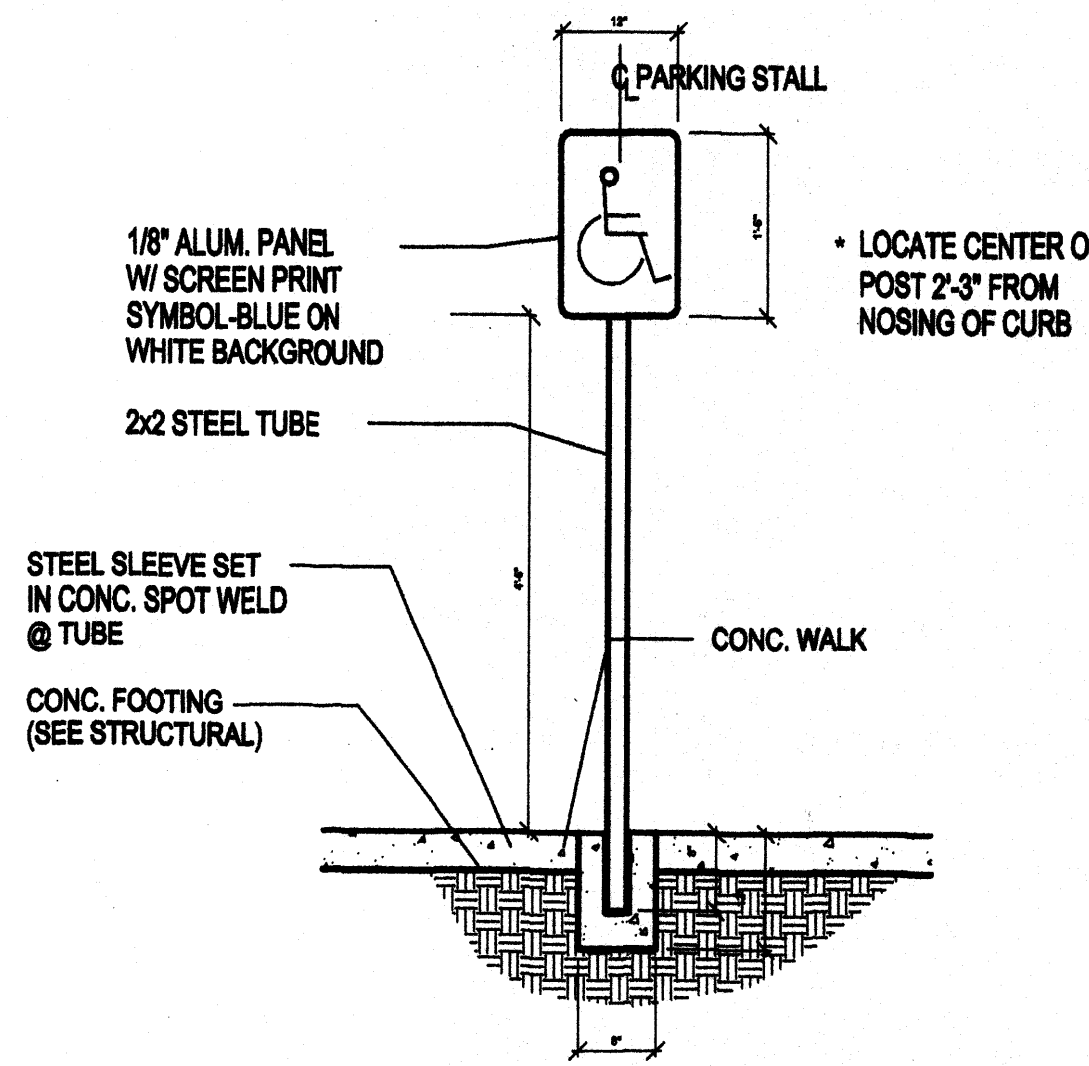


SECTION

REFUSE CONTAINER NOTES

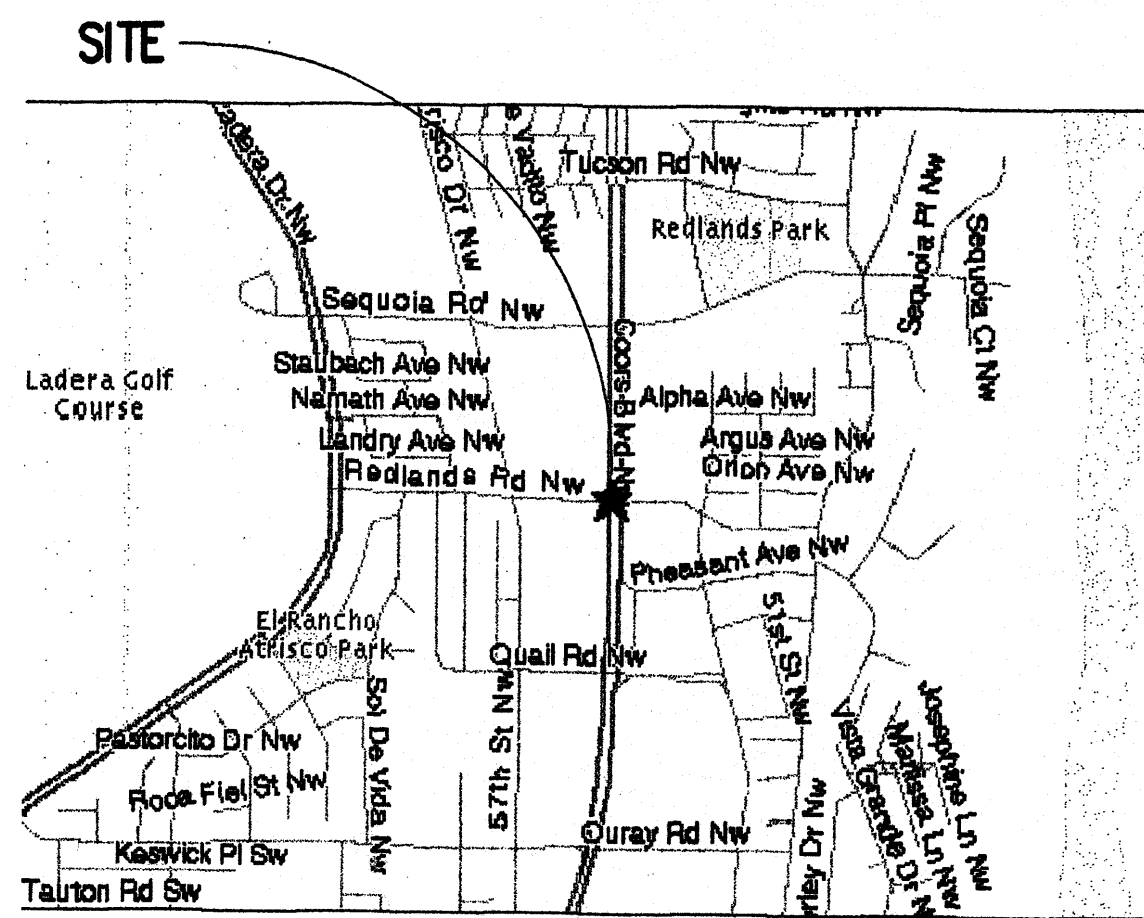
1. PRECAST CONCRETE WALL FINISH TO MATCH BLDG.
2. FINISH GRADE.
3. SLOPE STUCCO CAP.
4. 4-#4 BARS CONT. @ BOTTOM OF FOOTING #4 @ 18" O.C. ACROSS BOTTOM OF FOOTING.
5. 2-#5 BARS @ TOP KNOCK-OUT BLOCK BOND BEAM, CONTINUOUS: #5 BARS @ 32" O.C. VERTICAL. GROUT REINFORCED CELLS, DURA-WALL @ 18" O.C. HORIZONTAL.
6. 1/2" EXPANSION JOINT MATERIAL
7. 4" CONCRETE SLAB 3000 PSI 3/4" AGGREGATE WITH 6X6-10X10 WWM.
8. 6" CONCRETE APRON 3000 PSI 3/4" AGGREGATE WITH 6X6-10X10 WWM W/ TURNDOWN EDGE.
9. 4" CONCRETE FILLED PIPE IN 18" DIA. X 2'-6" DEEP CONC. FOOTING, PAINT TO MATCH STUCCO FINISH.
10. ASPHALT PAVING
11. GROUT ALL CELLS SOLID BELOW GRADE, TYPICAL.

4 REFUSE CONTAINER DETAILS



27 HC PARKING SIGN

Scale: Not to Scale



VICINITY MAP

GENERAL NOTES

1. BUILDING MOUNTED SIGNAGE: 6% MAXIMUM OF THE FACADE AREA. LETTERS TO BE CHANNELIZED OR NEON.
2. ROOF TOP EQUIPMENT SHALL NOT BE VISIBLE FROM ADJACENT PROPERTY OR RIGHT-OF-WAYS. HEIGHT OF SUCH EQUIPMENT MUST BE BELOW PARAPET HEIGHT.

PROJECT DATA

1. LEGAL DESCRIPTION
TRACT A-28-B1 of the NORTHEAST UNIT, TOWN OF ATRISCO GRANT, as the same is shown and designated on the Plat for TRACT A-28-B1 AND A-28-B2 NORTHEAST UNIT, TOWN OF ATRISCO GRANT (Being a Replat of Tracts A-28 and A-29) filed in the Office of the County Clerk of Bernalillo County, New Mexico, on May 3, 1996 in Map Book 96C, Folio 181.
2. ZONING
CITY OF ALBUQUERQUE, NEW MEXICO ZONE: C-1 SU-1
AUTO BODY REPAIR AND PAINTING
AREAS
TRACT AREA: 1.72 ACRES
BUILDING FOOTPRINT: 11,118 SF
F.A.R.: .15
HEIGHT: 26 FT
4. PROPOSED USE
CAR WASH
5. PARKING
PARKING REQUIRED 11,118 SF BLDG.
EMPLOYEES PER SHIFT 8
120 SF OFFICE SPACE 1/200 SF
ACCESSIBLE SPACE 1
TOTAL PARKING PROVIDED 18
BICYCLE PARKING PROVIDED 5
6. LANDSCAPE
LANDSCAPE REQUIRED (15% NET LOT AREA) 9,135 SF
LANDSCAPE PROVIDED 13,299 SF
7. PARKING NOTES
TYPICAL STANDARD SPACES: 9'-0" X 20'-0"
TYPICAL HC SPACES: 8'-6" X 20'-0"

ALL SPACES ARE STANDARD UNLESS OTHERWISE NOTED

Notes: "All canopies shall be maintained by the property owner in order to preserve the visual integrity of the site."

Note: A minimum of 5 coniferous trees should be planted in the 6' buffer strip along the southern boundary of the site to screen the southern facade from the adjacent office building.

KEYED NOTES

1. 10' PUBLIC UTILITY EASEMENT
2. 50' PUBLIC UTILITY EASEMENT
3. RESTAURANT DRIVE-THRU LANE: DRIVE THROUGH SHALL BE SHADED WITH AN ARCHITECTURALLY INTEGRATED CANOPY
4. 8" CMU REFUSE ENCLOSURE PER COA SOLID WASTE DEPARTMENT STANDARDS, STUCCO TO MATCH PRIMARY BUILDING COLOR. REFER DETAIL 3, PAGE 6
5. ACCESSIBLE SIDEWALK RAMP
6. 6" CONCRETE CURB AND DRIVE ENTRY PER COA STANDARDS
7. 6" CONCRETE CURB
8. 10' SET BACK
9. NEW MONUMENT SIGN, REFER DETAIL 5, SHEET A2.1 SIZE SHALL CONFORM TO THE COORS COORDINATOR PLAN:
10. BICYCLE RACK, 5 SPACES, REFER DETAIL 4, PAGE 6
11. LIGHT POLE, REFER DETAIL 2, PAGE 6
12. ASPHALTIC PAVING
13. 4" WIDE PAINTED PARKING STALL STRIPING, WHITE TYPICAL
14. 6" WIDE SIDEWALK
15. 4" WIDE SIDEWALK
16. TEXTURED CONCRETE PEDESTRIAN CROSSING
17. EXISTING LIGHT POLE
18. LANDSCAPED PARKING ISLAND
19. EXISTING OFFICE BUILDING
20. EXISTING BANK
21. EXISTING RETAIL TIRE STORE
22. EXISTING PARKING AT OFFICE BUILDING
23. CONCRETE WALK, WIDTH AS NOTED ON PLAN
24. EXISTING CURB
25. EXISTING 4' WIDE SIDE WALK
26. EXISTING PROPERTY LINE
27. HANDICAP PARKING STALL SIGN
28. FIRE HYDRANT
29. PLAZA WITH TABLES AND SEATING SHADED WITH SHADE TREES IN TREE GRATES: 250 SF MINIMUM
30. 3' HIGH CMU WALLS TO SCREEN PARKING AREAS FROM THE STREET, STUCCO TO MATCH PRIMARY BUILDING COLOR
31. 15' LANDSCAPE BUFFER ALONG COORS BLVD.
32. 12' WIDE ROW DEDICATION FOR DECELERATION LANE
33. THE TOP OF ALL ROOFTOP EQUIPMENT SHALL BE BELOW THE TOP OF PARAPET AND SCREENED FROM VIEW FROM THE PROPERTY LINES OF THE SITE. ALTERNATIVELY, ROOFTOP EQUIPMENT SHALL BE SCREENED BY ROOFTOP WALLS THAT ARE PAINTED TO MATCH THE ROOF COLOR OR THE PREDOMINANT BUILDING COLOR. ALL GROUND MOUNTED EQUIPMENT SHALL BE SCREENED BY SCREEN WALLS WITH TOP OF EQUIPMENT BELOW THE TOP OF THE SCREEN WALL.
34. ANY ATM'S SHALL BE ARCHITECTURALLY INTEGRATED WITH BUILDING DESIGN
35. DRAIN TO SANITARY SEWER, THIS REFUSE ENCLOSURE ONLY
36. BROOMED CONCRETE
37. 16" LIGHT FIXTURE (WITHIN 100' OF RESIDENTIAL)

RADIUS INFORMATION:

1. RADIUS = 2'-0"
2. RADIUS = 3'-0"
3. RADIUS = 5'-0"
4. RADIUS = 10'-0"
5. RADIUS = 15'-0"
6. RADIUS = 20'-0"
7. RADIUS = 25'-0"
8. RADIUS = 30'-0"
9. RADIUS = 40'-0"
10. RADIUS = 50'-0"
11. RADIUS = 60'-0"
12. RADIUS = 48'-0"

PROJECT NUMBER: 1202405

APPLICATION NUMBER: 04DRB-01797

This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC) on and that the findings and conditions in the Official Notice of Notification of Decision have been complied with:

Is an Infrastructure List required? () YES () NO

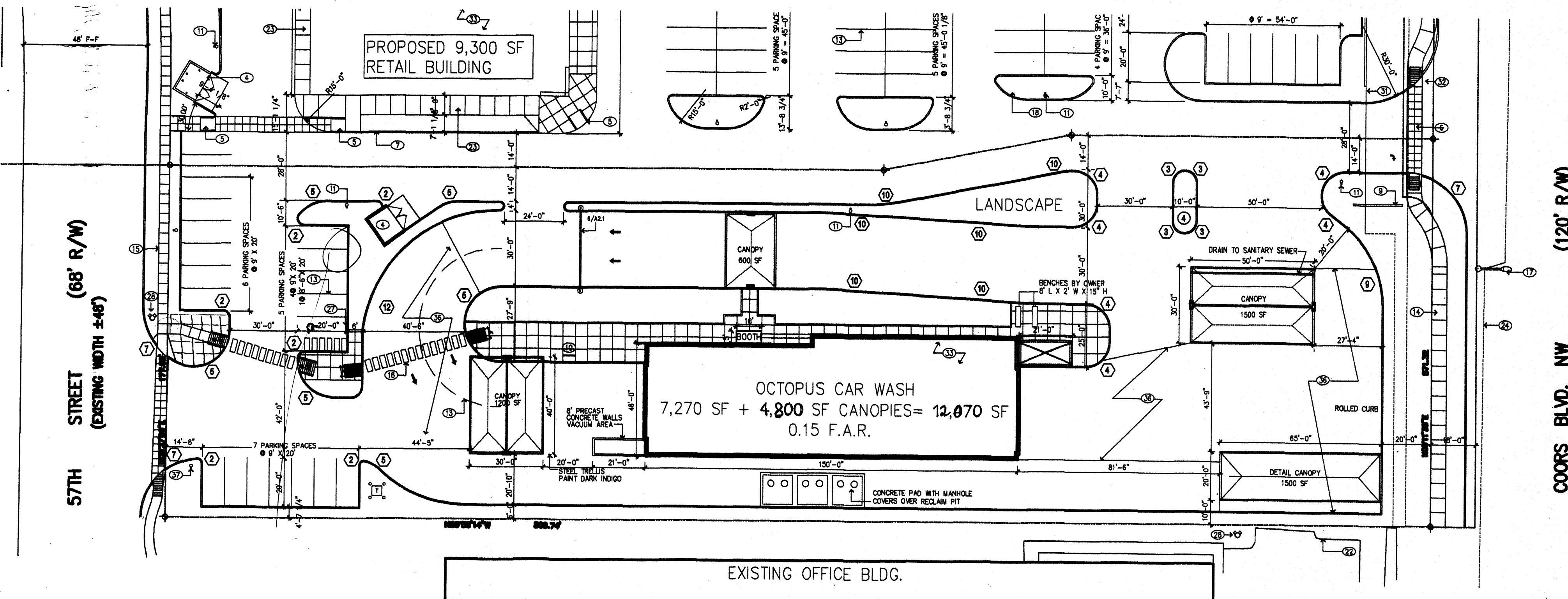
If yes, then a set of approved DRP plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

SITE DEVELOPMENT PLAN

Project Engineer, Transportation Division	12-1-04
Utilities Development	12-1-04
Parks and Recreation Department	12-1-04
City Engineer, Engineering Division/AMAFCA	12-1-04
Environmental Health Department (conditional)	11-23-04
Solid Waste Management	11-23-04
DRB Chairperson, Planning Department	11-23-04

* Environmental Health, if necessary

AFD Plans Checking Office
924-3611
HYDRANTS ONLY
Hydrants shall be installed prior to construction
APPROVED/DISAPPROVED
R.C. Smith 11-23-04
Signature & Date



COORS BLVD. NW (120' R/W)

EXISTING MEDIAN



SITEPLAN

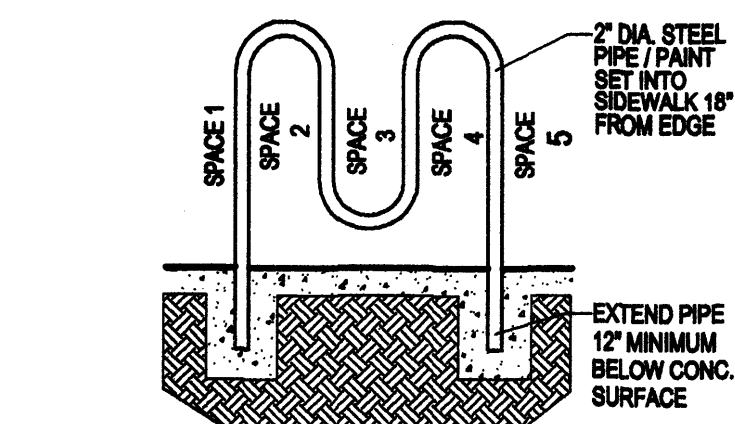
SCALE: 1" = 30'-0"

RECEIVED
SEP 26 2005
HYDROLOGY SECTION

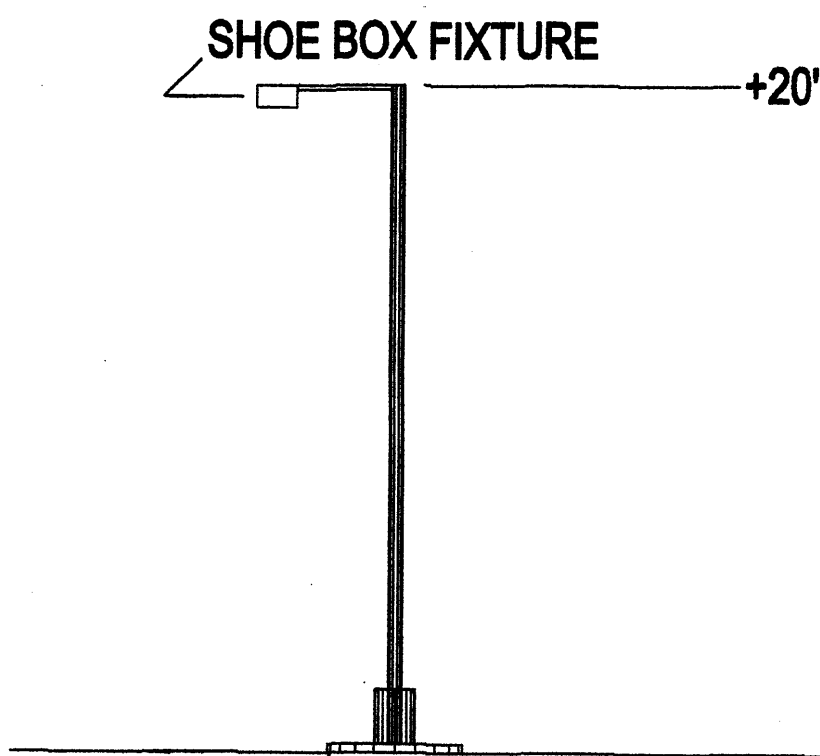
PROJECT TITLE: OCTOPUS CARWASH
COORS BLVD. NW & REDLANDS RD. NW
ALBUQUERQUE, NEW MEXICO
PROJECT MANAGER: MIKE SAFRANY
DRAWN BY: MPS
JOB NO.:
SHEET TITLE: SITE PLAN - BUILDING PERMIT

DATE: 5-21-04
SCALE: AS NOTED
sheet: A1.0
of.

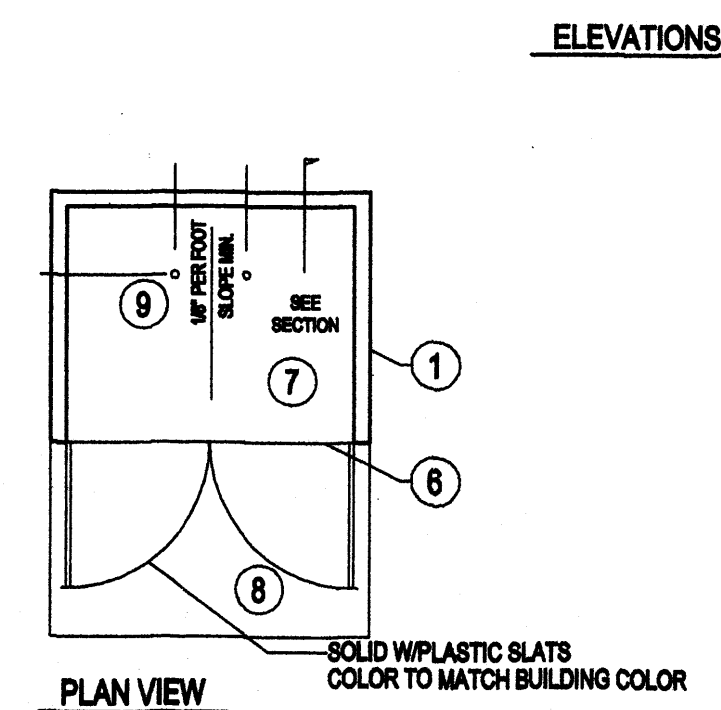
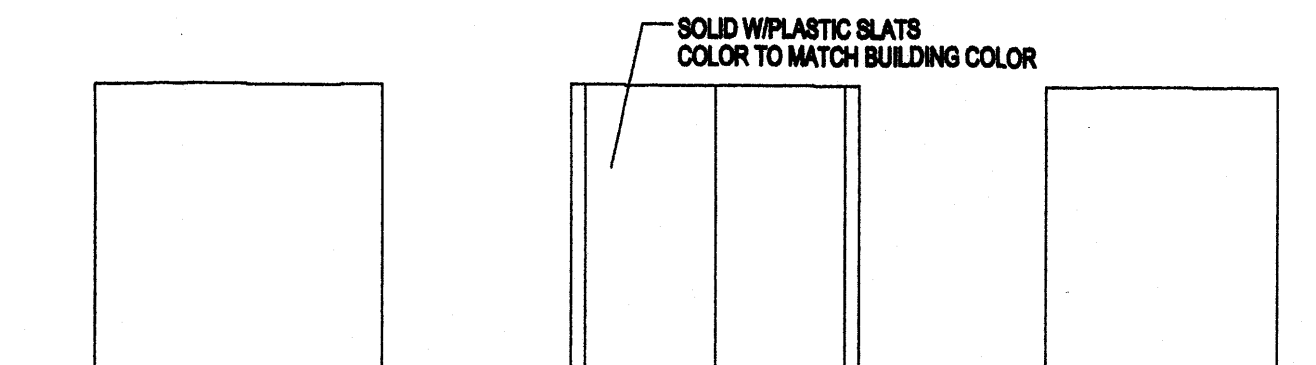
GEORGE RAINHART ARCHITECT AND ASSOCIATES PC
2325 SAN PEDRO N.E. SUITE 2-B
ALBUQUERQUE, NEW MEXICO 87110
PHONE (505) 884-9110 FAX (505) 837-9877



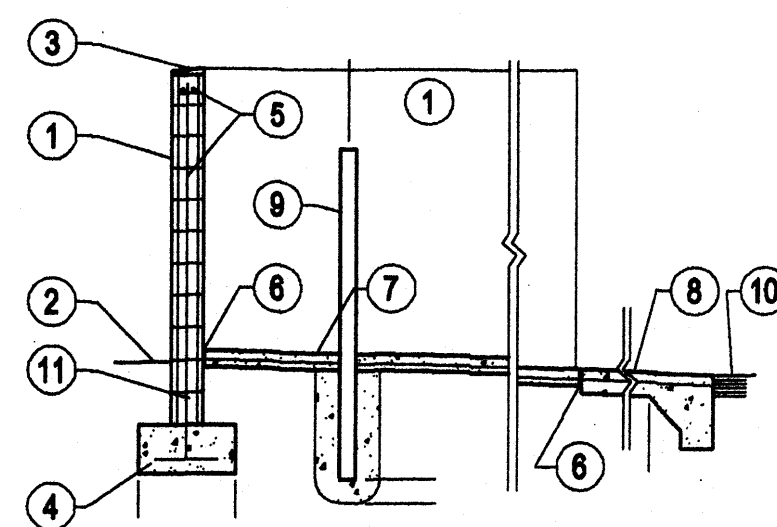
10 BIKE RACK DETAIL
NTS



11 SITE LIGHTING DETAIL
NTS



PLAN VIEW

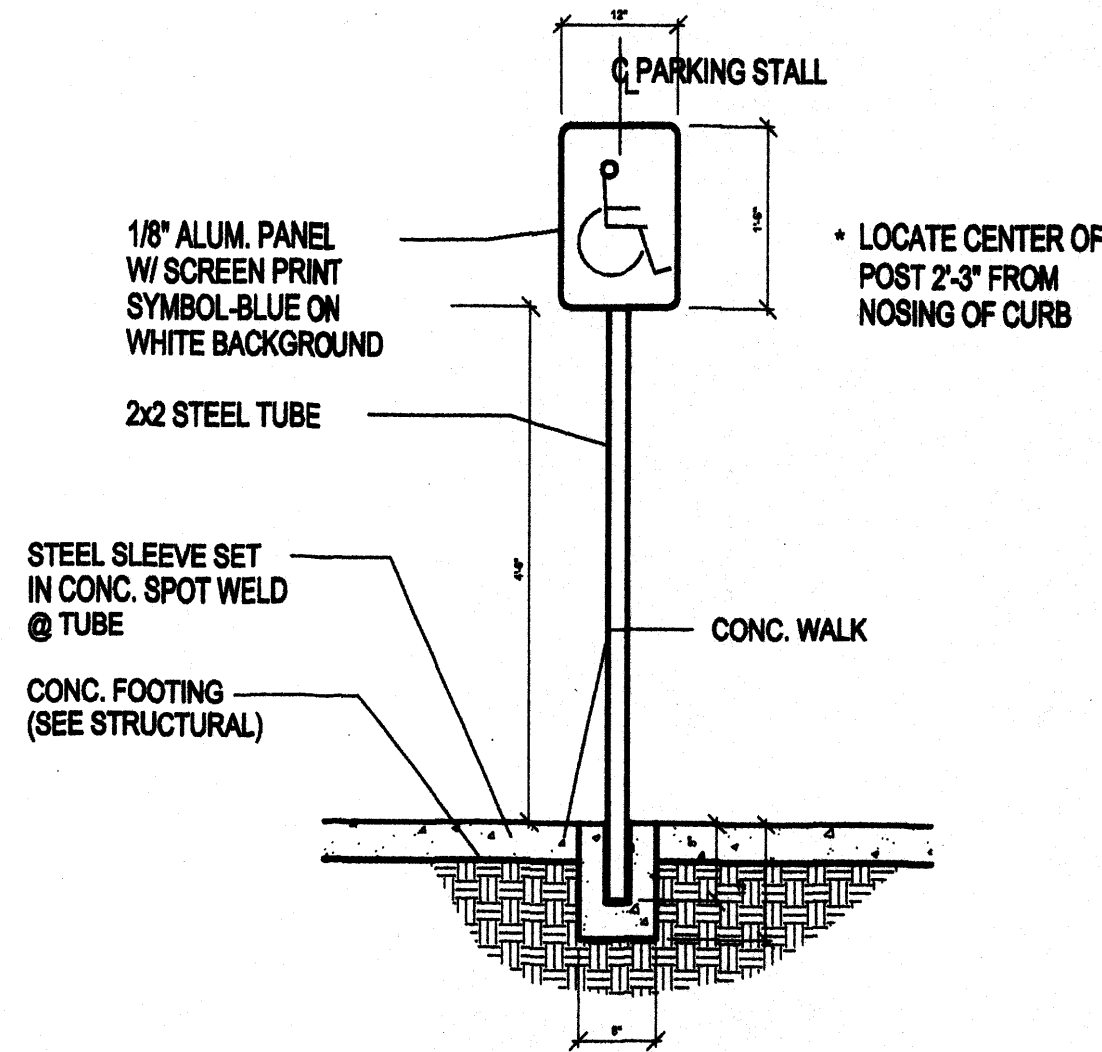


SECTION

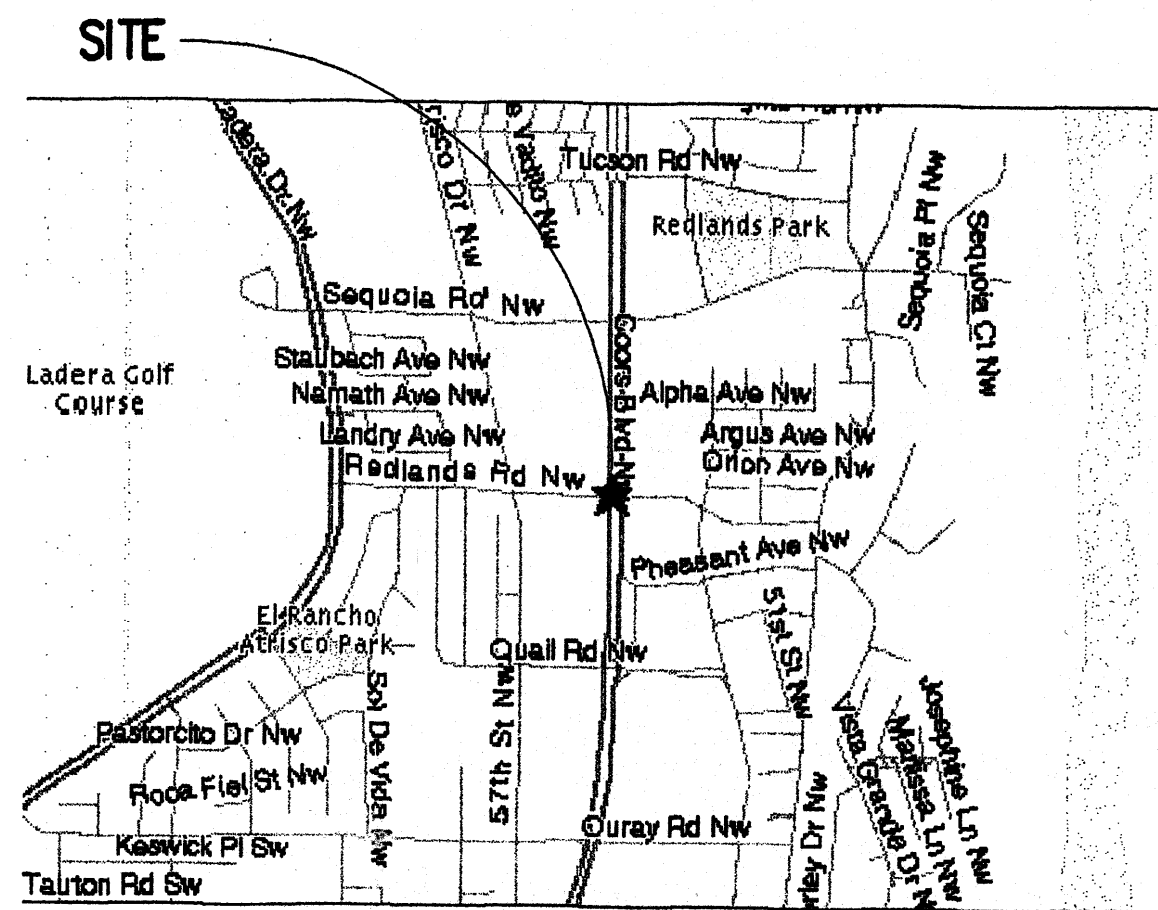
REFUSE CONTAINER NOTES

1. PRECAST CONCRETE WALL FINISH TO MATCH BLDG.
2. FINISH GRADE.
3. SLOPE STUCCO CAP.
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5. 2-#5 BARS @ TOP KNOCK-OUT BLOCK BOND BEAM, CONTINUOUS: #5 BARS @ 32" O.C. VERTICAL. GROUT REINFORCED CELLS, DURA-WALL @ 18" O.C. HORIZONTAL.
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7. 4" CONCRETE SLAB 3000 PSI 3/4" AGGREGATE WITH 6X6-10X10 WWM.
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9. 4" CONCRETE FILLED PIPE IN 18" DIA. X 2'-6" DEEP CONC. FOOTING, PAINT TO MATCH STUCCO FINISH.
10. ASPHALT PAVING
11. GROUT ALL CELLS SOLID BELOW GRADE, TYPICAL.

4 REFUSE CONTAINER DETAILS
NTS



27 HC PARKING SIGN
Scale: Not to Scale



VICINITY MAP

GENERAL NOTES

- A. BUILDING MOUNTED SIGNAGE: 6% MAXIMUM OF THE FACADE AREA. LETTERS TO BE CHANNELIZED OR NEON.
- B. ROOF TOP EQUIPMENT SHALL NOT BE VISIBLE FROM ADJACENT PROPERTY OR RIGHT-OF-WAYS. HEIGHT OF SUCH EQUIPMENT MUST BE BELOW PARAPET HEIGHT.

PROJECT DATA

1. LEGAL DESCRIPTION
TRACT A-28-B1 of the NORTHEAST UNIT, TOWN OF ATRISCO GRANT, as the same is shown and designated on the Plat for TRACT A-28-B1 AND A-28-B2 NORTHEAST UNIT, TOWN OF ATRISCO GRANT (Being a Replat of Tracts A-28 and A-29) filed in the Office of the County Clerk of Bernalillo County, New Mexico, on May 3, 1996 in Map Book 96C, Folio 181.
2. ZONING
CITY OF ALBUQUERQUE, NEW MEXICO ZONE: C-1 SU-1
AUTO BODY REPAIR AND PAINTING
AREAS
TRACT AREA: 1.72 ACRES
BUILDING FOOTPRINT: 11,118 SF
F.A.R.: .15
HEIGHT: 26 FT
4. PROPOSED USE
CAR WASH
5. PARKING
PARKING REQUIRED: 11,118 SF BLDG.
EMPLOYEES PER SHIFT: 8
120 SF OFFICE SPACE 1/200 SF
ACCESSIBLE SPACE: 1
TOTAL PARKING PROVIDED: 18
BICYCLE PARKING PROVIDED: 5
6. LANDSCAPE
LANDSCAPE REQUIRED (15% NET LOT AREA): 9,135 SF
LANDSCAPE PROVIDED: 13,299 SF
7. PARKING NOTES
TYPICAL STANDARD SPACES: 9'-0" X 20'-0"
TYPICAL HC SPACES: 8'-6" X 20'-0"
ALL SPACES ARE STANDARD UNLESS OTHERWISE NOTED

Notes: "All canopies shall be maintained by the property owner in order to preserve the visual integrity of the site."

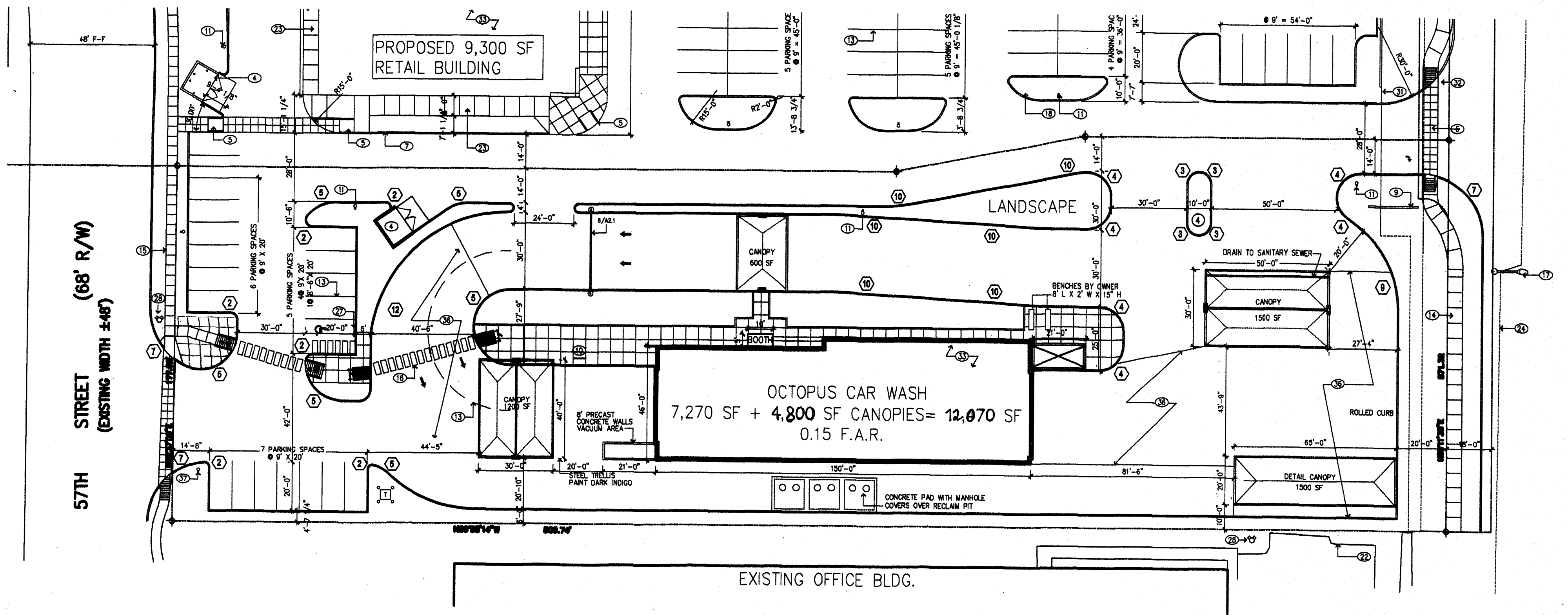
Note: A minimum of 5 coniferous trees should be planted in the 6' buffer strip along the southern boundary of the site to screen the southern facade from the adjacent office building.

KEYED NOTES

1. 10' PUBLIC UTILITY EASEMENT
2. 50' PUBLIC UTILITY EASEMENT
3. RESTAURANT DRIVE-THRU LANE: DRIVE THROUGH SHALL BE SHADED WITH AN ARCHITECTURALLY INTEGRATED CANOPY
4. 8" CMU REFUSE ENCLOSURE PER COA SOLID WASTE DEPARTMENT STANDARDS, STUCCOED TO MATCH PRIMARY BUILDING COLOR. REFER DETAIL 3, PAGE 6
5. ACCESSIBLE SIDEWALK RAMP
6. 6" CONCRETE CURB AND DRIVE ENTRY PER COA STANDARDS
7. 6" CONCRETE CURB
8. 10' SET BACK
9. NEW MONUMENT SIGN, REFER DETAIL 5, SHEET A2.1 SIZE SHALL CONFORM TO THE COORS COORDINATOR PLAN:
10. BICYCLE RACK, 5 SPACES, REFER DETAIL 4, PAGE 6
11. LIGHT POLE, REFER DETAIL 2, PAGE 6
12. ASPHALTIC PAVING
13. 4" WIDE PAINTED PARKING STALL STRIPING, WHITE TYPICAL
14. 6" WIDE SIDEWALK
15. 4" WIDE SIDEWALK
16. TEXTURED CONCRETE PEDESTRIAN CROSSING
17. EXISTING LIGHT POLE
18. LANDSCAPED PARKING ISLAND
19. EXISTING OFFICE BUILDING
20. EXISTING BANK
21. EXISTING RETAIL TIRE STORE
22. EXISTING PARKING AT OFFICE BUILDING
23. CONCRETE WALK, WIDTH AS NOTED ON PLAN
24. EXISTING CURB
25. EXISTING 4" WIDE SIDE WALK
26. EXISTING PROPERTY LINE
27. HANDICAP PARKING STALL SIGN
28. FIRE HYDRANT
29. PLAZA WITH TABLES AND SEATING SHADED WITH SHADE TREES IN TREE GRATES: 250 SF MINIMUM
30. 3' HIGH CMU WALLS TO SCREEN PARKING AREAS FROM THE STREET, STUCCOED TO MATCH PRIMARY BUILDING COLOR
31. 15' LANDSCAPE BUFFER ALONG COORS BLVD.
32. 12' WIDE ROW DEDICATION FOR DECELERATION LANE
33. THE TOP OF ALL ROOFTOP EQUIPMENT SHALL BE BELOW THE TOP OF THE PARAPET AND SCREENED FROM VIEW FROM THE PROPERTY LINES OF THE SITE. ALTERNATIVELY, ROOFTOP EQUIPMENT SHALL BE SCREENED BY ROOFTOP WALLS THAT ARE PAINTED TO MATCH THE ROOF COLOR OR THE PREDOMINANT BUILDING COLOR. ALL GROUND MOUNTED EQUIPMENT SHALL BE SCREENED BY SCREEN WALLS WITH TOP OF EQUIPMENT BELOW THE TOP OF THE SCREEN WALL.
34. ANY ATM'S SHALL BE ARCHITECTURALLY INTEGRATED WITH BUILDING DESIGN
35. DRAIN TO SANITARY SEWER, THIS REFUSE ENCLOSURE ONLY
36. BROOMED CONCRETE
37. 16" LIGHT FIXTURE (WITHIN 100' OF RESIDENTIAL)

RADIUS INFORMATION:

- | | |
|-------------------|-------------------|
| ① RADIUS = 2'-0" | ⑦ RADIUS = 25'-0" |
| ② RADIUS = 3'-0" | ⑧ RADIUS = 30'-0" |
| ③ RADIUS = 5'-0" | ⑨ RADIUS = 40'-0" |
| ④ RADIUS = 10'-0" | ⑩ RADIUS = 50'-0" |
| ⑤ RADIUS = 15'-0" | ⑪ RADIUS = 60'-0" |
| ⑥ RADIUS = 20'-0" | ⑫ RADIUS = 48'-0" |



COORS BLVD. NW (120' R/W)

EXISTING MEDIAN

AFD Plans Checking Office
924-3611
HYDRANTS ONLY
Hydrants shall be installed prior to construction
APPROVED/DISAPPROVED
R.C. Smith 11-23-04
Signature & Date

SITEPLAN

SCALE: 1" = 30'-0"

PROJECT NUMBER: 1202405
APPLICATION NUMBER: 04-DRB-01797

This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC) on and that the findings and conditions in the Official Notice of Notification of Decision have been complied with:

Is an Infrastructure List required? () YES () NO

If yes, then a set of approved DRP plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

SITE DEVELOPMENT PLAN

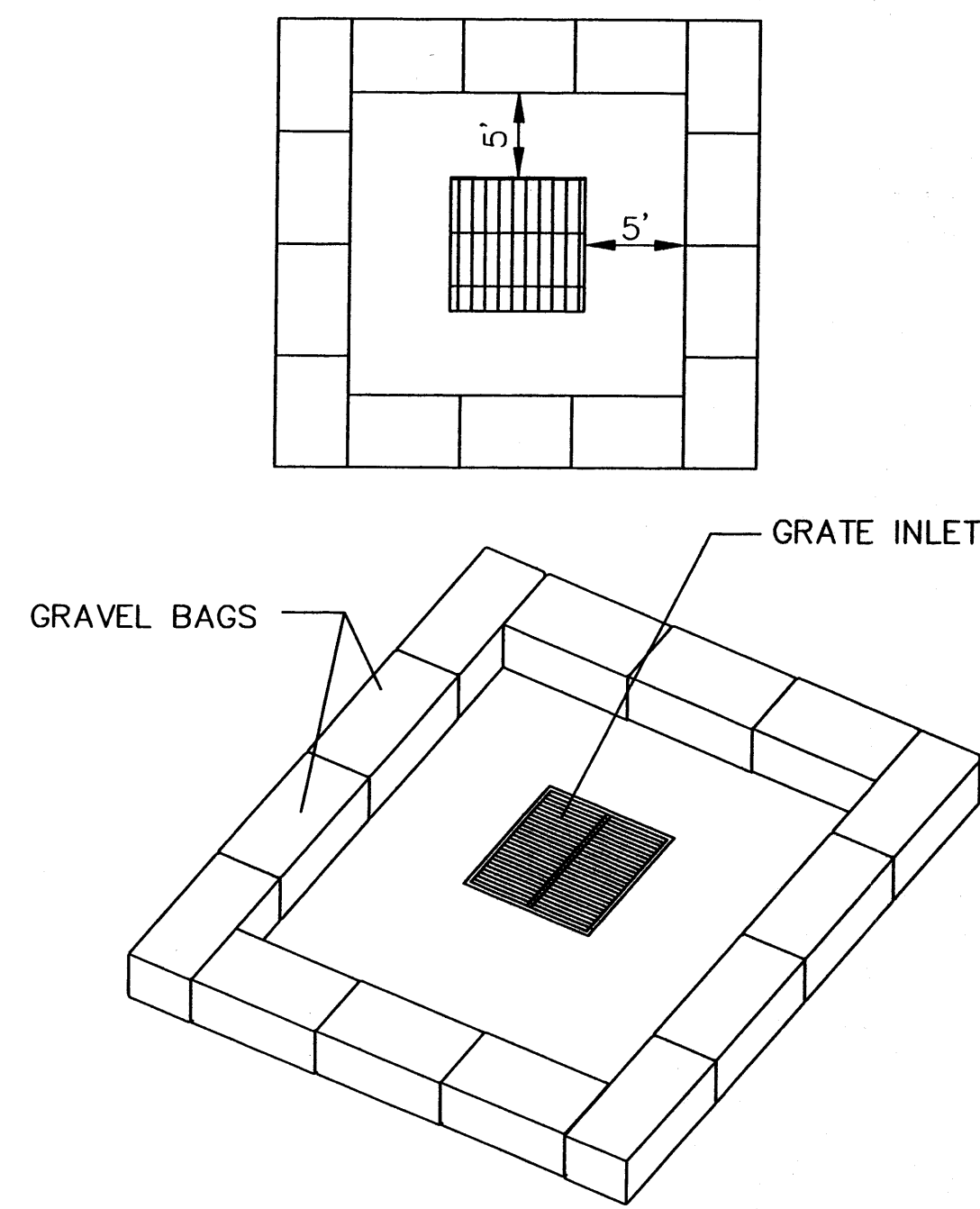
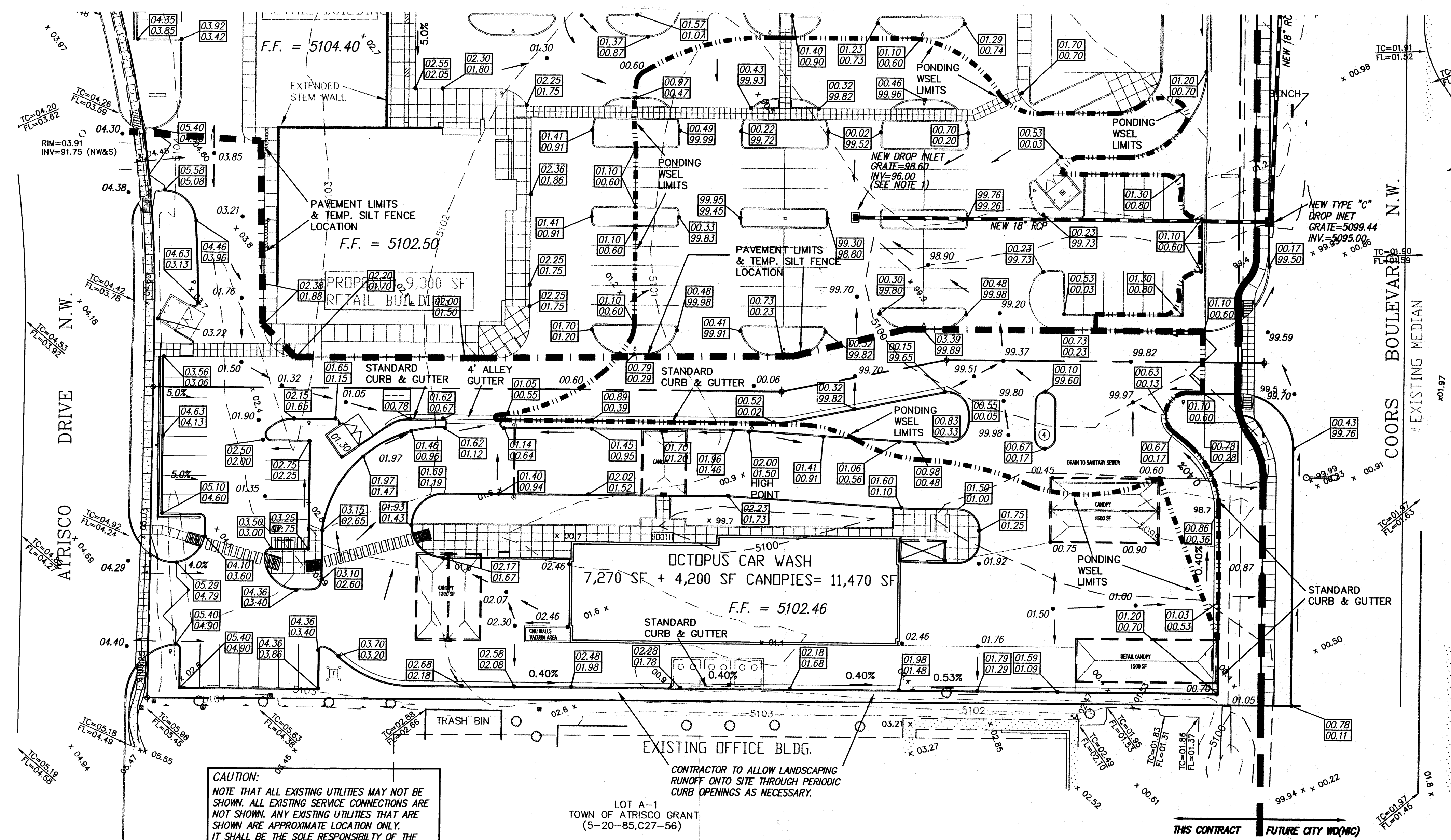
Engineer, Transportation Division	Date
Utilities Development	12-1-04
Parks and Recreation Department	12/1/04
City Engineer, Engineering Division/AMAFCA	12/1/04
Environmental Health Department (conditional)	Date
Solid Waste Management	11-23-04
DRB Chairperson, Planning Department	12/5/05

* Environmental Health, if necessary

GEORGE RAINHART ARCHITECT AND ASSOCIATES PC
2325 SAN PEDRO N.E. SUITE 2-B
ALBUQUERQUE, NEW MEXICO 87110
PHONE (505) 884-9110 FAX (505) 637-9877

RECEIVED
SEP 26 2005
HYDROLOGY SECTION

PROJECT TITLE
OCTOPUS CARWASH
COORS BLVD. NW & REDLANDS RD. NW
ALBUQUERQUE, NEW MEXICO
PROJECT MANAGER
MIKE SAFRANY
JOB NO.
DRAWN BY
MPS
SHEET TITLE
SITE PLAN - BUILDING PERMIT
DATE:
5-21-04
SCALE:
AS NOTED
sheet:
A1.0
of:



- NOTICE TO CONTRACTORS**
1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
 2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
 3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 765-1234, FOR LOCATION OF EXISTING UTILITIES.
 4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
 5. BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
 6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
 7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

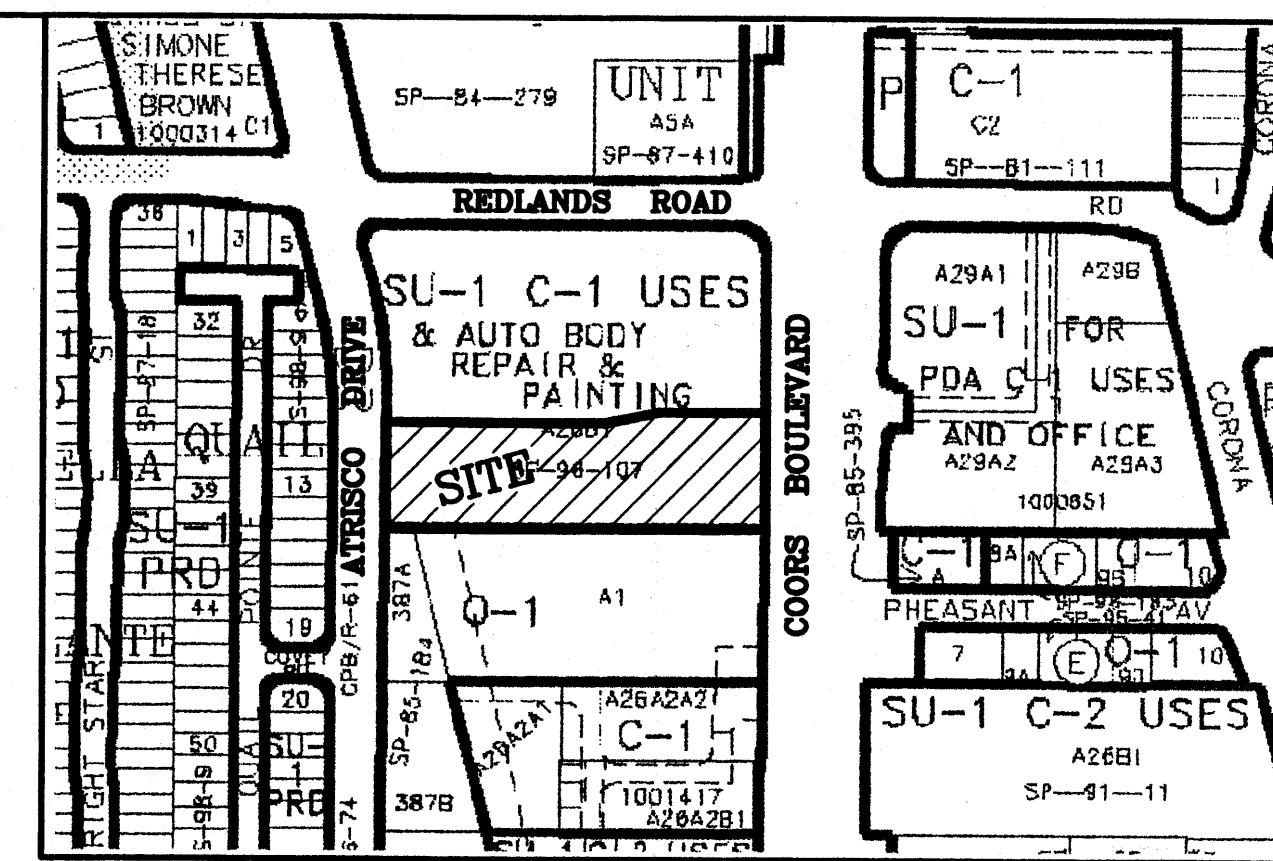
- EROSION CONTROL PLAN AND POLLUTION PREVENTION NOTES**
1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
 2. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT OUT OF EXISTING RIGHT-OF-WAY.
 3. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL STORM RUNOFF ON SITE.
 4. REPAIR OF DAMAGED FACILITIES AND CLEAN-UP OF SEDIMENT ACCUMULATION ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
 5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL ACCEPTANCE OF ANY PROJECT.
 6. ALL THE DISTURBED AREAS MUST BE REVEGETATED.

ROUGH GRADING APPROVAL _____ DATE _____

- ADDITIONAL NOTES:**
1. ADD 4900 TO SPOT ELEVATIONS TO SHOW TRUE ELEVATION.
 2. CONTOUR INTERVAL IS ONE (1) FOOT.
 3. ELEVATIONS ARE BASED ON CITY OF ALBUQUERQUE CONTROL STATION (THE TOPOGRAPHY WAS PROVIDED BY THE ARCHITECT).
 4. UTILITIES SHOWN HEREON ARE IN THEIR APPROXIMATE LOCATION BASED ONLY ON ABOVE GROUND EVIDENCE FOUND IN THE FIELD AND AS-BUILT INFORMATION PROVIDED BY THE CLIENT. UTILITIES SHOWN HEREON, WHETHER INDICATED AS ABANDONED OR NOT, SHALL BE VERIFIED BY OTHERS FOR EXACT LOCATION AND/OR DEPTH PRIOR TO EXCAVATION OR DESIGN CONSIDERATIONS.
 5. THIS IS NOT A BOUNDARY SURVEY, BEARINGS ARE ASSUMED, DISTANCES AND FOUND PROPERTY CORNERS ARE FOR INFORMATIONAL PURPOSES ONLY.
 6. SLOPES ARE AT 3:1 MAXIMUM.

GENERAL NOTES

1. THE OPENING FROM THE ON-SITE DROP INLET TO THE 18" RCP OUTFALL SHALL BE COVERED WITH A 1/4" THICK STAINLESS STEEL PLATE WITH A 3 1/2" DIAMETER BORING LOCATED SO THAT ITS BOTTOM MATCHES THE FLOWLINE OF THE RCP.
2. THIS PROPERTY IS NOT LOCATED IN A FEMA FLOODPLAIN PER FIRM NO. 35001C0327.
3. THERE ARE NO SIGNIFICANT OFFSITE FLOWS ENTERING THIS SITE. EXISTING MINOR OFF-SITE FLOWS FROM THE SOUTH WILL BE ROUTED THROUGH THE SITE.
4. PROPERTY OWNER IS RESPONSIBLE FOR MAINTAINING DRAINAGE IMPROVEMENTS ON THE PROPERTY SO THAT THEY CONTINUE TO FUNCTION PROPERLY YEAR AFTER YEAR.
5. ELEVATIONS SHOWN HEREON ARE INTENDED TO BE FINAL GRADES. OWNER, ROUGH GRADING CONTRACTOR AND LANDSCAPE CONTRACTOR ARE RESPONSIBLE FOR ASSURING THAT AFTER ALL WORK IS COMPLETE, SITE'S FINAL SURFACE GRADES ARE AS SHOWN HEREON.
6. EARTHWORK CONTRACTOR IS RESPONSIBLE FOR OBTAINING AND FOLLOWING REQUIREMENTS OF THE SURFACE DISTURBANCE PERMIT FROM THE CITY ENVIRONMENTAL HEALTH DEPARTMENT.
7. OWNER AND ALL ASSOCIATED CONTRACTORS WHO ENGAGE IN ALTERATION OF SITE SURFACES, SHALL FILE A NOTICE OF INTENT WITH EPA AND FOLLOW STORM WATER POLLUTION PREVENTION PLAN REQUIREMENTS.
8. EXCEPT ALONG COORS BOULEVARD (CITY WO LATER), ALL NEW DRIVEWAYS SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY STANDARD DETAILS.

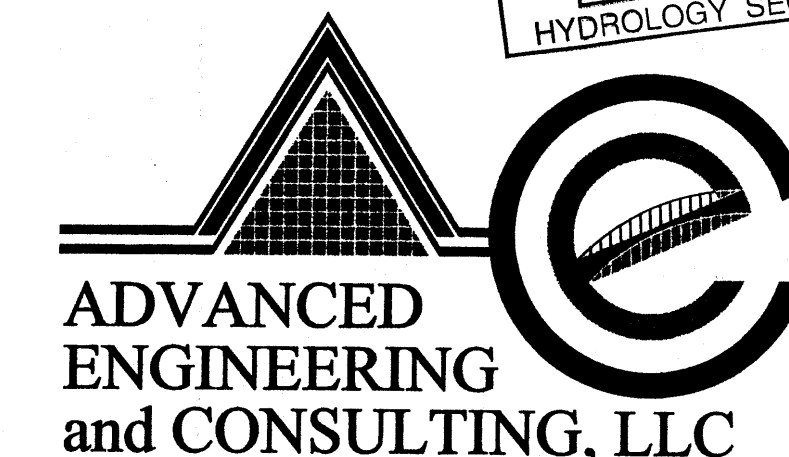
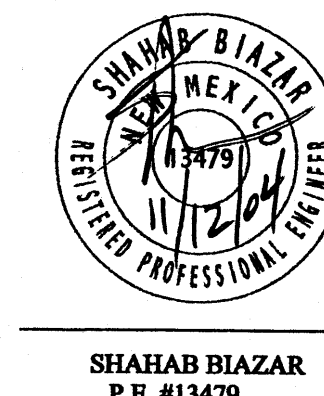
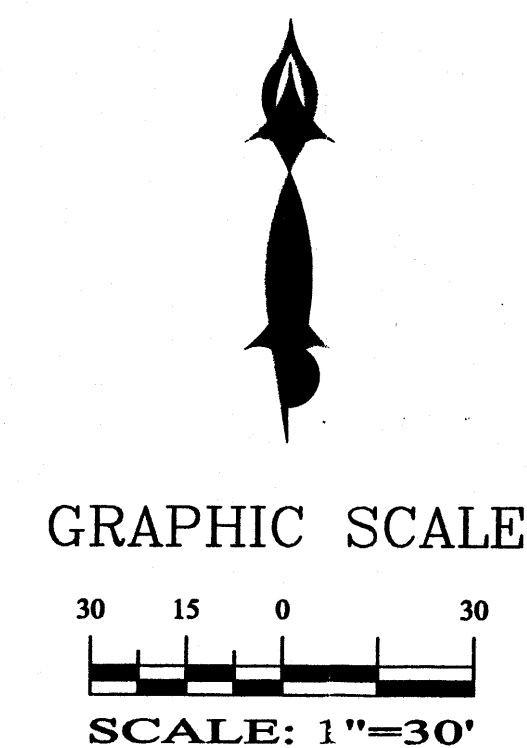


LEGAL DESCRIPTION:

TRACT 4-28-B1 AND A-28-B2, NORTHEAST UNIT, TOWN OF ATRISCO GRANT, SECTION 2 TOWNSHIP 10 NORTH, RANGE 2 EAST, NMPM CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO.

LEGEND

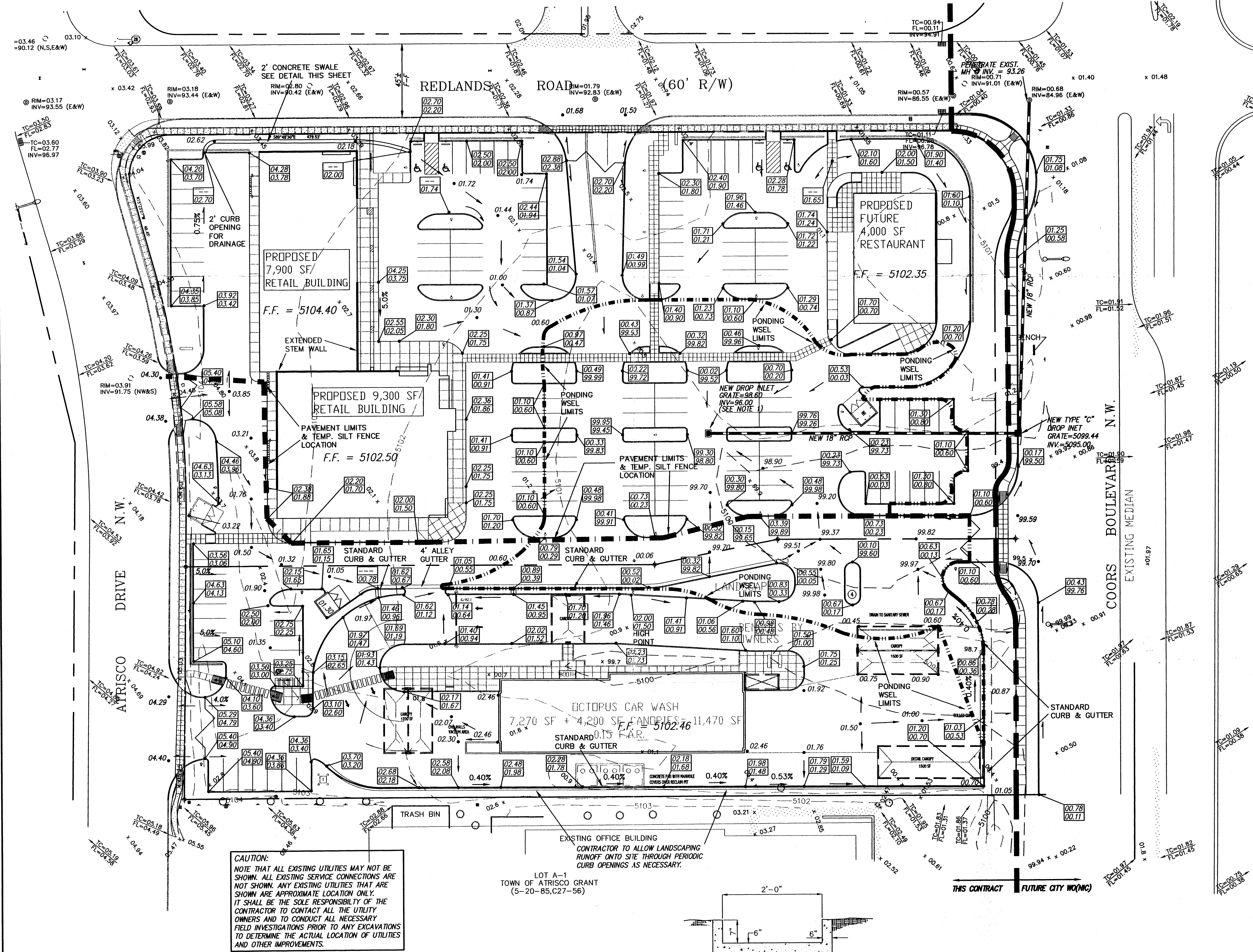
- EXISTING SAS MANHOLE
- EXISTING METER
- EXISTING VALVE W/BOX
- EXISTING FIRE HYDRANT
- EXISTING AIR RELEASE VALVE
- EXISTING REDUCER
- EXISTING SANITARY SEWER LINE
- EXISTING WATER LINE
- EXISTING CURB & GUTTER
- EXISTING CURB & GUTTER
- EXISTING CONTOUR (MAJOR)
- EXISTING CONTOUR (MINOR)
- BOUNDARY LINE
- EASEMENT
- LIMITS OF TOP OF EXISTING SLOPE
- PROPOSED SIDEWALK
- PROPOSED GRADE
- PROPOSED SPOT ELEVATION
- EXISTING GRADE
- EXISTING POWER LINES
- EXISTING FENCE
- 100YR-VSEL 100-YEAR WSEL (FROM HEC-RAS OUTPUT)
- EXISTING FENCE
- FLOODPLAIN LIMITS FROM FEMA MAP
- EXISTING GARDEN WALL
- PROPOSED RETAINING WALL
- PROPOSED EXTENDED STEM WALL
- TOP OF RETAINING WALL
- TOP OF FOOTING
- TOP OF EXTENDED STEM WALL
- TOP OF FOOTING
- PAVEMENT LIMITS & TEMP. SILT FENCE LOCATION
- PONDING WSEL LIMITS



SHAHAB BIAZAR
P.E. #13479
4416 ANAHEIM AVE., NE
ALBUQUERQUE, NEW MEXICO 87113
(505)899-5570

**OCTOPUS CAR WASH
GRADING AND DRAINAGE PLAN**

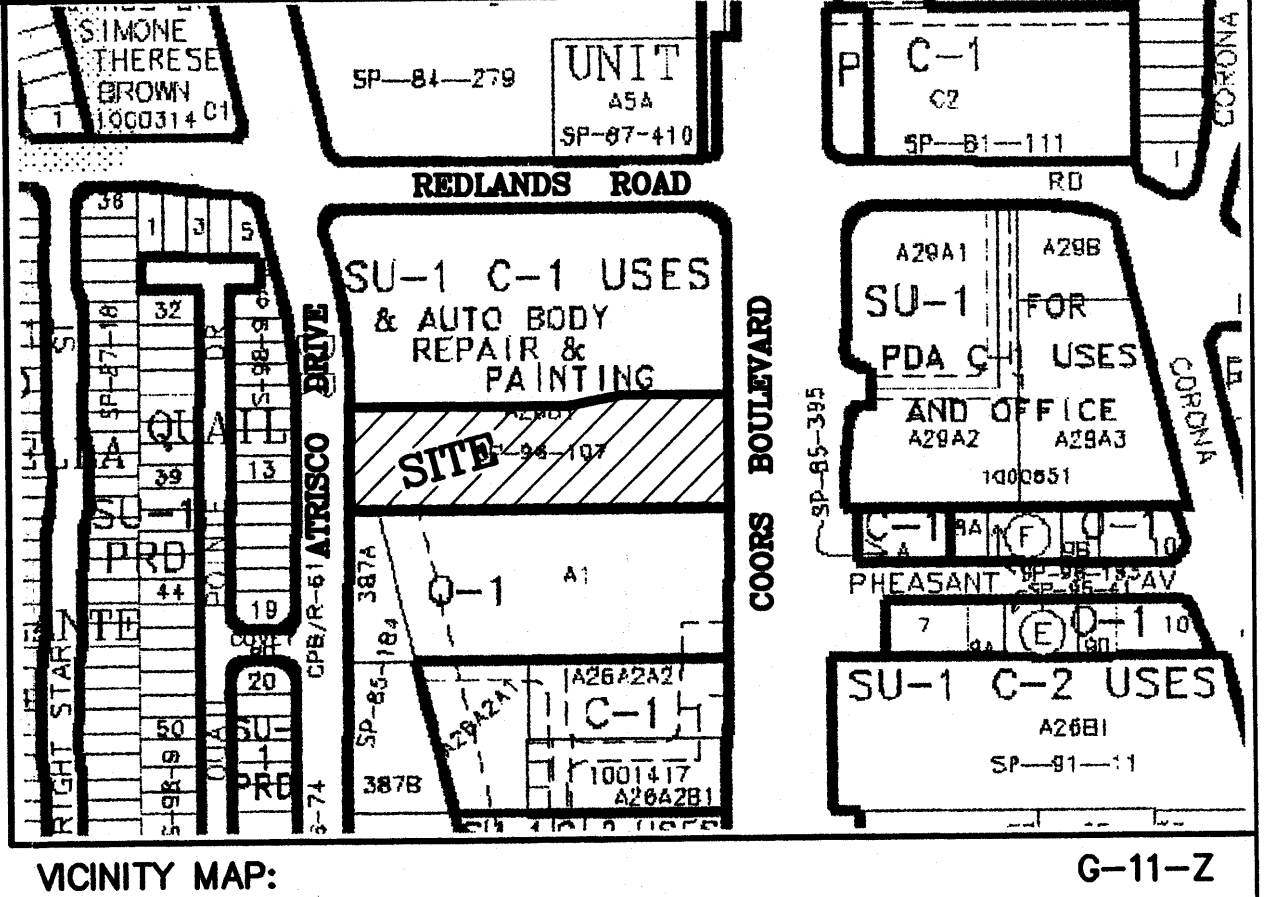
DRAWING: 200426-GR.DWG
DRAWN BY: SBB
DATE: 04-28-2004
SHEET # OF



CAUTION:
NOTE THAT ALL EXISTING UTILITIES MAY NOT BE SHOWN. ALL EXISTING SERVICE CONNECTIONS ARE NOT SHOWN. ANY EXISTING UTILITIES THAT ARE SHOWN ARE APPROXIMATE LOCATION ONLY. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONTACT ALL THE UTILITY OWNERS AND TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO ANY EXCAVATIONS TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS.

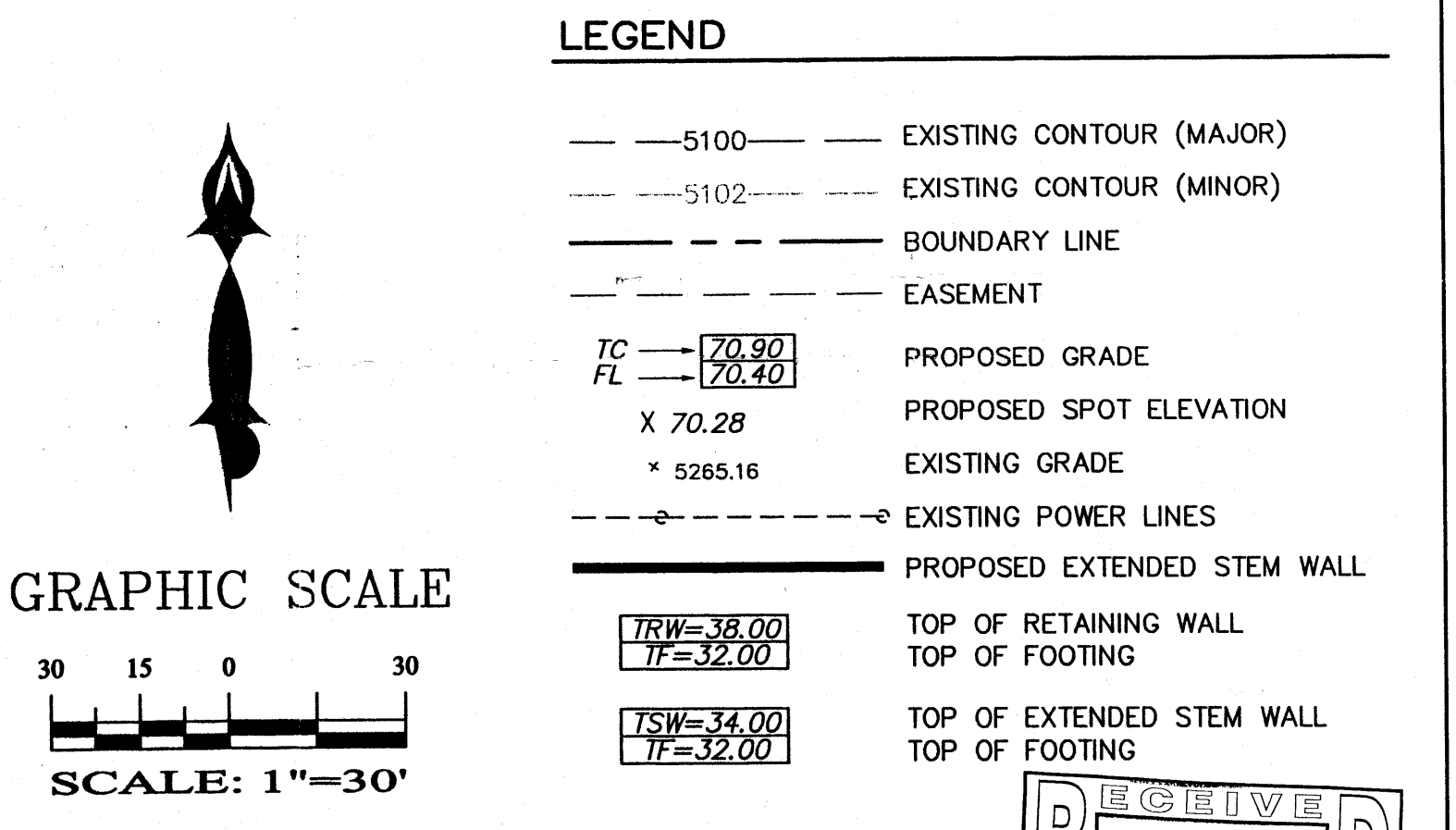
CONCRETE SWALE SECTION
N.T.S.

ROUGH GRADING APPROVAL _____ DATE _____



LEGAL DESCRIPTION:
TRACT 4-28-B1 AND A-28-B2, NORTHEAST UNIT, TOWN OF ATRISCO GRANT, SECTION 2 TOWNSHIP 10 NORTH, RANGE 2 EAST, NMPM CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO.

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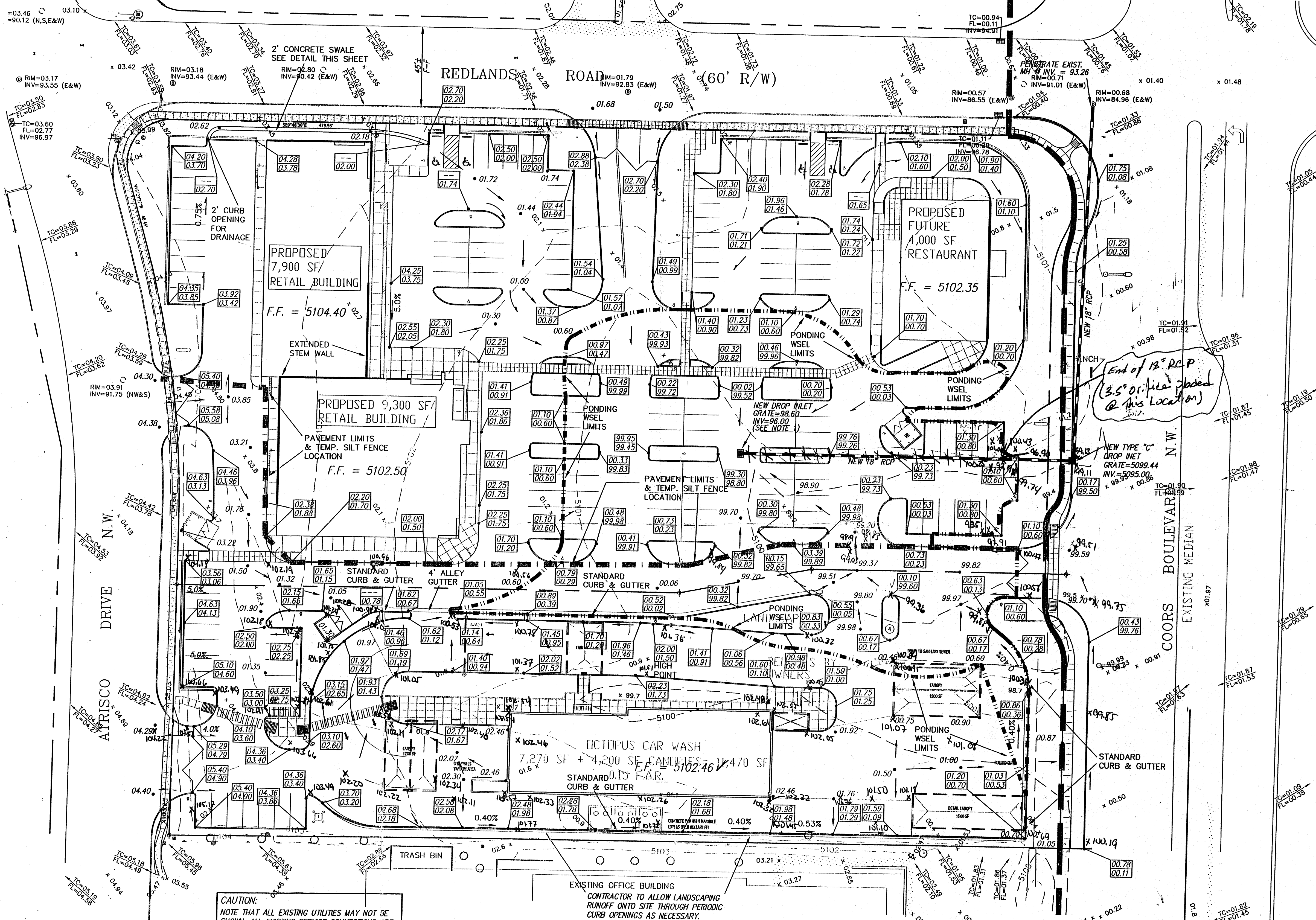
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NOV 12 2004
HYDROLOGICAL SECTION

ADVANCED ENGINEERING and CONSULTING, LLC

SHAHAB BIAZAR
P.E. #13479

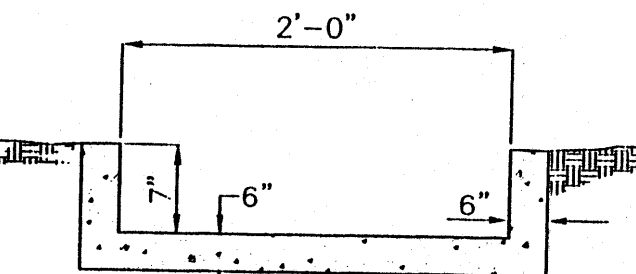
4416 ANAHEIM AVE. NE
ALBUQUERQUE, NEW MEXICO 87113
(505)899-5570

REDLANDS SHOPPING CENTER OVERALL GRADING AND DRAINAGE PLAN			
DRAWING: 200426-GR-OV.DWG	DRAWN BY: SBB	DATE: 04-28-2004	SHEET #



CAUTION:
NOTE THAT ALL EXISTING UTILITIES MAY NOT BE SHOWN. ALL EXISTING SERVICE CONNECTIONS ARE NOT SHOWN. ANY EXISTING UTILITIES THAT ARE SHOWN ARE APPROXIMATE LOCATION ONLY. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONTACT ALL THE UTILITY OWNERS AND TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO ANY EXCAVATIONS TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS.

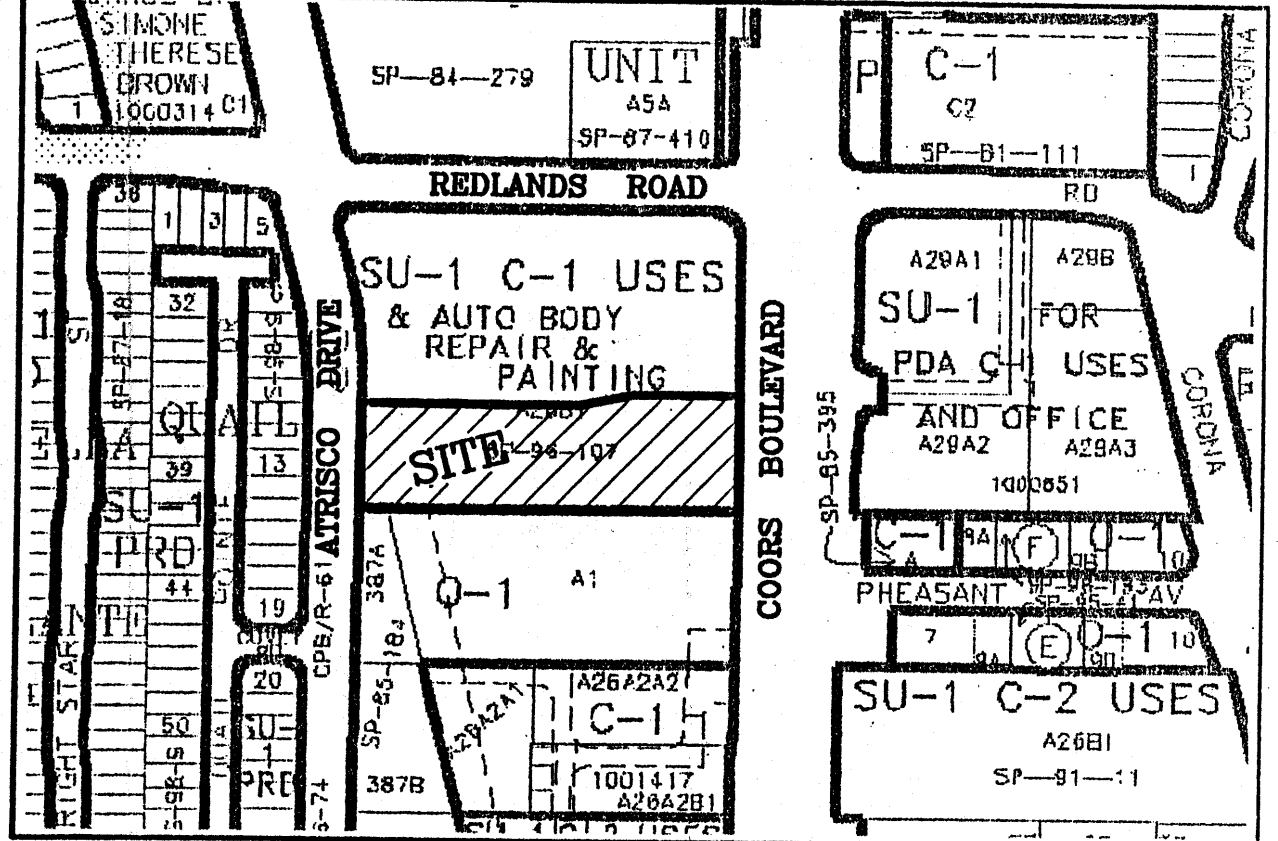
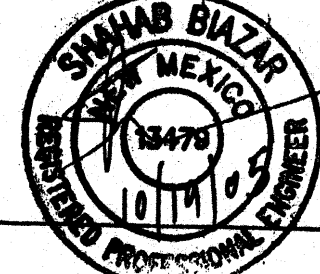
LOT A-1
TOWN OF ATRISCO GRANT
(5-20-85, C27-56)



CONCRETE SWALE SECTION
N.T.S.

THIS CONTRACT FUTURE CITY WORK
I SHAHAB BIAZAR, N.M.P.E. OF THE ADVANCED ENGINEERING, LLC HEREBY CERTIFY THAT PROJECT HAS BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 11-12-24. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY ME OR UNDER MY DIRECT SUPERVISION AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR Certificate of Occupancy.
THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING AND DRAINAGE ASPECTS OF THIS PROJECT. THOSE RELYING ON THIS RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

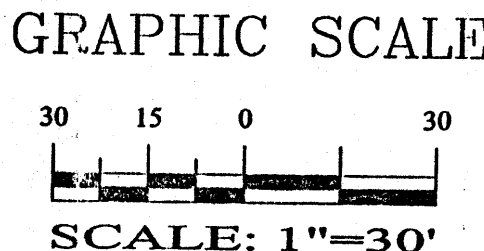
SHAHAB BIAZAR, N.M.P.E. #13479
DATE: 10/19/05



VICINITY MAP:
G-11-Z
LEGAL DESCRIPTION:
TRACT 4-28-B1 AND A-28-B2, NORTHEAST UNIT, TOWN OF ATRISCO GRANT, SECTION 2 TOWNSHIP 10 NORTH, RANGE 2 EAST, NMPM CITY OF ALBUQUERQUE BERNALILLO COUNTY, NEW MEXICO.

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- LEGEND**
- 5100 EXISTING CONTOUR (MAJOR)
 - 5102 EXISTING CONTOUR (MINOR)
 - BOUNDARY LINE
 - EASEMENT
 - TC 70.90
FL 70.40 PROPOSED GRADE
 - X 70.28 PROPOSED SPOT ELEVATION
 - X 5265.16 EXISTING GRADE
 - EXISTING POWER LINES
 - PROPOSED EXTENDED STEM WALL
 - TOP OF RETAINING WALL
TOP OF FOOTING
 - TSW=34.00
TF=32.00 TOP OF EXTENDED STEM WALL
TOP OF FOOTING
 - Asbu. H Top of Asphalt



ADVANCED ENGINEERING and CONSULTING, LLC
4416 ANAHEIM AVE. NE
ALBUQUERQUE, NEW MEXICO 87113
(505)899-5570

**REDLANDS SHOPPING CENTER
OVERALL GRADING AND DRAINAGE PLAN**

DRAWING: 200426-GR-OV.DWG
DRAWN BY: SBB
DATE: 04-28-2004
SHEET #

ROUGH GRADING APPROVAL DATE