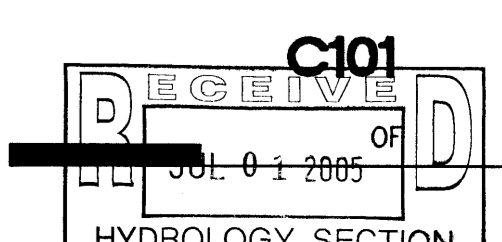
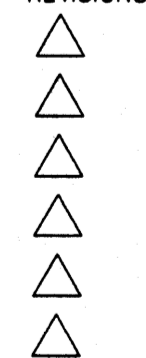
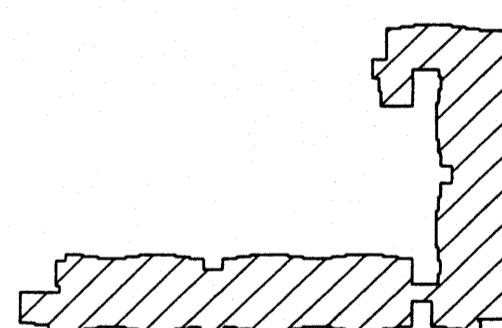
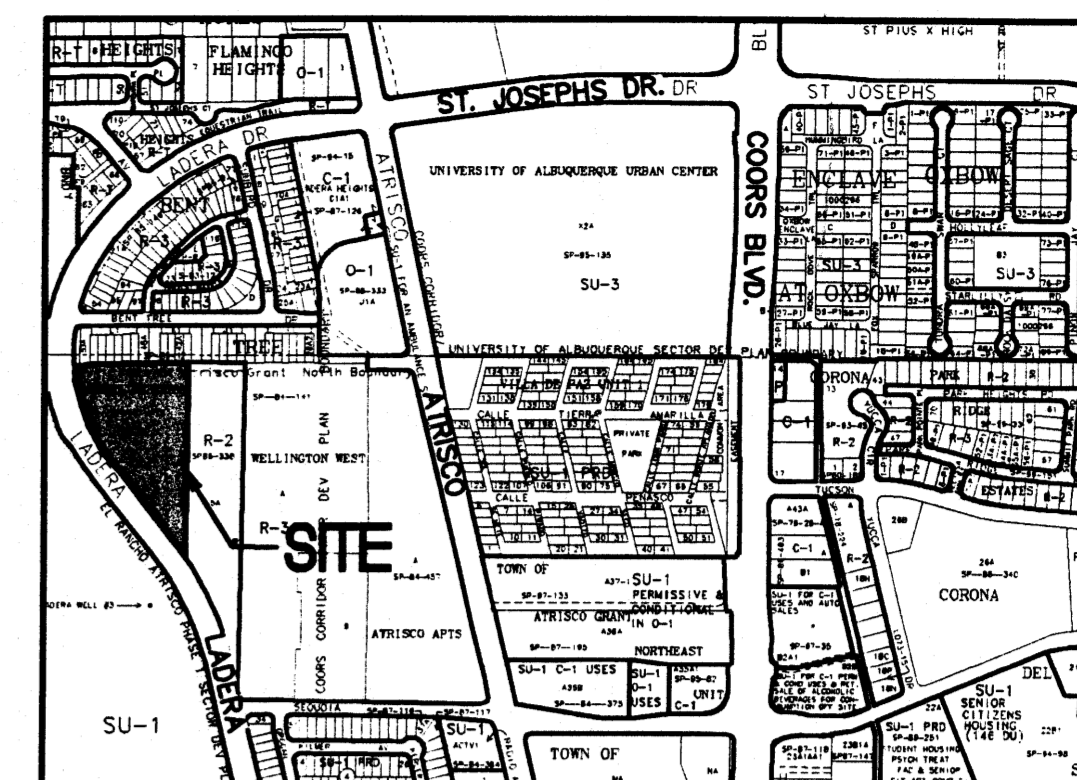




**GSL Properties**  
**Ladera Senior Housing**  
**Albuquerque, NM**



**VICINITY MAP #G-11**



**KEYED NOTES**

1. CONSTRUCT SITE ENTRANCE PER C.O.A. STD. DWG. 2426. SEE ARCHITECTURAL FOR ADD'L INFO. PROVIDE SMOOTH TRANSITION FROM 8" STANDARD CURB AND GUTTER AT STREET TO 6" MEDIAN CURB AND GUTTER ON-SITE.
2. CONSTRUCT ASPHALT PAVING AT ELEVATIONS SHOWN. SEE ARCHITECTURAL FOR PARKING LAYOUT, DIMENSIONS, AND STRIPING.
3. PAVING HIGH POINT.
4. PROVIDE 2' WIDE CURB OPENINGS TO ALLOW DRAINAGE TO PASS THROUGH MEDIAN.
5. DEPRESS CURB FOR 2' TO ALLOW RUNOFF TO ENTER LANDSCAPED AREA.
6. ROOF FLOWS FROM THE PROPOSED BUILDINGS TO BE RELEASED TO SEE ARCHITECTURAL PLANS.
7. CONTRACTOR TO CONSTRUCT / VERIFY FF ELEVATIONS AND GRADES PER PLAN TO ENSURE DRAINAGE PATTERNS ARE ACHIEVED PER DESIGN.
8. CONSTRUCT RETAINING WALLS AS SHOWN TO ACHIEVE GRADE DIFFERENCES. SEE RETAINING WALL DESIGN BY OTHERS.
9. CONSTRUCT 6" CONCRETE VALLEY GUTTER. PROVIDE 6" CURB OPENING (NORTH & SOUTH ENDS).
10. CONSTRUCT 12" SIDEWALK CULVERT PER COA STD DWG #2236.
11. CONSTRUCT 18" SIDEWALK CULVERT PER COA STD DWG #2236.

**LEGEND**

- EXISTING CONTOUR
- PROPOSED CONTOUR
- PROPOSED SPOT ELEVATION
- FLOW ARROW
- FINISH FLOOR ELEVATION
- SIDEWALK CULVERT
- TOP OF CURB ELEVATION
- FLOWLINE ELEVATION
- TOP OF WALL ELEVATION
- RETAINING WALL
- ROOF DRAIN DOWNSPOUT
- DRAINAGE SUB-BASIN BOUNDARY
- DRAINAGE SUB-BASIN

**NOTICE TO CONTRACTORS**

1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 765-1234, FOR LOCATION OF EXISTING UTILITIES.
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
5. BACK FILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

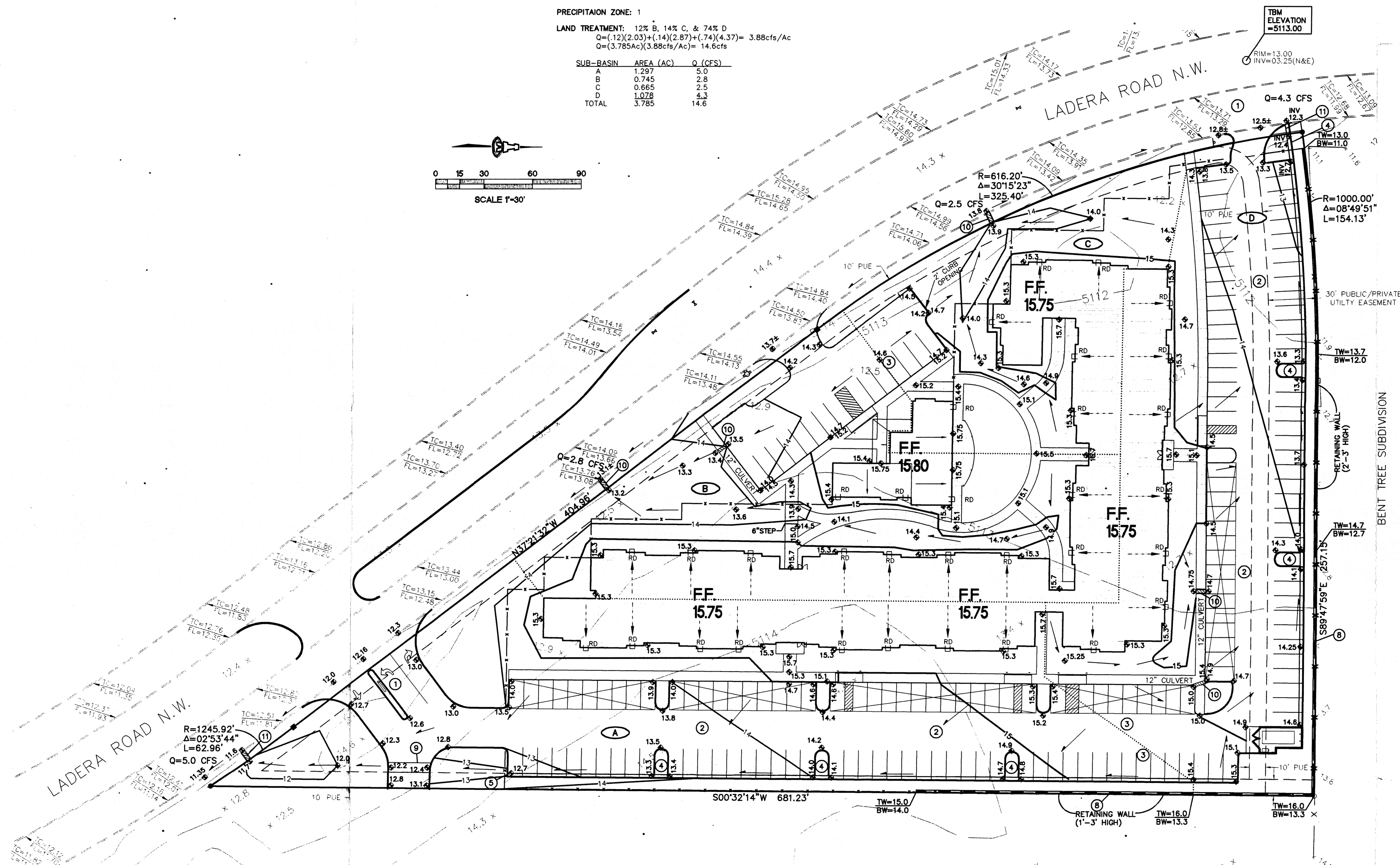
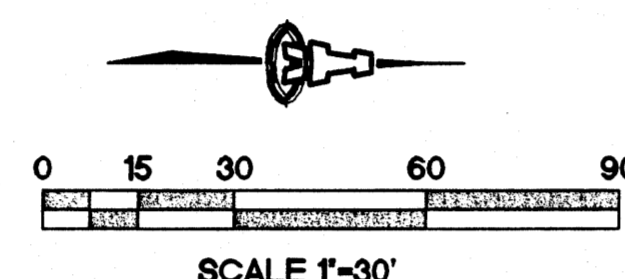
APPROVAL	NAME	DATE
INSPECTOR		

**ISAACSON & ARFMAN, P.A.**  
Consulting Engineering Associates  
128 Monroe Street N.E.  
Albuquerque, New Mexico 87108  
Ph. 505-268-8828 Fax. 505-268-2632  
14510RD.DWG/Thor 06/30/05

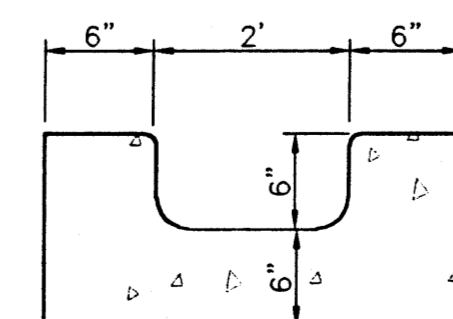
**LEGAL DESCRIPTION:** TRACT A-1, LADERA HEIGHTS  
**SURVEYOR:** ALDRICH LAND SURVEYING PREPARED THE TOPOGRAPHIC/ALTA SURVEY DATED JUNE 2005.  
**AREA:** 3.785 ACRES  
**BENCHMARK:** ACS BRASS CAP "6-G10" ELEVATION= 5111.87 (NGVD 29)  
**TBM:** CENTER OF EXISTING SANITARY SEWER MH RIM LOCATED WEST OF THE NW PROPERTY CORNER AS SHOWN. ELEVATION= 5113.00  
**EXISTING CONDITIONS:** THE SITE IS UNDEVELOPED AND SLOPES SLIGHTLY FROM THE CENTER BOTH TO THE NW CORNER AND SOUTHERN TIP. THE SITE IS BOUNDED ON THE WEST BY LADERA DRIVE, BY EXISTING RESIDENTIAL DEVELOPMENT TO THE NORTH, AND BY A VACANT TRACT TO THE EAST.  
 $Q = (3.785 \text{ AC})(1.29 \text{ cfs/AC}) = 4.9 \text{ cfs}$   
**FLOODPLAIN:** FEMA FLOOD PANELS 114 & 327 INDICATE THE SITE IS WITHIN ZONE "X" OUTSIDE THE 100-YEAR FLOODPLAIN.  
**PROPOSED CONDITIONS:** 114 APARTMENT UNITS ARE PROPOSED IN A 4-STORY BUILDING, WITH AN OFFICE/COMMONS BUILDING, ASSOCIATED PAVED PARKING, AND LANDSCAPING. DEVELOPED RUNOFF DISCHARGES TO LADERA DRIVE NW AT FOUR LOCATIONS VIA SIDEWALK CULVERTS. TOTAL DISCHARGE TO LADERA DRIVE IS THEN 6.8cfs (NORTH) AND 7.8cfs (SOUTH) WHICH CAN BE CONVEYED BY THE STREET TO THE EXISTING STORM DRAIN SYSTEM.

**PRECIPITATION ZONE:** 1  
**LAND TREATMENT:** 12% B, 14% C, & 74% D  
 $Q = (.12)(2.03) + (.14)(2.87) + (.74)(4.37) = 3.88 \text{ cfs/AC}$   
 $Q = (3.785 \text{ AC})(3.88 \text{ cfs/AC}) = 14.6 \text{ cfs}$

SUB-BASIN	AREA (AC)	Q (CFS)
A	1.297	5.0
B	0.745	2.8
C	0.665	2.5
D	1.078	4.3
TOTAL	3.785	14.6



TRACT 5-A  
TOWN OF ATRISCO GRANT

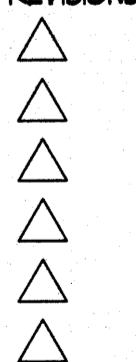
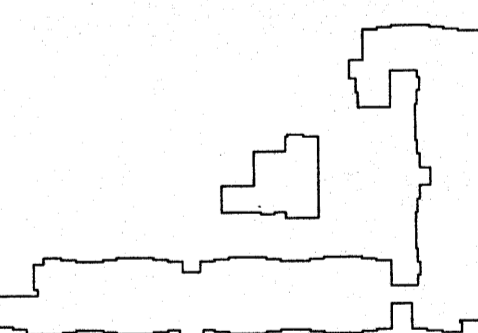


**CURB OPENING DETAIL**

**MANNING EQUATION:**  
 $Q = 1.49 A R^{2/3} S^{1/2}$   
2' WIDTH:  $Q = 8.4 \text{ CFS}$   
1.5' WIDTH:  $Q = 5.9 \text{ CFS}$   
1' WIDTH:  $Q = 3.5 \text{ CFS}$



**GSL Properties**  
**Ladera Senior Housing**  
3704 Ladera Road NW  
Albuquerque, NM



DRAWN BY: JS  
REVIEWED BY: DPA/VM  
DATE: 12.08.05  
PROJECT NO.: C5045  
DRAWING NAME:

TRAFFIC CIRCULATION  
LAYOUT FOR  
BUILDING PERMIT

**KEYED NOTES**

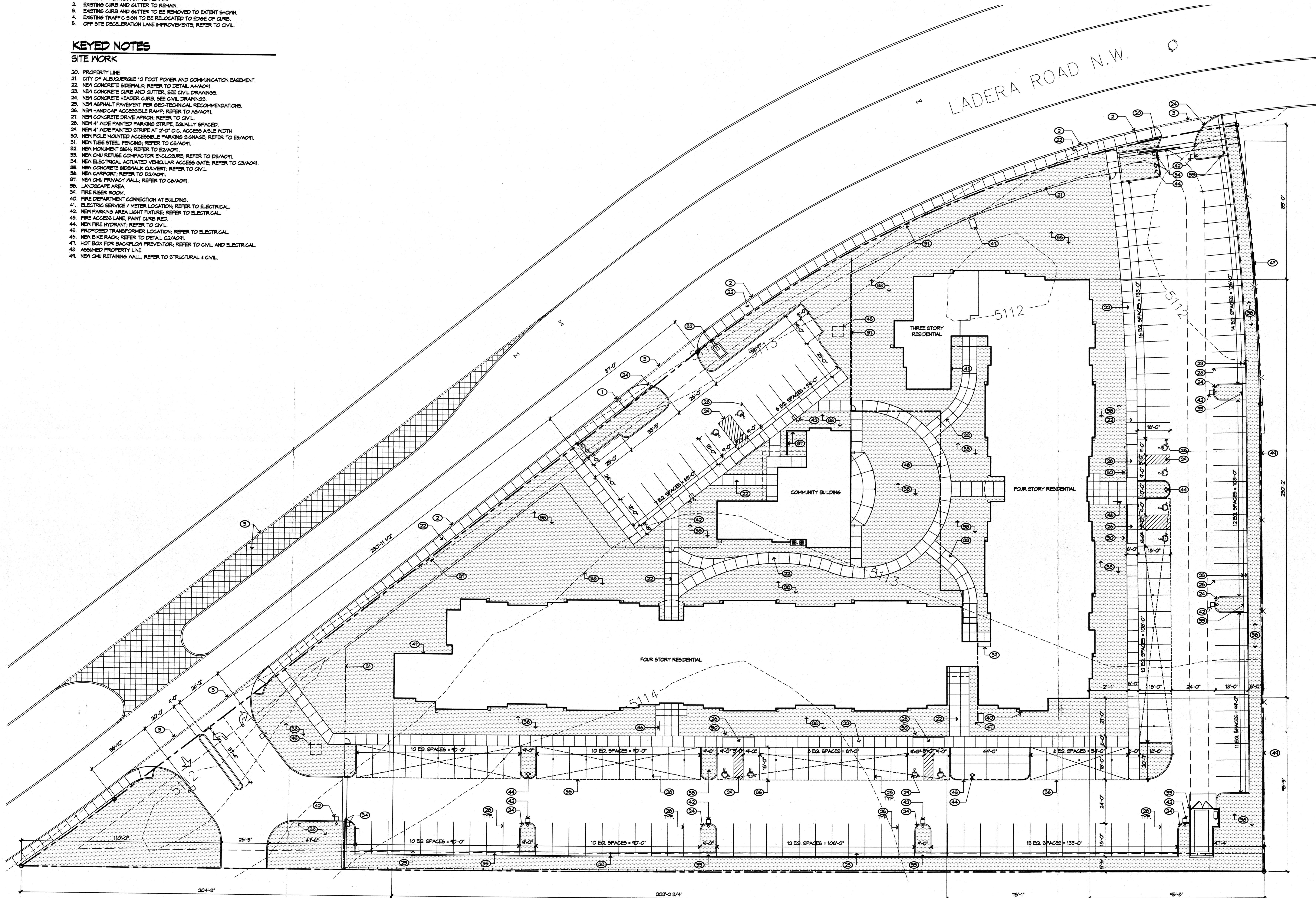
**EXISTING / DEMOLITION**

- EXISTING FIRE HYDRANT TO REMAIN.
- EXISTING CURB AND GUTTER TO REMAIN.
- EXISTING CURB AND GUTTER TO BE REMOVED TO EXTENT SHOWN.
- EXISTING TRAFFIC SIGN TO BE RELOCATED TO EDGE OF CURB.
- OFF SITE DECELERATION LANE IMPROVEMENTS; REFER TO CIVIL.

**KEYED NOTES**

**SITE WORK**

- PROPERTY LINE
- CITY OF ALBUQUERQUE 10 FOOT POWER AND COMMUNICATION EASEMENT.
- NEW CONCRETE SIDEWALK; REFER TO DETAIL A4/A041.
- NEW CONCRETE CURB AND GUTTER; SEE CIVIL DRAWINGS.
- NEW CONCRETE HEADER CURB; SEE CIVIL DRAWINGS.
- NEW ASPHALT PAVEMENT PER GEO-TECHNICAL RECOMMENDATIONS.
- NEW HANDICAP ACCESSIBLE RAMP; REFER TO A5/A041.
- NEW CONCRETE DRIVE APRON; REFER TO CIVIL.
- NEW 4" WIDE PAINTED PARKING STRIPE, EQUALLY SPACED.
- NEW 4" WIDE PAINTED STRIPE AT 2'-0" O.C. ACCESS AISLE WIDTH.
- NEW POLE MOUNTED ACCESSIBLE PARKING SIGNAGE; REFER TO E5/A041.
- NEW TUBE STEEL FENCING; REFER TO C5/A041.
- NEW MONUMENT SIGN; REFER TO E5/A041.
- NEW CMU REFUSE COMPACTOR ENCLOSURE; REFER TO D5/A041.
- NEW ELECTRICAL ACTUATED VEHICULAR ACCESS GATE; REFER TO C5/A041.
- NEW CONCRETE SIDEWALK CULVERT; REFER TO CIVIL.
- NEW GARPORT; REFER TO D2/A041.
- NEW CMU PRIVACY WALL; REFER TO C6/A041.
- LANDSCAPE AREA.
- FIRE RISER ROOM.
- FIRE DEPARTMENT CONNECTION AT BUILDING.
- ELECTRIC SERVICE / METER LOCATION; REFER TO ELECTRICAL.
- NEW PARKING AREA LIGHT FIXTURE; REFER TO ELECTRICAL.
- FIRE ACCESS LANE, PAINT CURB RED.
- NEW FIRE HYDRANT; REFER TO CIVIL.
- PROPOSED TRANSFORMER LOCATION; REFER TO ELECTRICAL.
- NEW BIKE RACK; REFER TO DETAIL C2/A041.
- HOT BOX FOR BACKFLOW PREVENTOR; REFER TO CIVIL AND ELECTRICAL.
- ASSUMED PROPERTY LINE.
- NEW CMU RETAINING WALL; REFER TO STRUCTURAL & CIVIL.



# KEYED NOTES

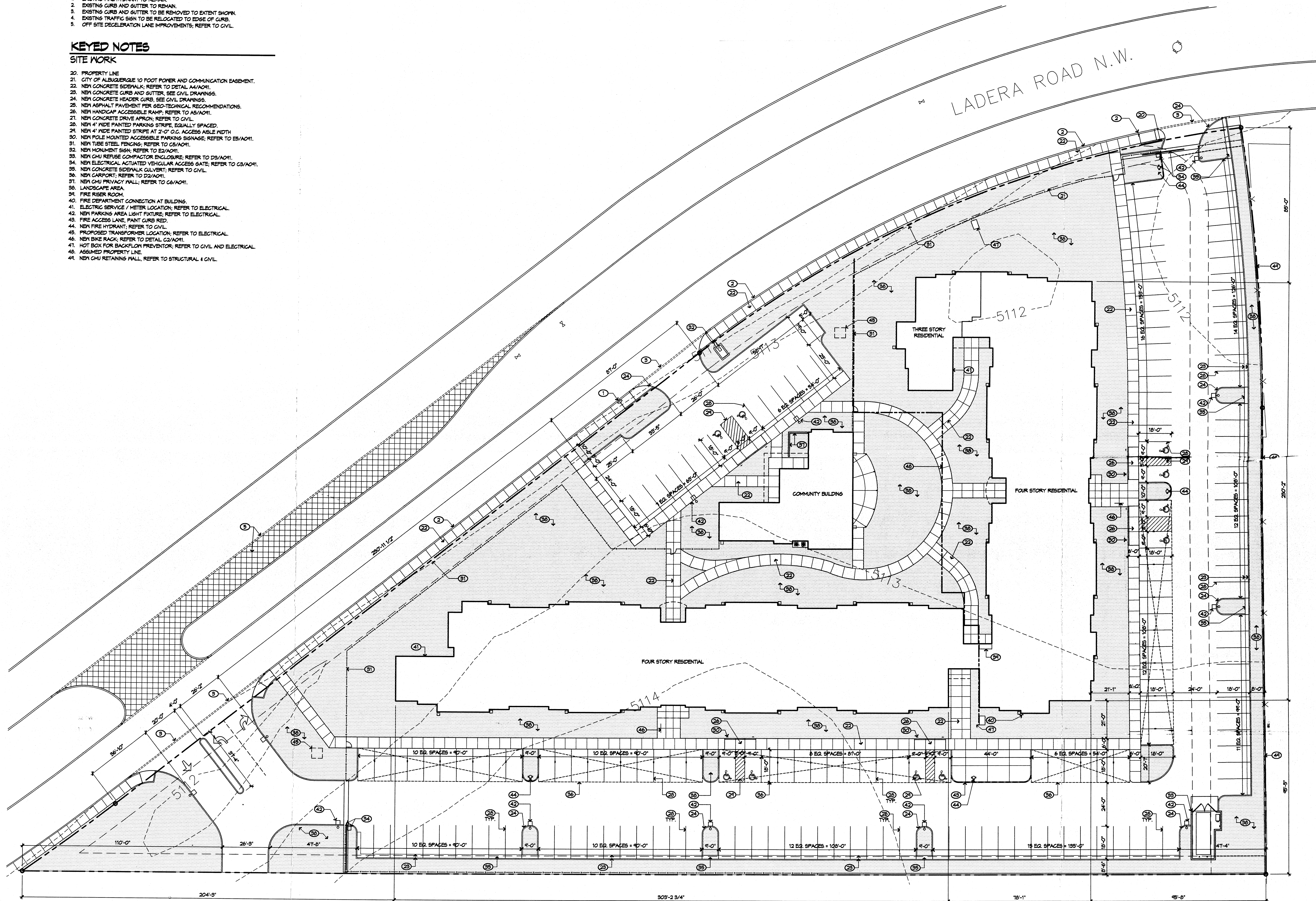
## EXISTING / DEMOLITION

- EXISTING FIRE HYDRANT TO REMAIN.
- EXISTING CURB AND GUTTER TO REMAIN.
- EXISTING CURB AND GUTTER TO BE REMOVED TO EXTENT SHOWN.
- EXISTING TRAFFIC SIGN TO BE RELOCATED TO EDGE OF CURB.
- OFF SITE DECELERATION LANE IMPROVEMENTS; REFER TO CIVIL.

# KEYED NOTES

## SITE WORK

- PROPERTY LINE
- CITY OF ALBUQUERQUE 10 FOOT POWER AND COMMUNICATION EASEMENT.
- NEW CONCRETE SIDEWALK; REFER TO DETAIL A4/A011.
- NEW CONCRETE CURB AND GUTTER; SEE CIVIL DRAWINGS.
- NEW CONCRETE HEADWALL CURB; SEE CIVIL DRAWINGS.
- NEW ASPHALT PAVEMENT PER GEO-TECHNICAL RECOMMENDATIONS.
- NEW HANDICAP ACCESSIBLE RAMP; REFER TO A5/A011.
- NEW CONCRETE DRIVE APRON; REFER TO CIVIL.
- NEW 4' WIDE PAINTED PARKING STRIPE, EQUALLY SPACED.
- NEW 4' WIDE PAINTED STRIPE AT 2'-0" O.C. ACCESS AISLE WIDTH.
- NEW POLE MOUNTED ACCESSIBLE PARKING SIGNAGE; REFER TO E5/A011.
- NEW TUBE STEEL FENCING; REFER TO C5/A011.
- NEW MONUMENT SIGN; REFER TO E2/A011.
- NEW CHU REFUSE COMPACTOR ENCLOSURE; REFER TO D5/A011.
- NEW ELECTRICAL ACTUATED VEHICULAR ACCESS GATE; REFER TO C3/A011.
- NEW CONCRETE SIDEWALK CULVERT; REFER TO CIVIL.
- NEW CARPORT; REFER TO D2/A011.
- NEW CHU PRIVACY WALL; REFER TO C6/A011.
- LANDSCAPE AREA.
- FIRE RISER ROOM.
- FIRE DEPARTMENT CONNECTION AT BUILDING.
- ELECTRIC SERVICE / METER LOCATION; REFER TO ELECTRICAL.
- NEW PARKING AREA LIGHT FIXTURE; REFER TO ELECTRICAL.
- FIRE ACCESS LANE, PAINT CURB RED.
- NEW FIRE HYDRANT; REFER TO CIVIL.
- PROPOSED TRANSFORMER LOCATION; REFER TO ELECTRICAL.
- NEW BIKE RACK; REFER TO DETAIL C2/A011.
- HOT BOX FOR BACKFLOW PREVENTOR; REFER TO CIVIL AND ELECTRICAL.
- ASSUMED PROPERTY LINE.
- NEW CHU RETAINING WALL; REFER TO STRUCTURAL & CIVIL.

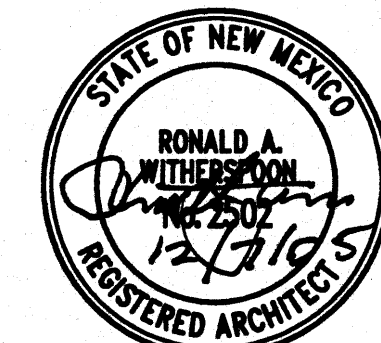


E2 SITE PLAN

1" = 20'-0"



ARCHITECT



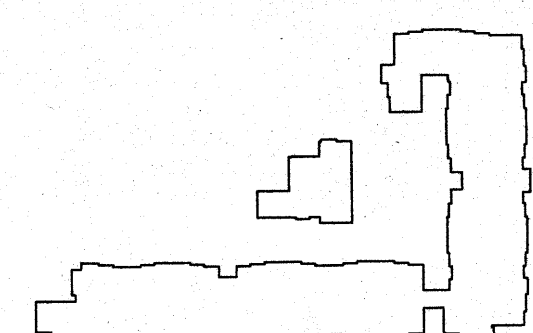
ENGINEER

ISSUED FOR  
PERMIT

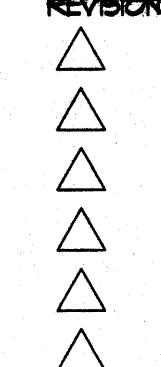
PROJECT

**GSL Properties**  
**Ladera Senior Housing**  
**3704 Ladera Road NW**  
**Albuquerque, NM**

KEY PLAN



REVISIONS

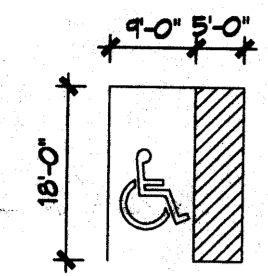


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REVIEWED BY: DWR/RA  
DATE: 12.08.05  
PROJECT NO.: 05045  
DRAWING NAME:

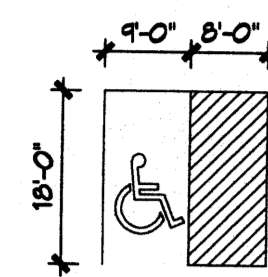
TRAFFIC CIRCULATION  
LAYOUT FOR  
BUILDING PERMIT

SHEET NO.

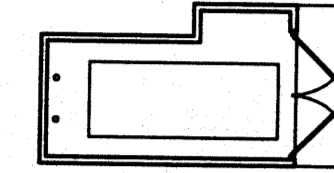
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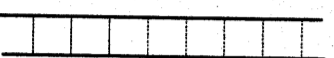
Accessible Parking Space for Car; 5'-0" Access Aisle; White Int'l HC Symbol; 4' solid spaced striping spaced at 45°; sloped 1% to 2%



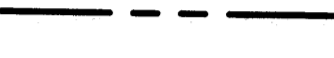
Accessible Parking Space for Van; 8'-0" Access Aisle; White Int'l HC Symbol; 4' solid spaced striping spaced at 45°; sloped 1% to 2%



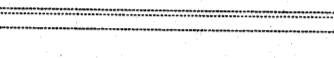
Compactor (truck access req.)



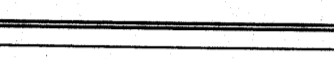
Proposed Sidewalk, typ.



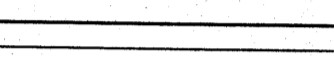
Property Boundary



Demo



Existing



New Standard Concrete Curb & Gutter per COA std. det. 2415A



New Mountable Concrete Curb & Gutter per COA std. det. 2415A



New Concrete Header Curb per COA std. det. 2415B



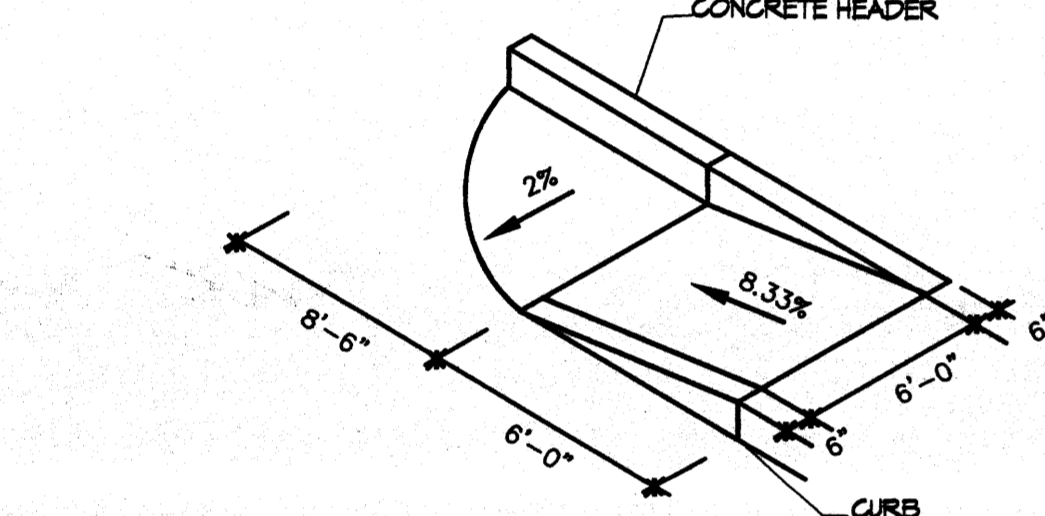
Fire Lane - Paint curb red



New Fire Hydrant

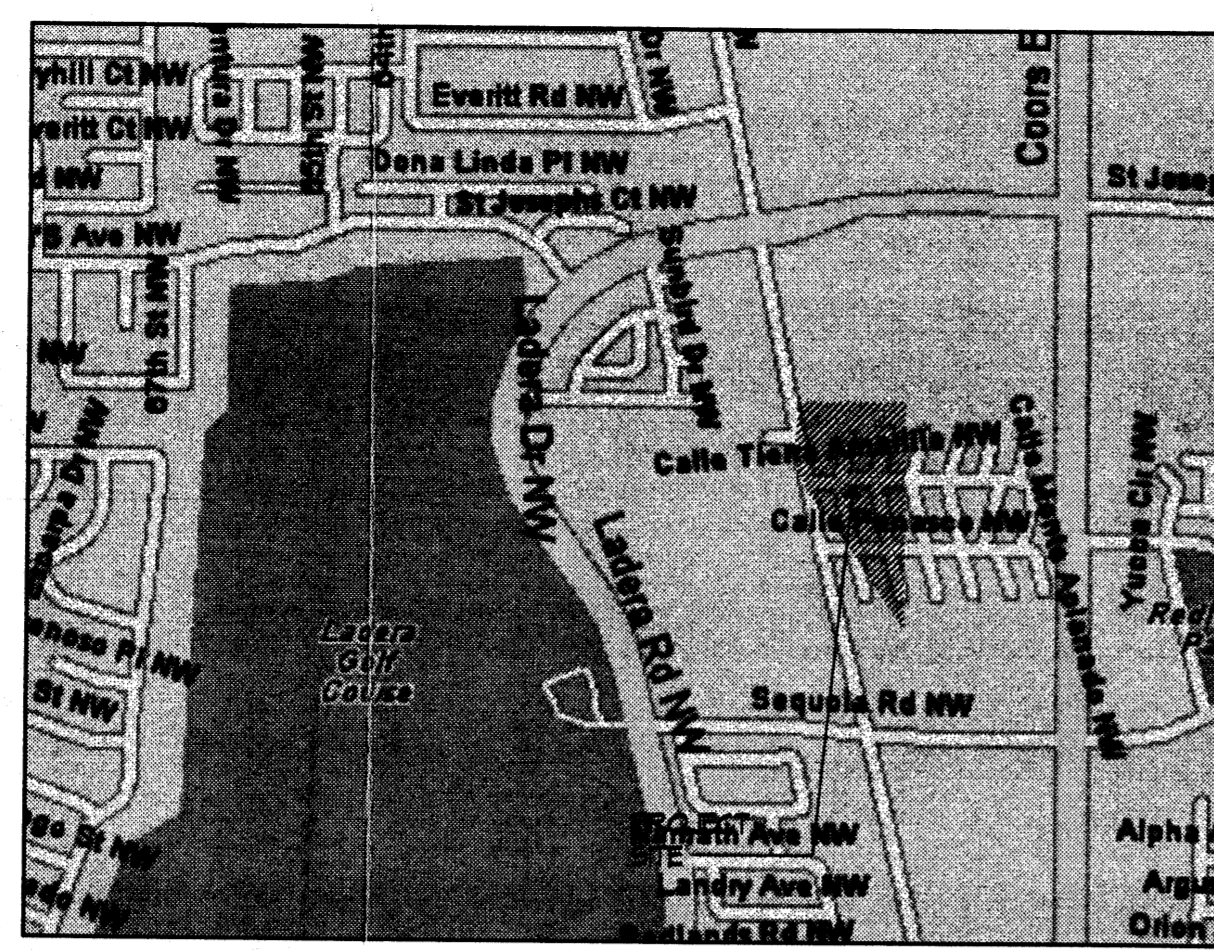


Direction of Traffic Flow



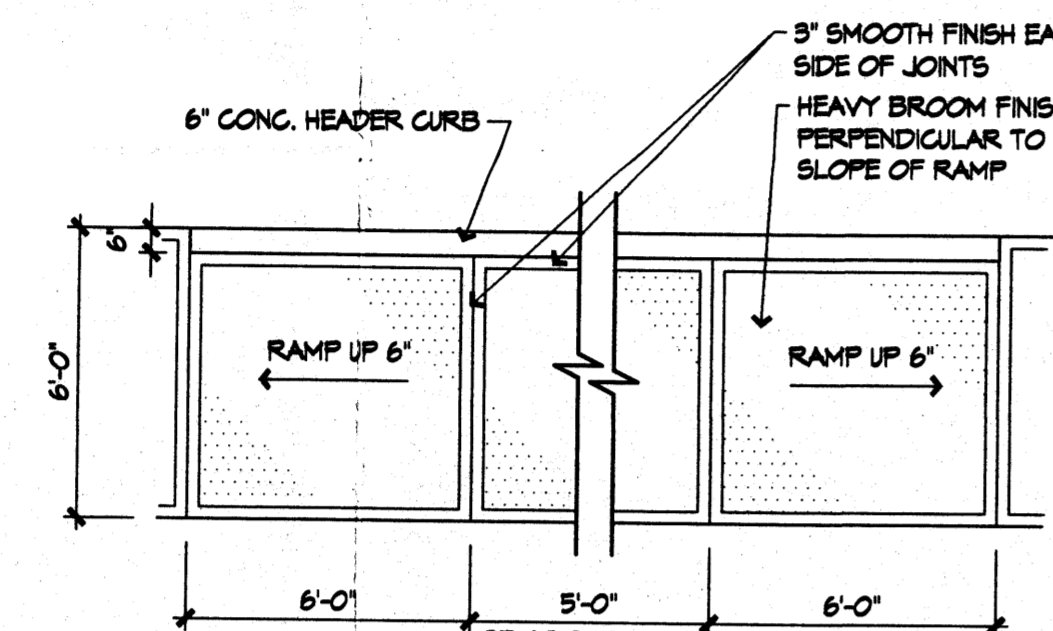
2 DIRECTIONAL HANDICAP RAMP

NTS



VICINITY MAP

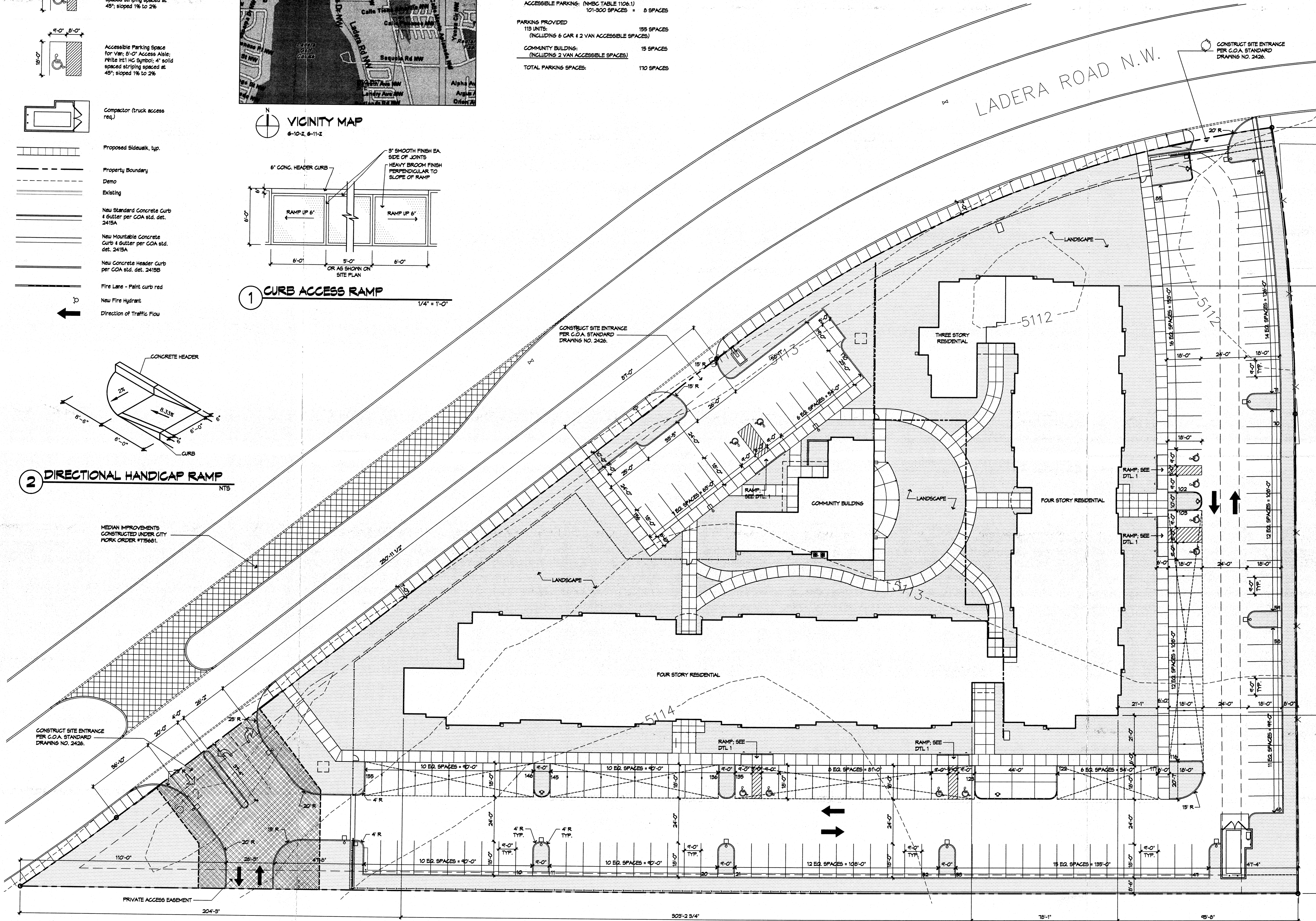
6-10-Z, 6-11-Z



1 CURB ACCESS RAMP

1/4" = 1'-0"

PARKING REQUIREMENTS:  
TOTAL PARKING REQUIRED:  
113 UNITS @ 1.5 SPACES EACH: 170 SPACES  
COMMUNITY BUILDING:  
NO PARKING REQUIRED  
(PER COA ZONING DEPARTMENT 2/16/05.)  
PARKING REDUCTION (SEC. 14-16-3-1, (6)(A)(1))  
10% X 170 = 17 SPACES  
TOTAL NUMBER OF SPACES REQUIRED: 153 SPACES  
ACCESSIBLE PARKING: (NMBC TABLE 1106.1)  
101-300 SPACES = 6 SPACES  
PARKING PROVIDED  
113 UNITS: 155 SPACES  
(INCLUDING 6 CAR & 2 VAN ACCESSIBLE SPACES)  
COMMUNITY BUILDING:  
(INCLUDING 2 VAN ACCESSIBLE SPACES) 15 SPACES  
TOTAL PARKING SPACES: 170 SPACES

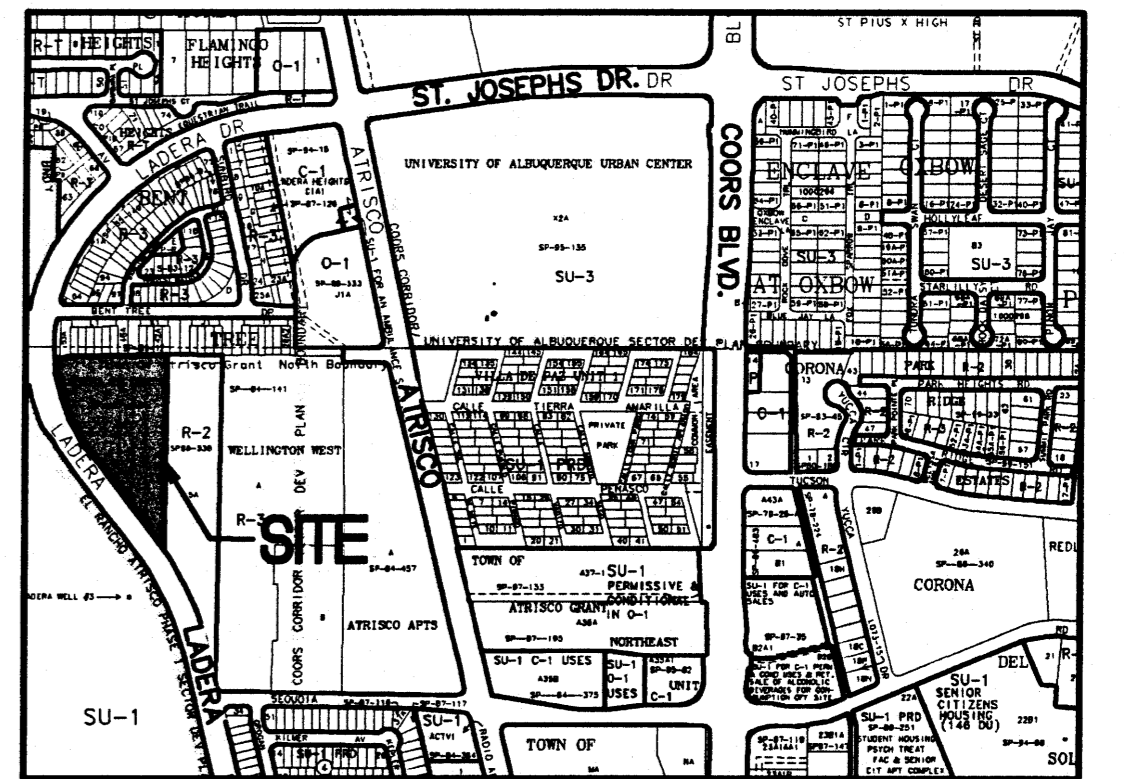


E2 SITE PLAN

1" = 20'-0"



**VICINITY MAP #G-11**



**KEYED NOTES**

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2. CONSTRUCT ASPHALT PAVING AT ELEVATIONS SHOWN. SEE ARCHITECTURAL FOR PARKING LAYOUT, DIMENSIONS, AND STRIPING.
3. PAVING HIGH POINT.
4. PROVIDE 18" WIDE CURB OPENINGS TO ALLOW DRAINAGE TO PASS THROUGH MEDIAN.
5. DEPRESS CURB FOR 2' TO ALLOW RUNOFF TO ENTER LANDSCAPED AREA.
6. ROOF FLOWS FROM THE PROPOSED BUILDINGS TO BE RELEASED TO SEE ARCHITECTURAL PLANS.
7. CONTRACTOR TO CONSTRUCT / VERIFY FF ELEVATIONS AND GRADES PER PLAN TO ENSURE DRAINAGE PATTERNS ARE ACHIEVED PER DESIGN.
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10. 12" SIDEWALK CULVERT PER COA STD DWG #2236.
11. 18" SIDEWALK CULVERT PER COA STD DWG #2236.
12. TWO 18" SIDEWALK CULVERT PER COA STD DWG #2236.

**LEGEND**

- EXISTING CONTOUR
- PROPOSED CONTOUR
- PROPOSED SPOT ELEVATION
- FLOW ARROW
- FINISH FLOOR ELEVATION
- SIDEWALK CULVERT
- TOP OF CURB ELEVATION
- FLOWLINE ELEVATION
- TOP OF WALL ELEVATION
- BOTTOM OF WALL ELEVATION
- RETAINING WALL
- ROOF DRAIN DOWNSPOUT
- DRAINAGE SUB-BASIN BOUNDARY
- DRAINAGE SUB-BASIN

LEGAL DESCRIPTION: TRACT A-1, LADERA HEIGHTS

SURVEYOR: ALDRICH LAND SURVEYING PREPARED THE TOPOGRAPHIC/ALTA SURVEY DATED JUNE 2005.

AREA: 3.785 ACRES

BENCHMARK: ACS BRASS CAP "6-G10"  
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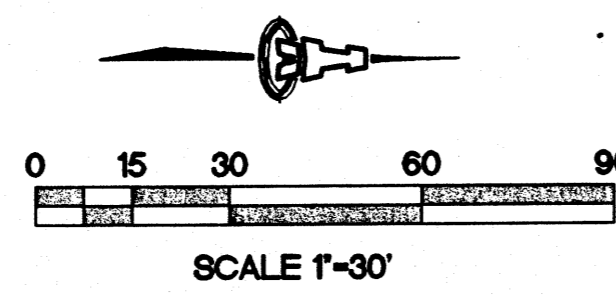
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PRECIPITATION ZONE: 1

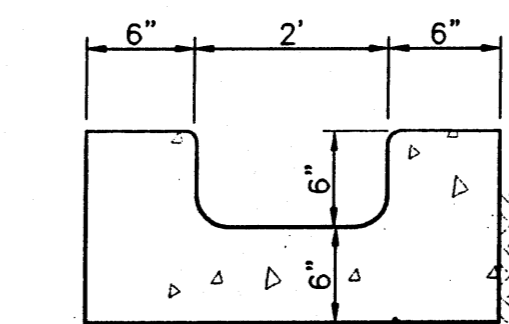
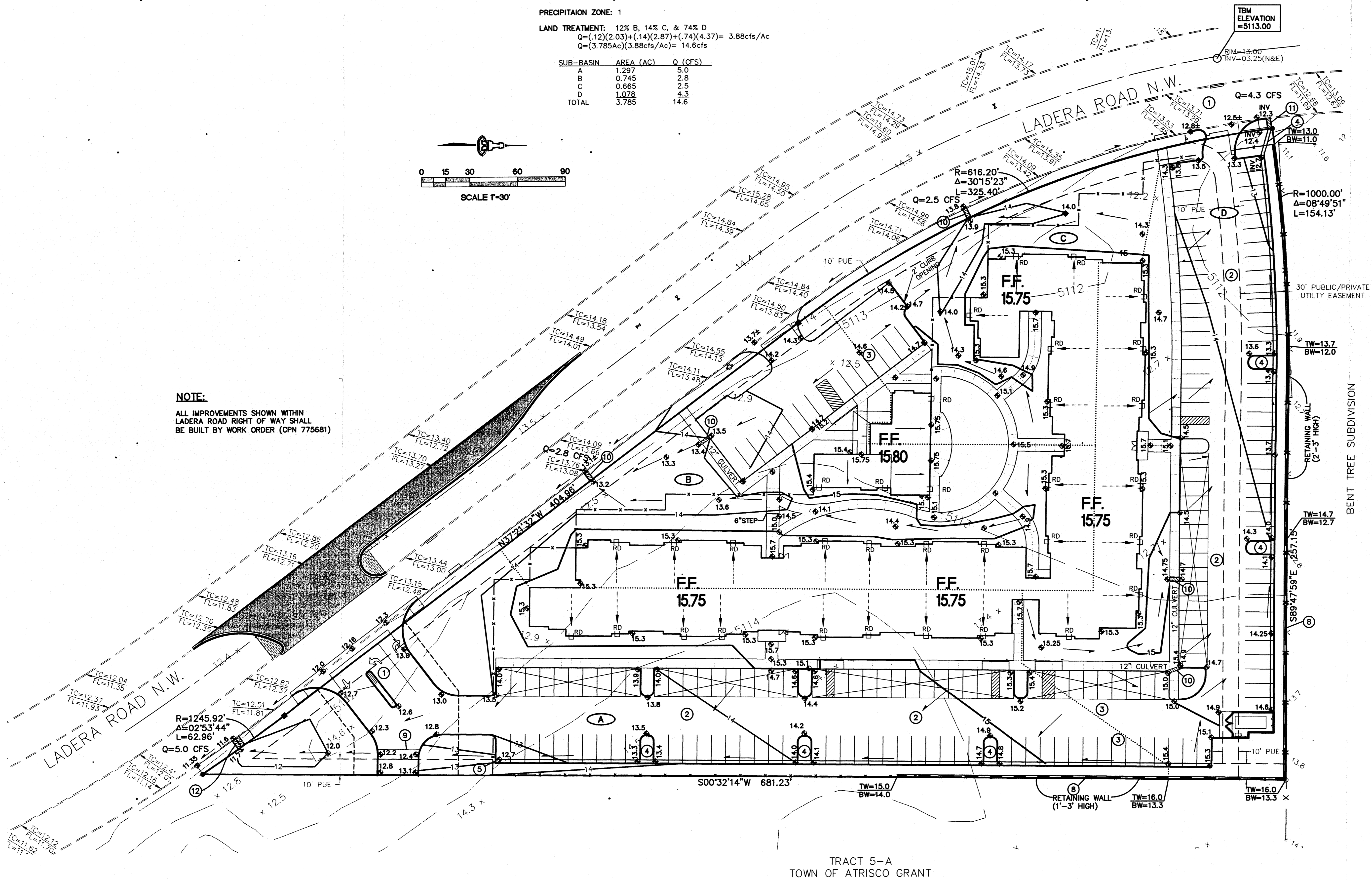
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 $Q = (3.785 \text{ AC})(3.88 \text{ cfs/AC}) = 14.6 \text{ cfs}$

SUB-BASIN	AREA (AC)	Q (CFS)
A	1.297	5.0
B	0.745	2.8
C	0.665	2.5
D	1.078	4.3
TOTAL	3.785	14.6



**NOTE:**

ALL IMPROVEMENTS SHOWN WITHIN LADERA ROAD RIGHT-OF-WAY SHALL BE BUILT BY WORK ORDER (CPN 775681)

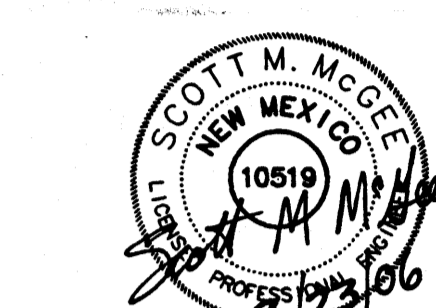


**CURB OPENING DETAIL**

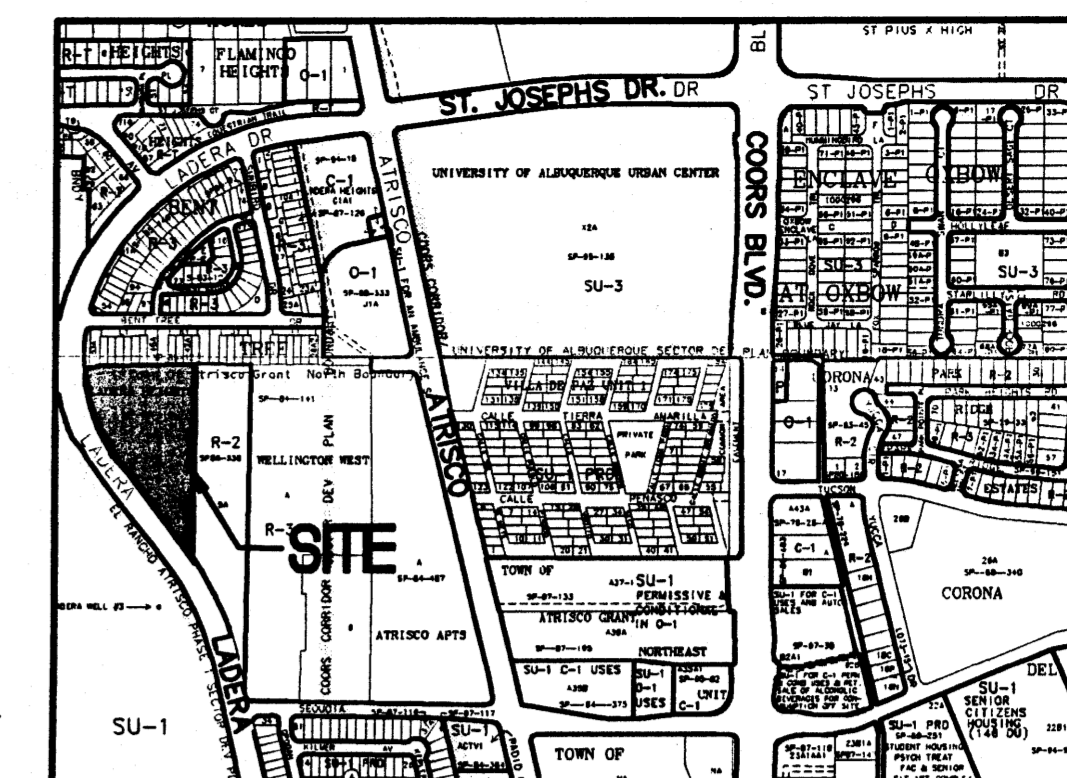
MANNING EQUATION:  
 $Q = \frac{1.49}{n} A R^{2/3} S^{1/2}$   
2' WIDTH:  $Q = 8.4 \text{ CFS}$   
1.5' WIDTH:  $Q = 5.9 \text{ CFS}$   
1' WIDTH:  $Q = 3.5 \text{ CFS}$

**ISAACSON & ARFMAN, P.A.**  
Consulting Engineering Associates  
128 Monroe Street N.E.  
Albuquerque, New Mexico 87108  
Ph. 505-268-8828 Fax 505-268-2632  
1451GRD.DWG0108 06.30.05





**VICINITY MAP #G-11**



**KEYED NOTES**

1. CONSTRUCT SITE ENTRANCE PER C.O.A. STD. DWG. 2426. SEE ARCHITECTURAL FOR ADD'L INFO. PROVIDE SMOOTH TRANSITION FROM 8" STANDARD CURB AND GUTTER AT STREET TO 6" MEDIAN CURB AND GUTTER ON-SITE.
2. CONSTRUCT ASPHALT PAVING AT ELEVATIONS SHOWN. SEE ARCHITECTURAL FOR PAVING LAYOUT, DIMENSIONS, AND STRIPING.
3. PAVING HIGH POINT.
4. PROVIDE 18" WIDE CURB OPENINGS TO ALLOW DRAINAGE TO PASS THROUGH MEDIAN.
5. DEPRESS CURB FOR 2' TO ALLOW RUNOFF TO ENTER LANDSCAPED AREA.
6. ROOF FLOWS FROM THE PROPOSED BUILDINGS TO BE RELEASED TO. SEE ARCHITECTURAL PLANS.
7. CONTRACTOR TO CONSTRUCT / VERIFY FF ELEVATIONS AND GRADES PER PLAN TO ENSURE DRAINAGE PATTERNS ARE ACHIEVED PER DESIGN.
8. CONSTRUCT RETAINING WALLS AS SHOWN TO ACHIEVE GRADE DIFFERENCES. SEE RETAINING WALL DESIGN BY OTHERS.
9. CONSTRUCT 6" CONCRETE VALLEY GUTTER. PROVIDE 6" CURB OPENING (NORTH & SOUTH ENDS).
10. 12" SIDEWALK CULVERT PER COA STD DWG #2238.
11. 18" SIDEWALK CULVERT PER COA STD DWG #2238.
12. TWO 18" SIDEWALK CULVERT PER COA STD DWG #2238.

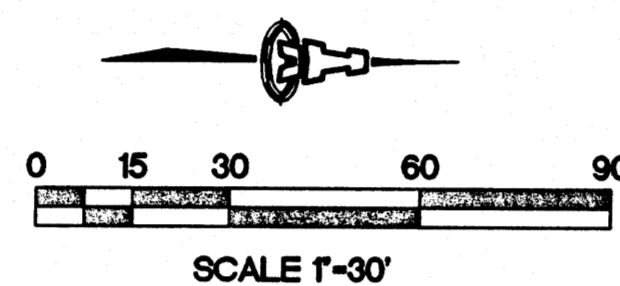
**LEGEND**

- EXISTING CONTOUR
- PROPOSED CONTOUR
- PROPOSED SPOT ELEVATION
- FLOW ARROW
- FINISH FLOOR ELEVATION
- SIDEWALK CULVERT
- TOP OF CURB ELEVATION
- FLOWLINE
- TOP OF WALL ELEVATION
- BOTTOM OF WALL ELEVATION
- RETAINING WALL
- ROOF DRAIN DOWNSPOUT
- DRAINAGE SUB-BASIN BOUNDARY
- DRAINAGE SUB-BASIN
- AS-BUILT ELEVATION

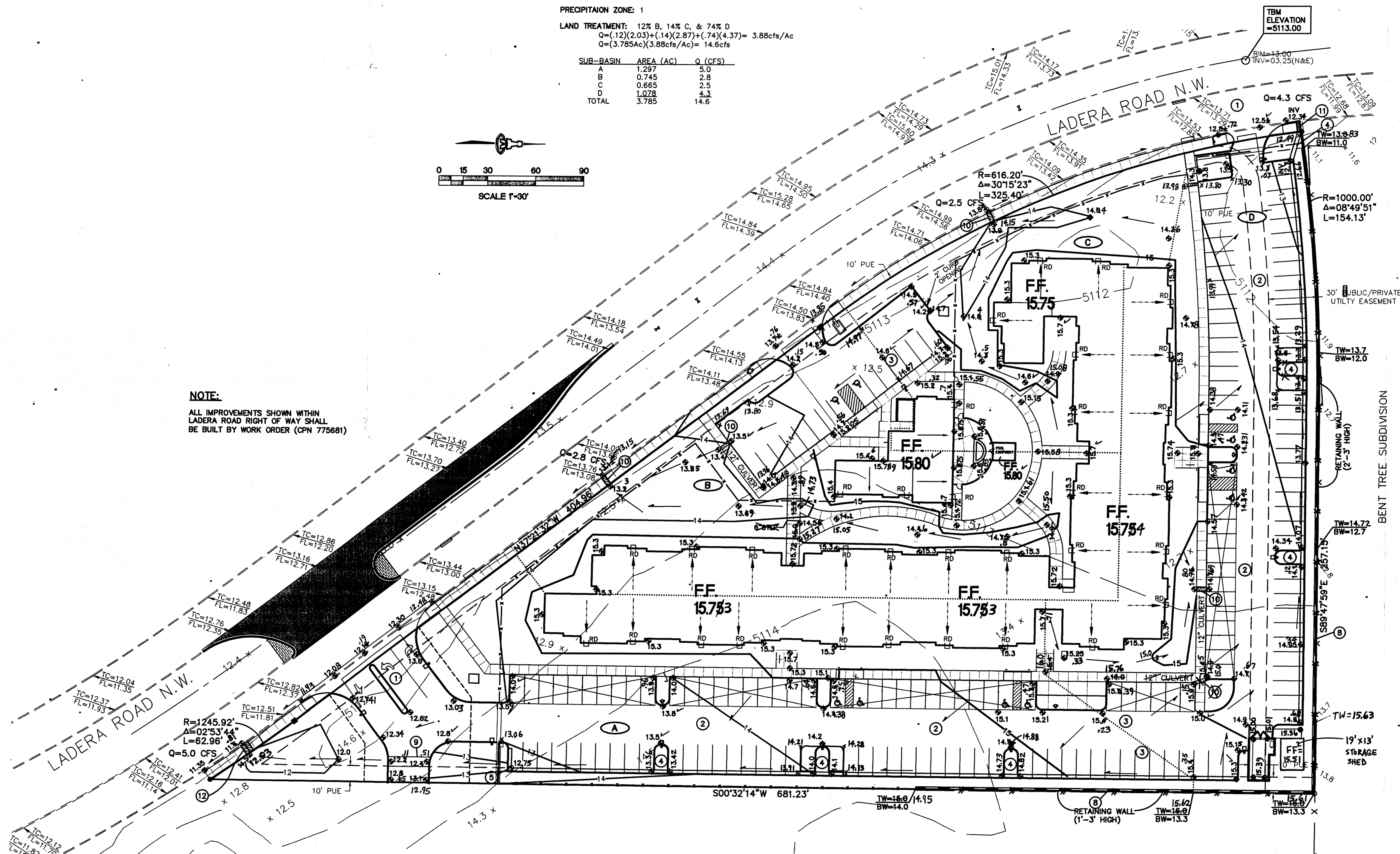
**LEGAL DESCRIPTION:** TRACT A-1, LADERA HEIGHTS  
**SURVEYOR:** ALDRICH LAND SURVEYING PREPARED THE TOPOGRAPHIC/ALTA SURVEY DATED JUNE 2005.  
**AREA:** 3.785 ACRES  
**BENCHMARK:** ACS BRASS CAP "6-G10" ELEVATION= 5111.87 (NGVD 29)  
**TBM:** CENTER OF EXISTING SANITARY SEWER MH RIM LOCATED WEST OF THE NW PROPERTY CORNER AS SHOWN. ELEVATION= 5113.00  
**EXISTING CONDITIONS:** THE SITE IS UNDEVELOPED AND SLOPES SLIGHTLY FROM THE CENTER BOTH TO THE NW CORNER AND SOUTHERN TIP. THE SITE IS BOUNDED ON THE WEST BY LADERA DRIVE, BY EXISTING RESIDENTIAL DEVELOPMENT TO THE NORTH, AND BY A VACANT TRACT TO THE EAST.  
 $Q = (3.785 \text{ Ac})(1.29 \text{ cfs/Ac}) = 4.9 \text{ cfs}$   
**FLOODPLAIN:** FEMA FLOOD PANELS 114 & 327 INDICATE THE SITE IS WITHIN ZONE "X" OUTSIDE THE 100-YEAR FLOODPLAIN.  
**PROPOSED CONDITIONS:** 114 APARTMENT UNITS ARE PROPOSED IN A 4-STORY BUILDING, WITH AN OFFICE/COMMONS BUILDING, ASSOCIATED PAVED PARKING, AND LANDSCAPING. DEVELOPED RUNOFF DISCHARGES TO LADERA DRIVE NW AT FOUR LOCATIONS VIA SIDEWALK CULVERTS. TOTAL DISCHARGE TO LADERA DRIVE IS THEN 6.8cfs (NORTH) AND 7.8cfs (SOUTH) WHICH CAN BE CONVEYED BY THE STREET TO THE EXISTING STORM DRAIN SYSTEM.

**PRECIPITATION ZONE:** 1  
**LAND TREATMENT:** 12% B, 14% C, & 74% D  
 $Q = (.12)(2.03) + (.14)(2.87) + (.74)(4.37) = 3.88 \text{ cfs/Ac}$   
 $Q = (3.785 \text{ Ac})(3.88 \text{ cfs/Ac}) = 14.6 \text{ cfs}$

SUB-BASIN	AREA (AC)	Q (CFS)
A	1.297	5.0
B	0.745	2.9
C	0.665	2.5
D	1.078	4.3
<b>TOTAL</b>	<b>3.785</b>	<b>14.6</b>



**NOTE:**  
ALL IMPROVEMENTS SHOWN WITHIN LADERA ROAD RIGHT OF WAY SHALL BE BUILT BY WORK ORDER (CPN 775681)

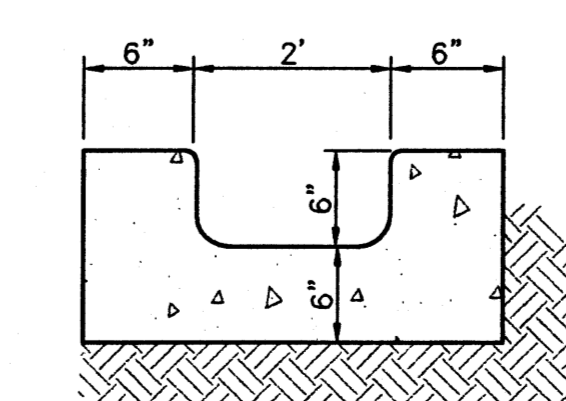


**TRACT 5-A  
TOWN OF ATRISCO GRANT  
DRAINAGE CERTIFICATION**

I, Scott M. McGee, NMPE 10519, of the firm Isaacson & Arfman, P.A., hereby certify that this project has been graded and will drain in substantial compliance with and in accordance with the design intent of the approved plan dated February 23, 2006. The record information edited onto the original design document has been obtained by Stephen E. Walker, NMPS 6401, of the firm Walker Surveying Company. I further certify that I have personally visited the project site on 03/12/06 and have determined by visual inspection that the survey data provided is representative of actual site conditions and is true and correct to the best of my knowledge and belief. This certification is submitted in support of a request for Certificate of Occupancy.

The record information presented hereon is not necessarily complete and intended only to verify substantial compliance of the grading and drainage aspects of this project. Those relying on this record document are advised to obtain independent verification of its accuracy before using it for any other purpose.

*Scott M. McGee* 4/2/07  
Scott M. McGee, PE NMPE 10519

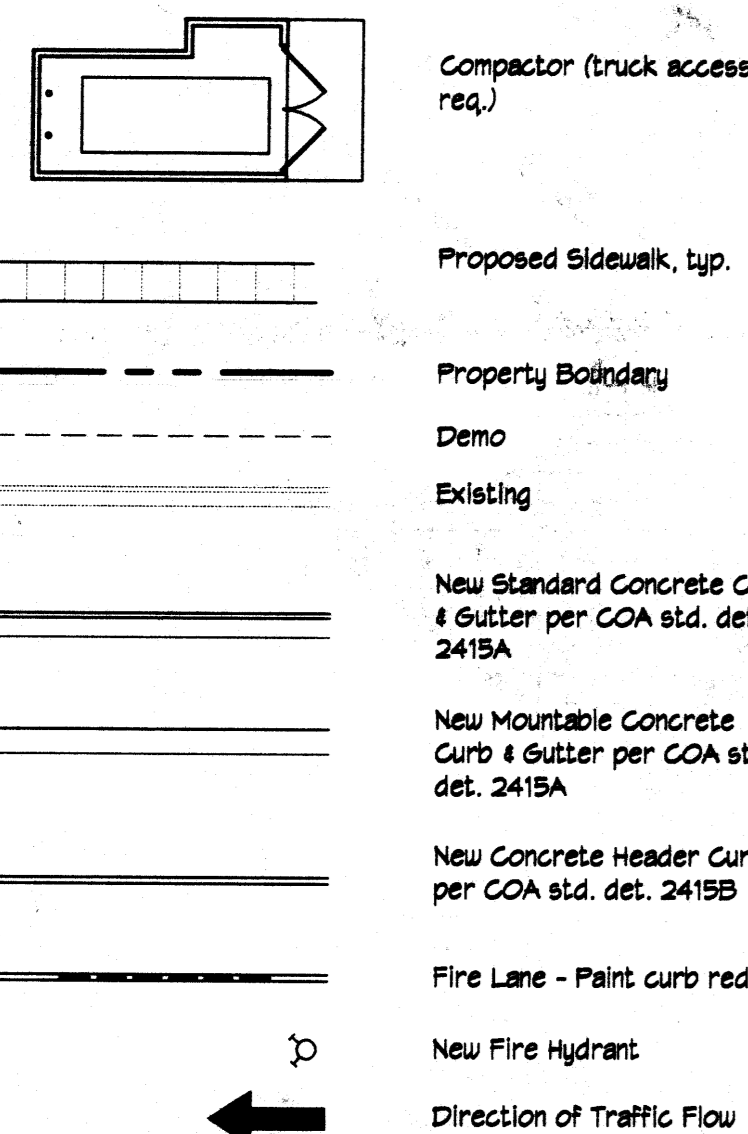
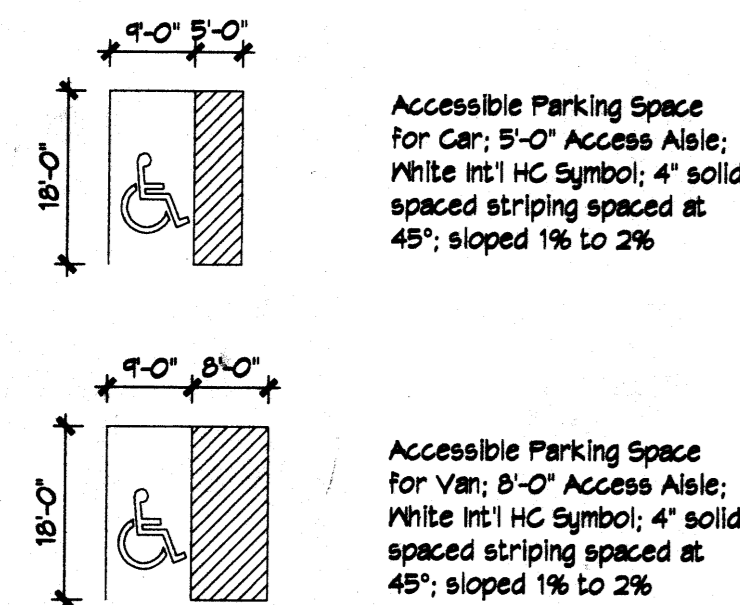


**CURB OPENING DETAIL**

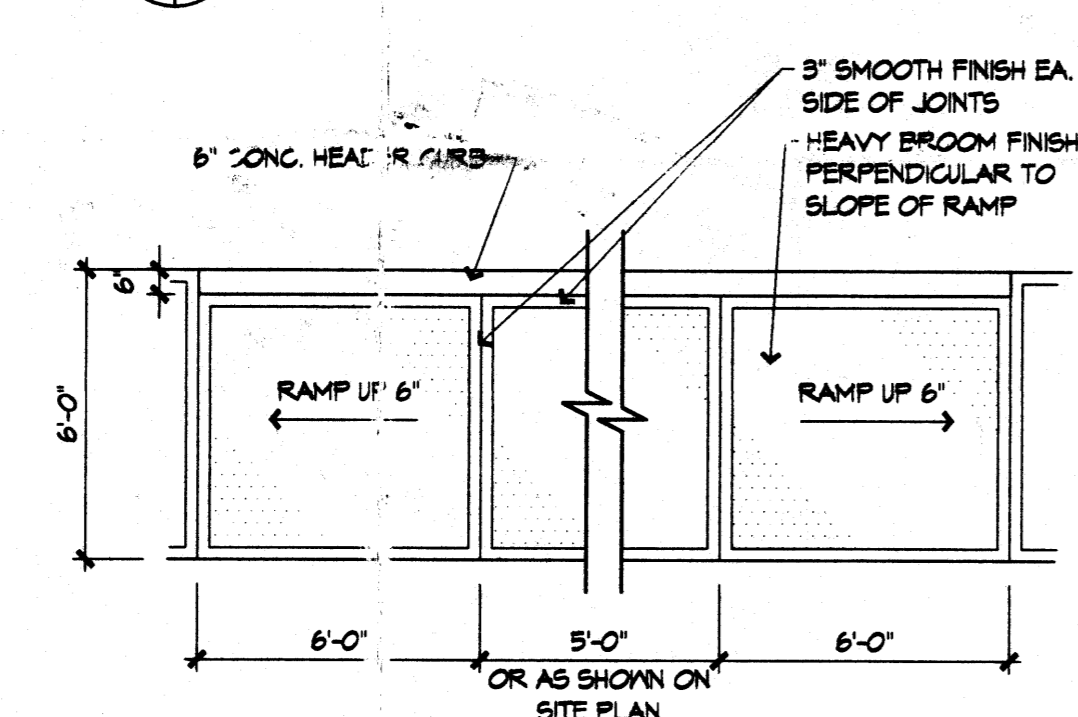
**MANNING EQUATION:**  
 $Q = 1.486 \text{ AR}^{2/3} \text{ S}^{1/2}$   
2' WIDTH:  $Q = 8.4 \text{ CFS}$   
1.5' WIDTH:  $Q = 5.9 \text{ CFS}$   
1' WIDTH:  $Q = 3.5 \text{ CFS}$

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1451GRD.DWGthor 06.30.05

# LEGEND



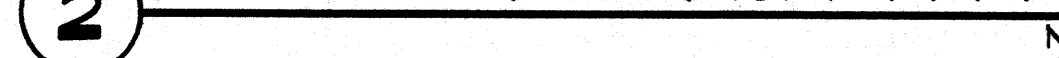
## VICINITY MAP



## 1 CURB ACCESS RAMP



## 2 DIRECTIONAL HANDICAP RAMP



CONSTRUCT SITE ENTRANCE PER COA STANDARD DRAWING NO. 2426 BUILT W/ W.D. 775681

CONSTRUCT SITE ENTRANCE PER COA STANDARD DRAWING NO. 2426 BUILT W/ W.D. 775681

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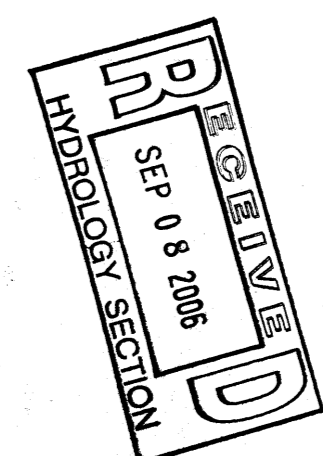
CONSTRUCT SITE ENTRANCE PER COA STANDARD DRAWING NO. 2426 BUILT W/ W.D. 775681

CONSTRUCT SITE ENTRANCE PER COA STANDARD DRAWING NO. 2426 BUILT W/ W.D. 775681

## E2 SITE PLAN



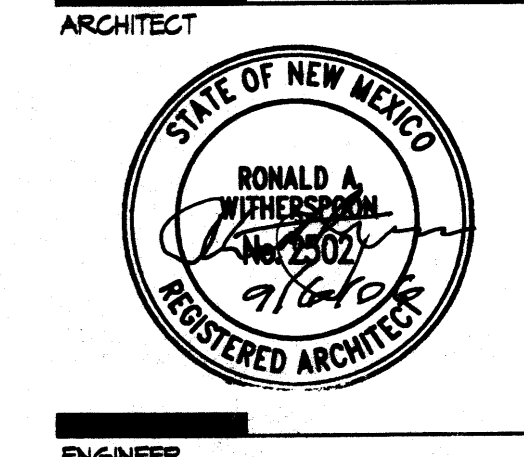
PARKING REQUIREMENTS:  
TOTAL PARKING REQUIRED:  
115 UNITS @ 1.5 SPACES EACH:  
COMMUNITY BUILDING:  
(PER COA ZONING DEPARTMENT 2/16/05)  
PARKING REDUCTION (SEC. 14-16-3-1, (6)(a)(1)):  
10% X 170 = 17 SPACES  
TOTAL NUMBER OF SPACES REQUIRED:  
153 SPACES  
ACCESSIBLE PARKING: (NMBG TABLE 1106.1)  
101-200 SPACES = 8 SPACES  
PARKING PROVIDED  
115 UNITS:  
(INCLUDING 6 CAR & 2 VAN ACCESSIBLE SPACES)  
151 SPACES  
COMMUNITY BUILDING:  
(INCLUDING 2 VAN ACCESSIBLE SPACES)  
15 SPACES  
TOTAL PARKING SPACES:  
166 SPACES



architecture  
interiors  
planning  
engineering

**Dekker  
Perich  
Sabatini**

6801 Jefferson NE  
Suite 100  
Albuquerque, NM 87109  
505 761-9700  
fax 761-4222  
dps@dpsnbg.com



PROJECT

GSL Properties  
Ladera Senior Housing  
3704 Ladera Road NW  
Albuquerque, NM

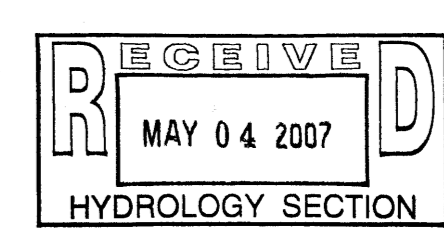
TRAFFIC CIRCULATION LAYOUT  
APPROVED  
4/5 9/14/06  
Signed Date

KEY PLAN

REVISIONS  
4/5/06 REFUSE ENCLOSURES  
ADDED

DRAWN BY JS  
REVIEWED BY DW/RY  
DATE 9/6/06  
PROJECT NO. 08045  
DRAWING NAME

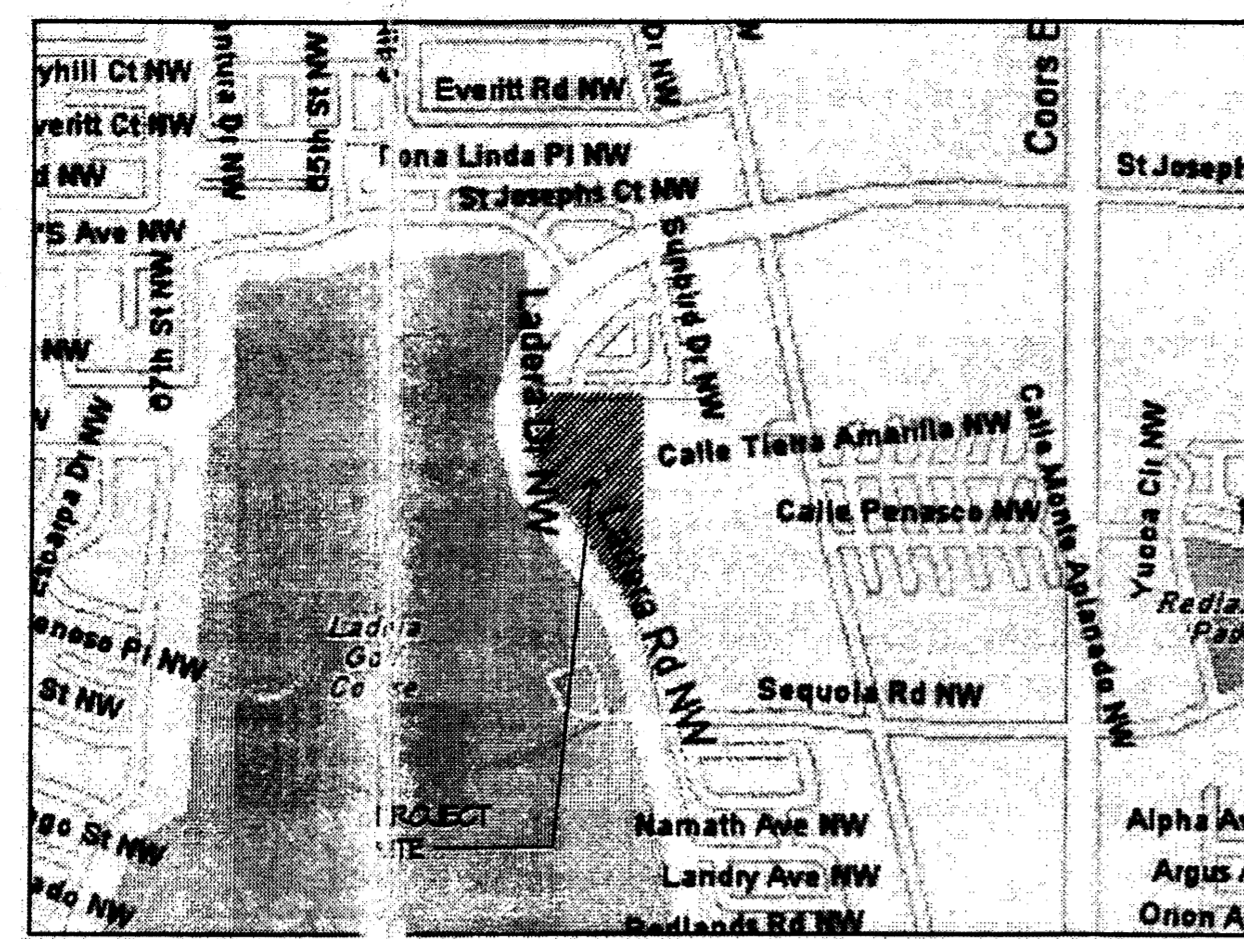
TRAFFIC CIRCULATION  
LAYOUT FOR  
BUILDING PERMIT



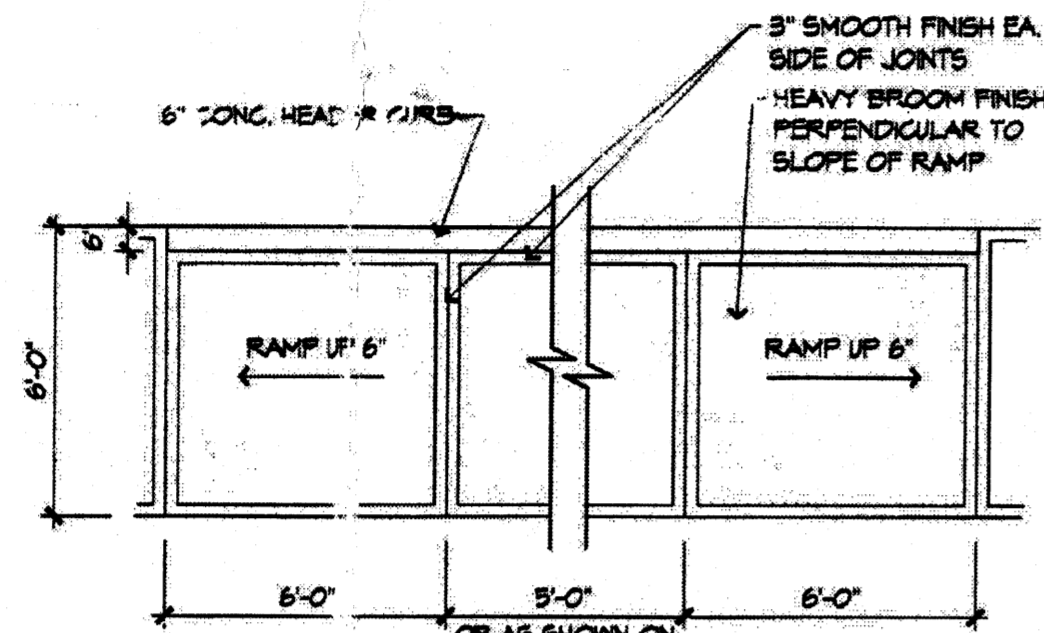
SHEET NO.  
A1  
OF

# LEGEND

- Accessible Parking Space for Car, 5'-0" Access Aisle, White Int'l HC Symbol, 4" solid spaced striping spaced at 48", sloped 1% to 2%
- Accessible Parking Space for Van, 8'-0" Access Aisle, White Int'l HC Symbol, 4" solid spaced striping spaced at 48", sloped 1% to 2%
- Compactor (truck access req.)
- Proposed Sidewalk, typ.
- Property Boundary
- Demo
- Existing
- New Standard Concrete Curb & Gutter per COA std. det. 2415A
- New Mountable Concrete Curb & Gutter per COA std. det. 2415A
- New Concrete Header Curb per COA std. det. 2415B
- Fire Lane - Paint curb red
- New Fire Hydrant
- Direction of Traffic Flow

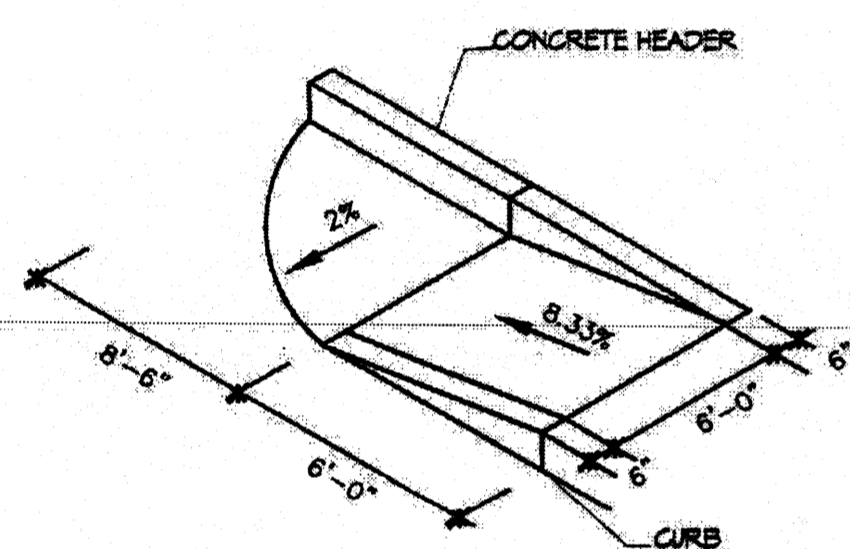


VICINITY MAP  
6-10-2 5-11-2



1 CURB ACCESS RAMP

2 DIRECTIONAL HANDICAP RAMP



PARKING REQUIREMENTS:  
TOTAL PARKING REQUIRED:  
115 UNITS @ 15 SPACES EACH:  
COMMUNITY BUILDING:  
NO PARKING REQUIRED  
(PER COA ZONING DEPARTMENT 2/16/05.)

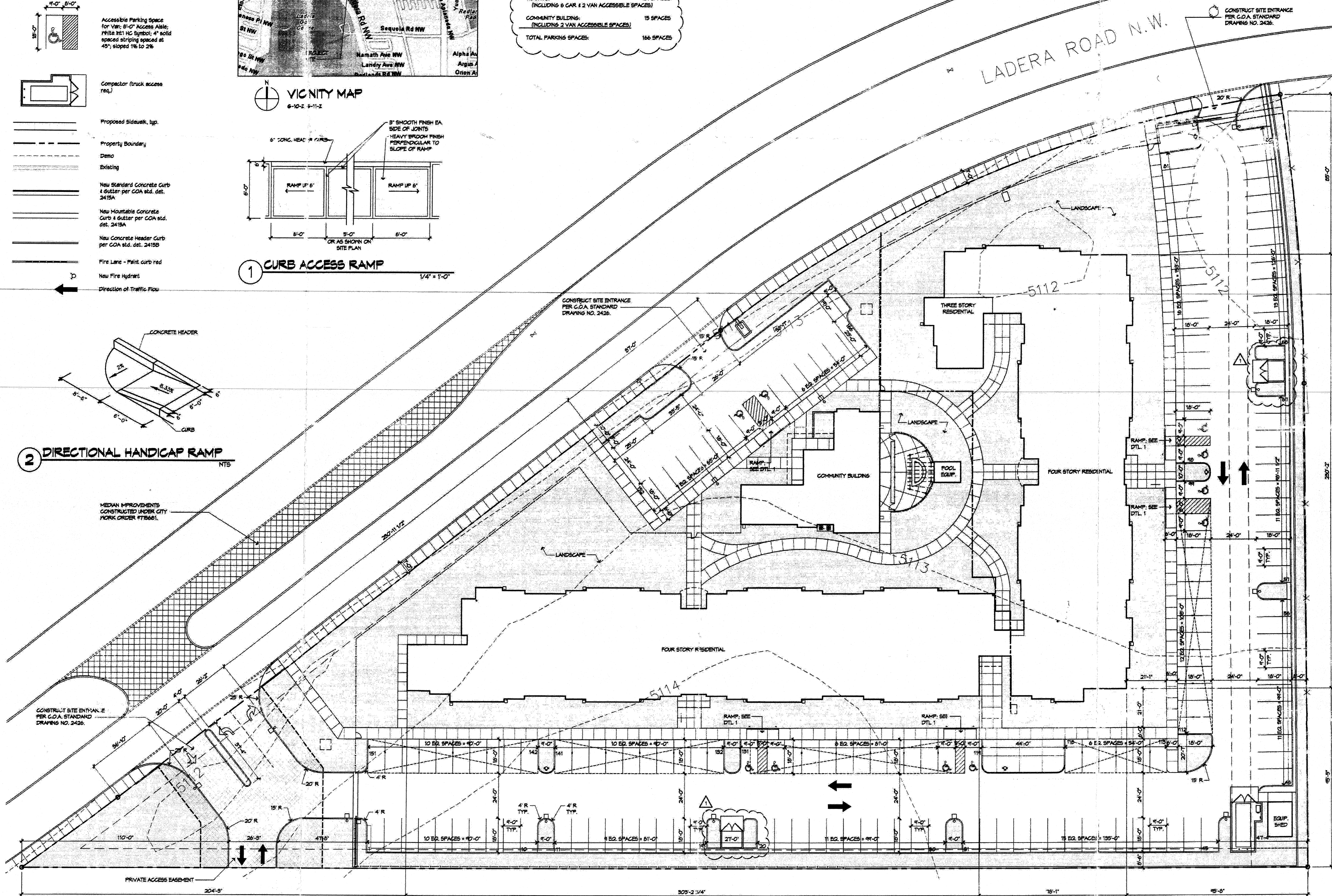
PARKING REDUCTION (SEC.14-16-5-1, (6)(a)(1))  
10% X 110 = 11 SPACES  
TOTAL NUMBER OF SPACES REQUIRED: 155 SPACES

ACCESSIBLE PARKING: (NMC TABLE 1106.1)  
101-200 SPACES = 8 SPACES

PARKING PROVIDED:  
115 UNITS:  
(INCLUDING 8 CAR & 2 VAN ACCESSIBLE SPACES)

COMMUNITY BUILDING:  
(INCLUDING 2 VAN ACCESSIBLE SPACES)

TOTAL PARKING SPACES: 166 SPACES



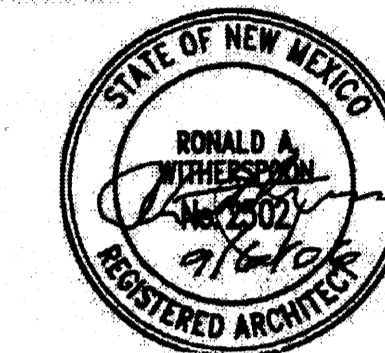
E2 SITE PLAN

1" = 20'-0"

Dekker  
Perich  
Sabatini

6801 Jefferson NE  
Suite 100  
Albuquerque, NM 87109  
505 761-9700  
fax 761-4222  
dps@dpsbhq.com

ARCHITECT



ENGINEER

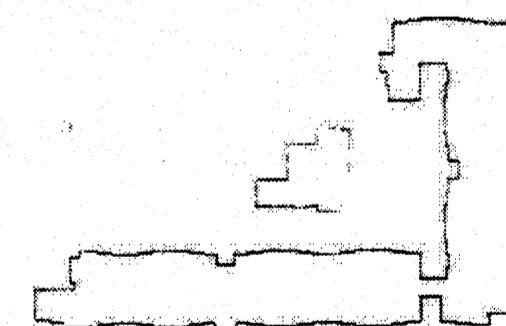
PROJECT

GSL Properties  
Ladera Senior Housing  
3704 Ladera Road NW  
Albuquerque, NM

TRAFFIC CIRCULATION LAYOUT  
APPROVED

4/5 9/14/06  
Signed \_\_\_\_\_ Date \_\_\_\_\_

KEY PLAN



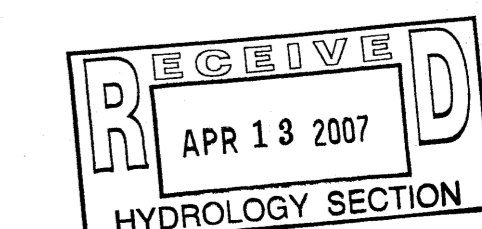
REVISIONS  
1 4/4/06 REUSE ENCLOSURES  
ADDED

DRAWN BY J5  
REVIEWED BY DIA/RM  
DATE 4/6/06  
PROJECT NO. 08045  
DRAWING NAME

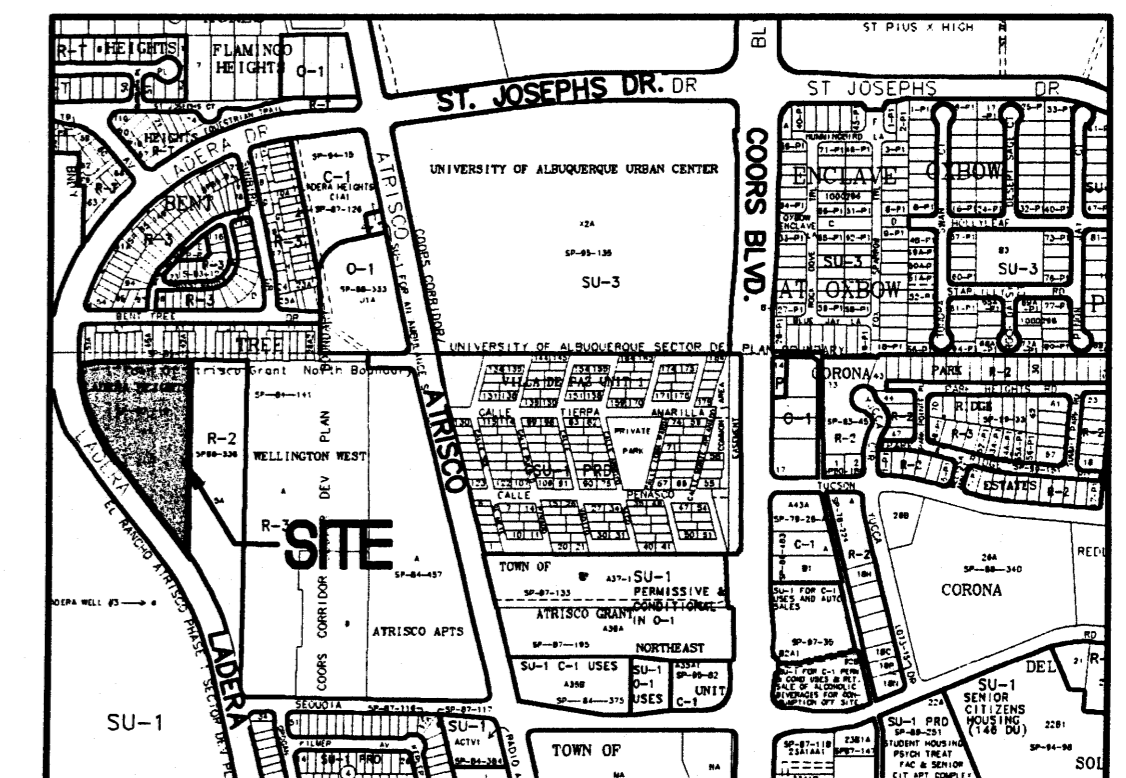
TRAFFIC CIRCULATION  
LAYOUT FOR  
BUILDING PERMIT

SHEET NO.

A1  
OF



# VICINITY MAP #G-11



## KEYED NOTES

1. CONSTRUCT SITE ENTRANCE PER C.O.A. STD. DWG. 2426. SEE ARCHITECTURAL FOR ADD'L INFO. PROVIDE SMOOTH TRANSITION FROM 6" STANDARD CURB AND GUTTER AT STREET TO 6" MEDIAN CURB AND GUTTER ON-SITE.
2. CONSTRUCT ASPHALT PAVING AT ELEVATIONS SHOWN. SEE ARCHITECTURAL FOR PARKING LAYOUT, DIMENSIONS, AND STRIPING.
3. PAVING HIGH POINT.
4. PROVIDE 18" WIDE CURB OPENINGS TO ALLOW DRAINAGE TO PASS THROUGH MEDIAN.
5. DEPRESS CURB FOR 2' TO ALLOW RUNOFF TO ENTER LANDSCAPED AREA.
6. ROOF FLOWS FROM THE PROPOSED BUILDINGS TO BE RELEASED TO SEE ARCHITECTURAL PLANS.
7. CONTRACTOR TO CONSTRUCT / VERIFY FF ELEVATIONS AND GRADES PER PLAN TO ENSURE DRAINAGE PATTERNS ARE ACHIEVED PER DESIGN.
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10. 12" SIDEWALK CULVERT PER COA STD DWG #2236.
11. 18" SIDEWALK CULVERT PER COA STD DWG #2236.
12. TWO 18" SIDEWALK CULVERT PER COA STD DWG #2236.

## LEGEND

- EXISTING CONTOUR
- PROPOSED CONTOUR
- PROPOSED SPOT ELEVATION
- FLOW ARROW
- FINISH FLOOR ELEVATION
- SIDEWALK CULVERT
- TOP OF CURB ELEVATION
- FLOWLINE
- TOP OF WALL ELEVATION
- BOTTOM OF WALL ELEVATION
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- DRAINAGE SUB-BASIN BOUNDARY
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LEGAL DESCRIPTION: TRACT A-1, LADERA HEIGHTS

SURVEYOR: ALDRICH LAND SURVEYING PREPARED THE TOPOGRAPHIC/ALTA SURVEY DATED JUNE 2005.

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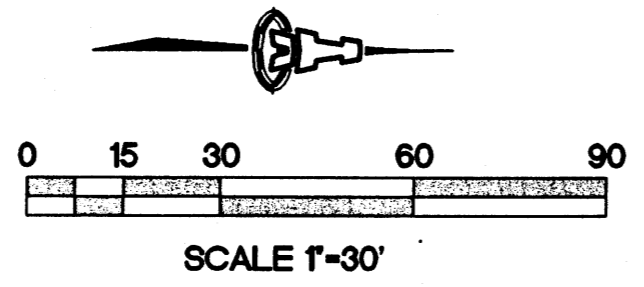
PRECIPITATION ZONE: 1

LAND TREATMENT: 12% B, 14% C, & 74% D

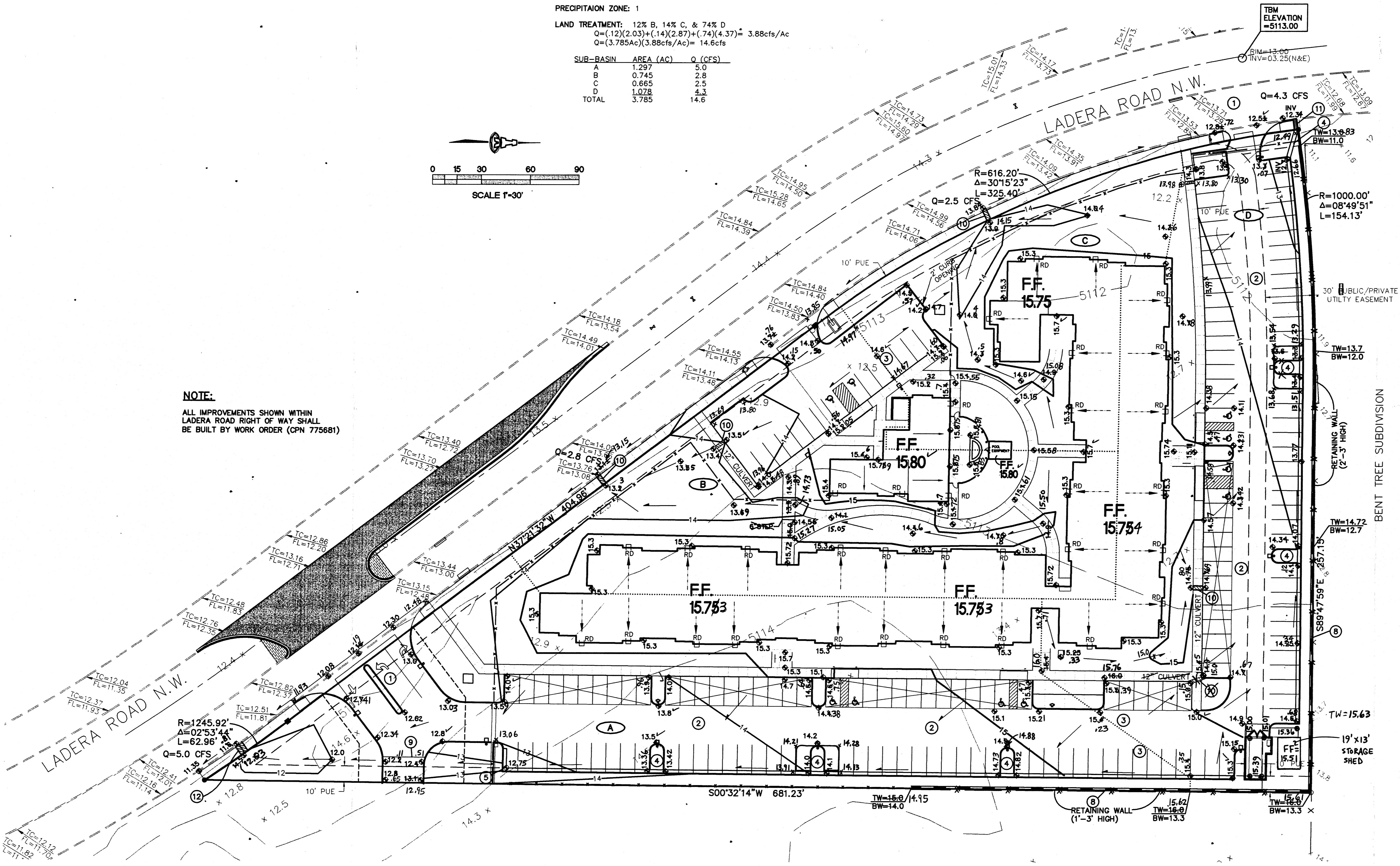
$Q = (12)(2.03) + (14)(2.87) + (74)(4.37) = 3.88\text{cfs}/\text{Ac}$

$Q = (3.785\text{Ac})(3.88\text{cfs}/\text{Ac}) = 14.6\text{cfs}$

SUB-BASIN	AREA (AC)	Q (CFS)
A	1.297	5.0
B	0.745	2.8
C	0.665	2.5
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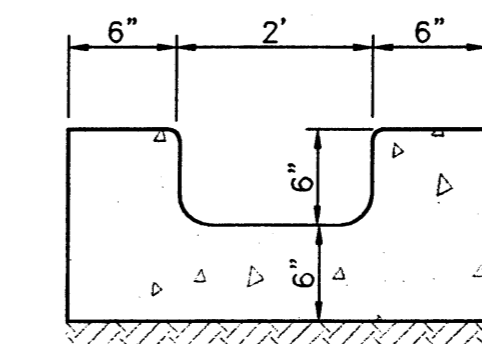
## TRACT 5-A TOWN OF ATRISCO GRANT

### DRAINAGE CERTIFICATION

I, Scott M. McGee, NMPE 10519, of the firm Isaacson & Arfman, P.A., hereby certify that this project has been graded and will drain in substantial compliance with and in accordance with the design intent of the approved plan dated February 23, 2006. The record information edited onto the original design document has been obtained by Stephen E. Walker, NMPS 6401, of the firm Walker Surveying Company. I further certify that I have personally visited the project site on 03/12/06 and have determined by visual inspection that the survey data provided is representative of actual site conditions and is true and correct to the best of my knowledge and belief. This certification is submitted in support of a request for Certificate of Occupancy.

The record information presented hereon is not necessarily complete and intended only to verify substantial compliance of the grading and drainage aspects of this project. Those relying on this record document are advised to obtain independent verification of its accuracy before using it for any other purpose.

Scott M. McGee 4/2/07  
Scott M. McGee, PE NMPE 10519



CURB OPENING DETAIL

MANNING EQUATION:  
 $Q = \frac{1.49}{n} A R^{2/3} S^{1/2}$   
2' WIDTH:  $Q = 8.4\text{CFS}$   
1.5' WIDTH:  $Q = 5.9\text{CFS}$   
1' WIDTH:  $Q = 3.5\text{CFS}$

**ISAACSON & ARFMAN, P.A.**  
Consulting Engineering Associates

128 Monroe Street N.E.  
Albuquerque, New Mexico 87108  
Ph. 505-268-6828 Fax. 505-268-2632  
14510RD.DWG:thor 06.30.05