

LEGAL DESCRIPTION

LOT 16
CORONA DEL SOL
SECTION 2, T. 10 N., 2 E., N.M.P.M.
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
MAY 2003

James B. Clark III
13 JUL 05
STATE OF NEW MEXICO
REGISTERED ARCHITECT
JAMES BENJAMIN CLARK III
1047

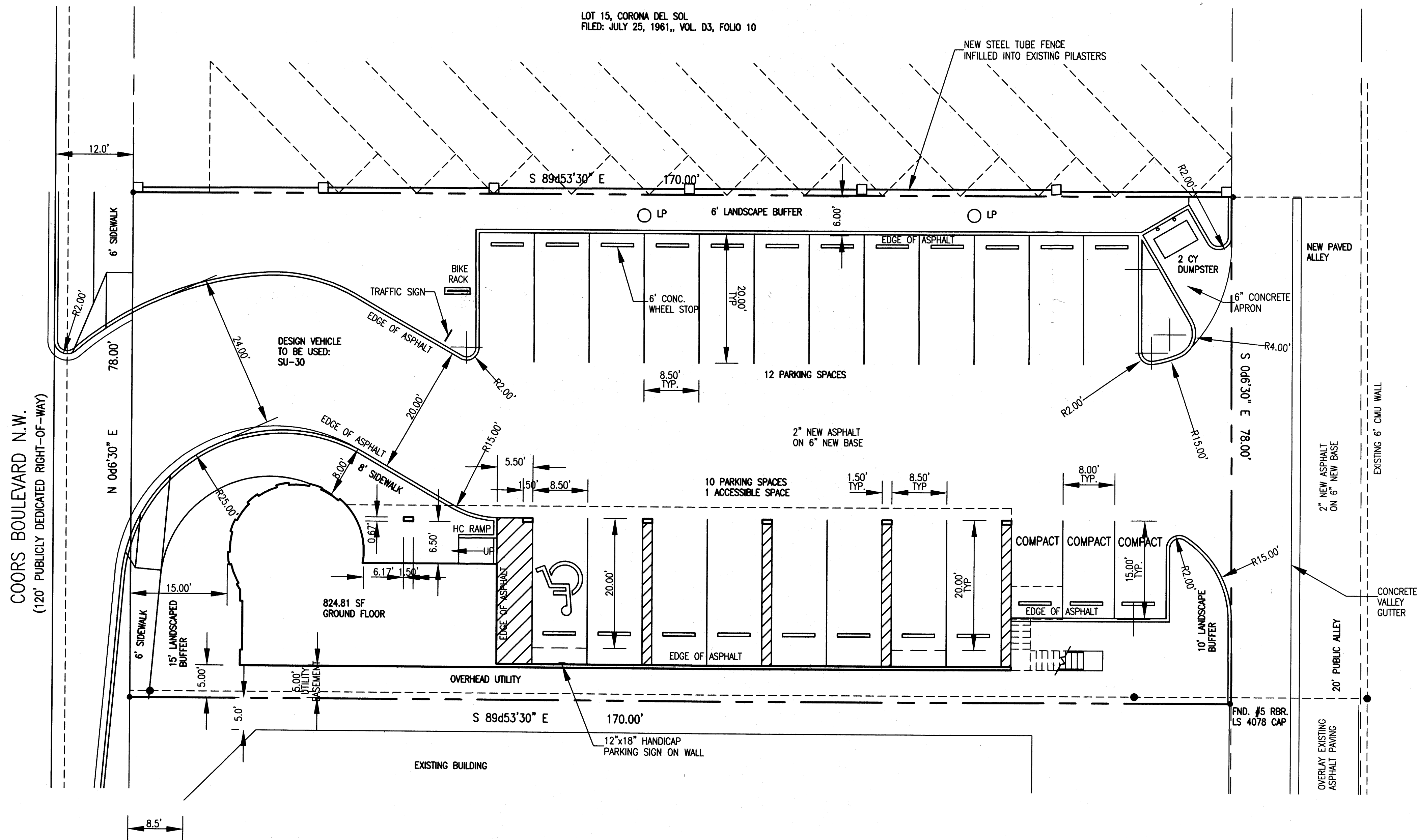
MASTERWORKS
ARCHITECTS, INC
4200 WYOMING BLVD. NE SUITE B-1
ALBUQUERQUE, NM 87111 242-1866

FILE # 0456SITEF
13 JUL 05

A NEW RETAIL STORE & SALON FOR
VINCENT CANO
3720 COORS BLVD. NW
ALBUQUERQUE, NEW MEXICO

LAYOUT
SITE PLAN

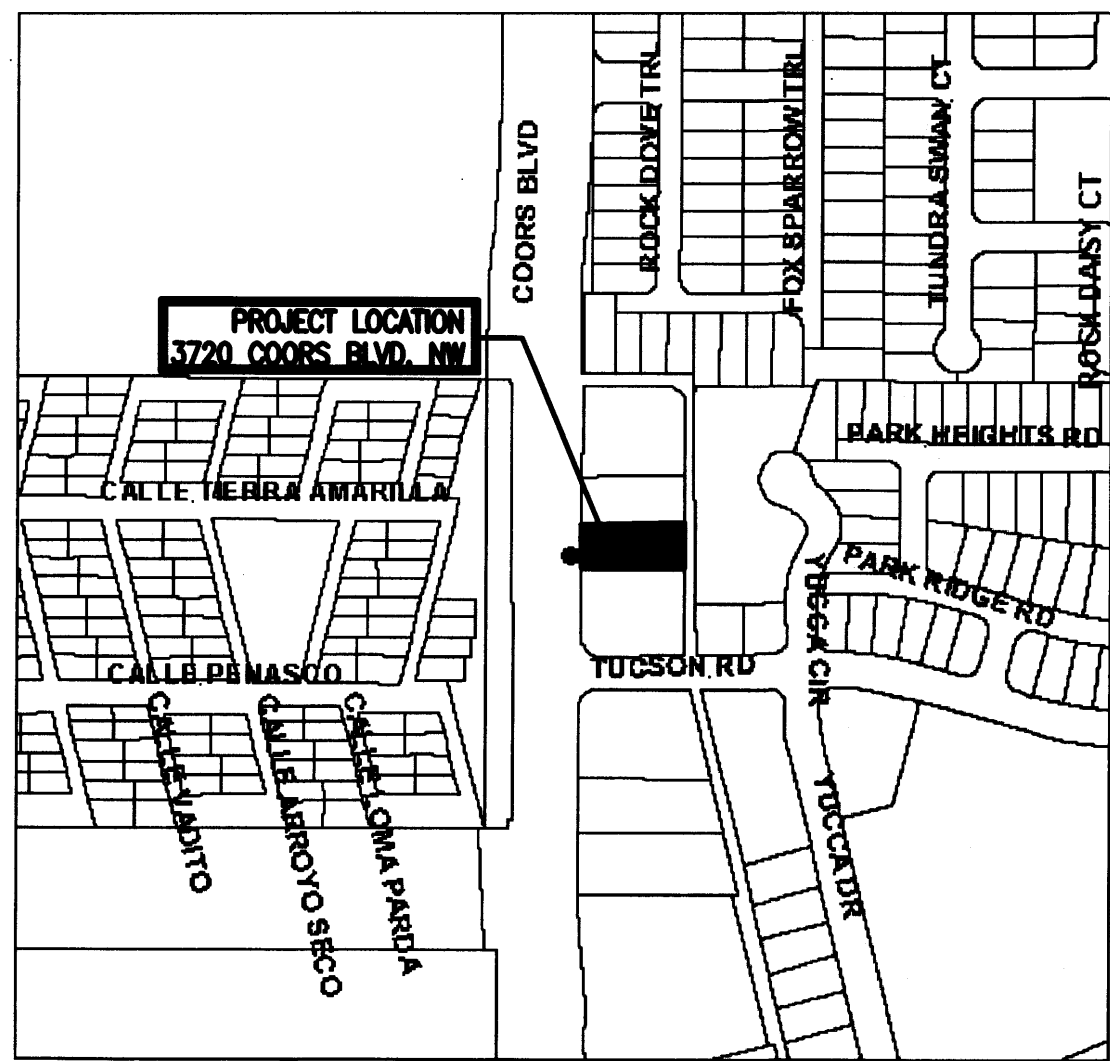
SHEET
A1
OF 04



1 SITE PLAN
A1

SCALE: 1" = 10'-0"

RECEIVED
JUL 14 2005
HYDROLOGY SECTION



VICINITY MAP

G-11

TRAFFIC CIRCULATION PLAN

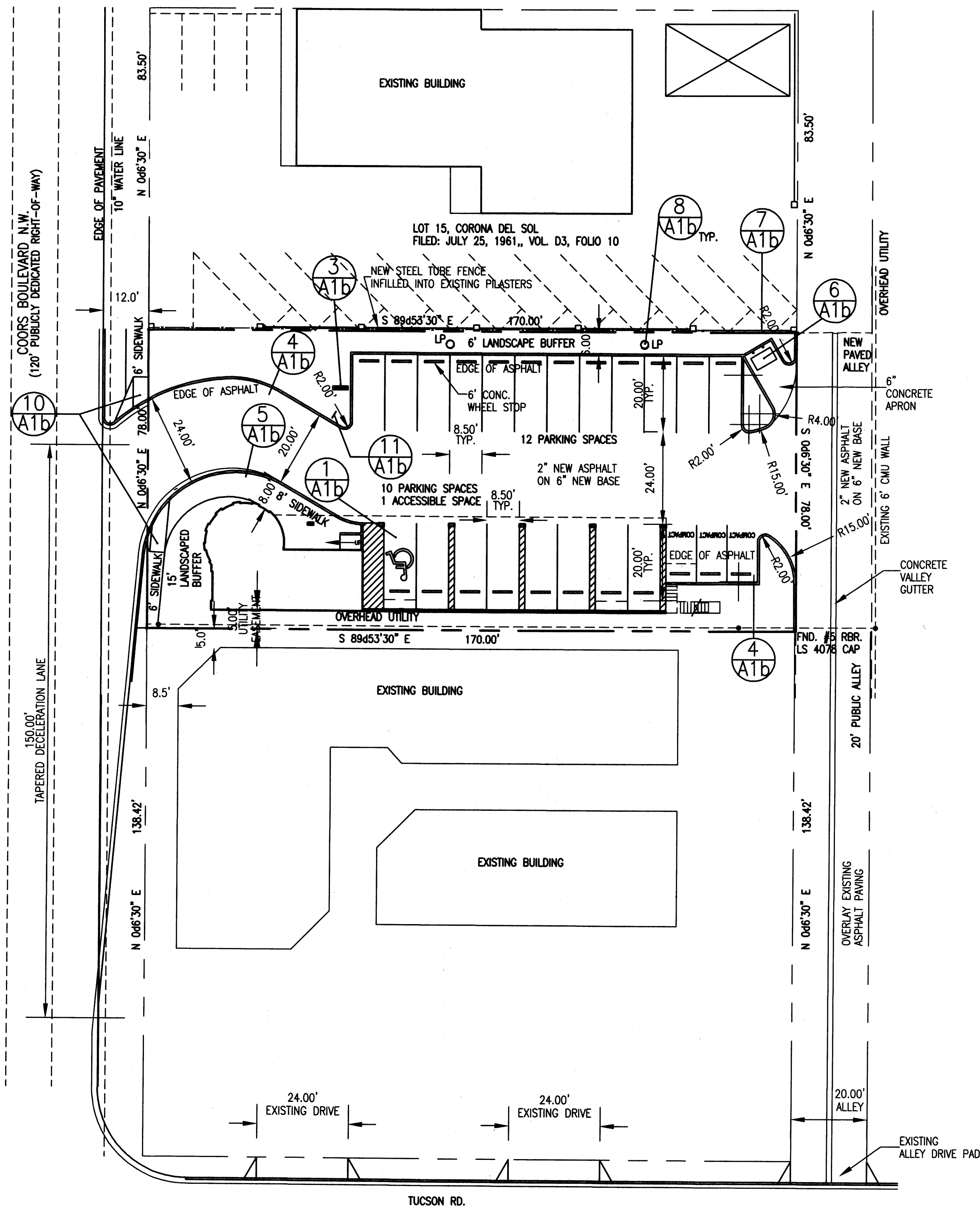
As required by Transportation Development Section, a copy of the approved TCL AS-BUILT will be submitted by the designer or acceptable representative party which includes a letter of certification stating the site has been constructed in accordance with the approved TCL. Verification of TCL acceptability, to include random field checks, will be made before a Final Certificate of Occupancy (C.O.) is issued. Please call this office to obtain temporary CO. Confirmation from Hydrology, supporting this requirement, will be needed prior to approval of TCL by Transportation.

PARKING CALCULATIONS:

REQUIRED FOR		
RETAIL	3752.74 GSF / 200 GSF	19 SPACES
TOTAL		19 SPACES
ADA ACCESSIBLE		
(VANS INCLUDED	1 TOTAL	
	1)	
ACTUAL PROVIDED:		23 SPACES

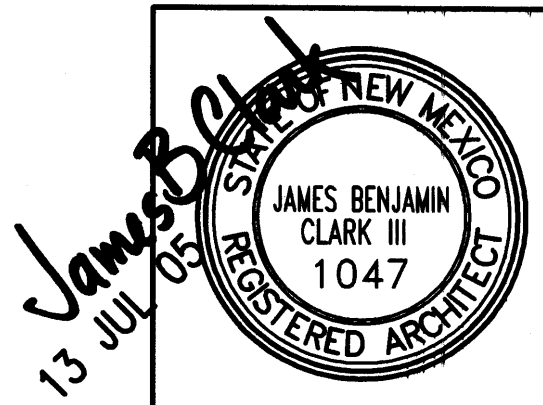
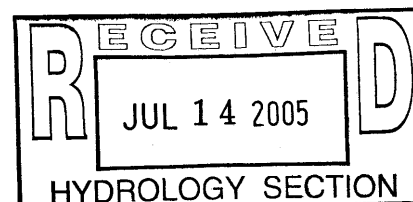
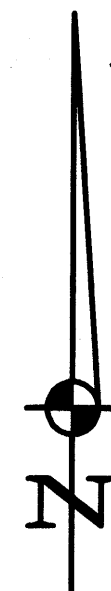
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BERNALILLO COUNTY, NEW MEXICO
MAY 2003



1 A1a TRAFFIC CIRCULATION LAYOUT

SCALE: 1" = 20'-0"



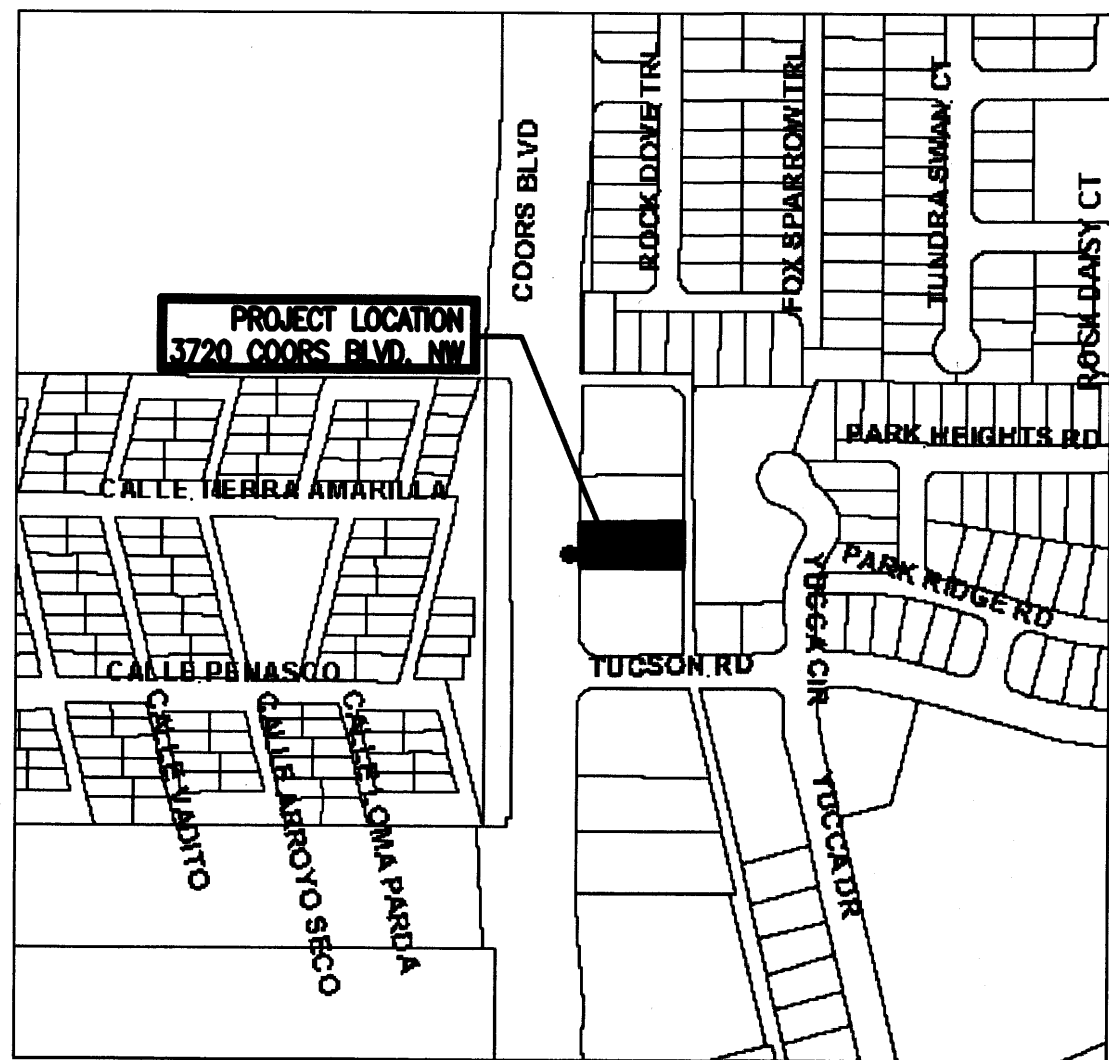
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FILE # 0456TCLC
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VICINITY MAP

TRAFFIC CIRCULATION PLAN

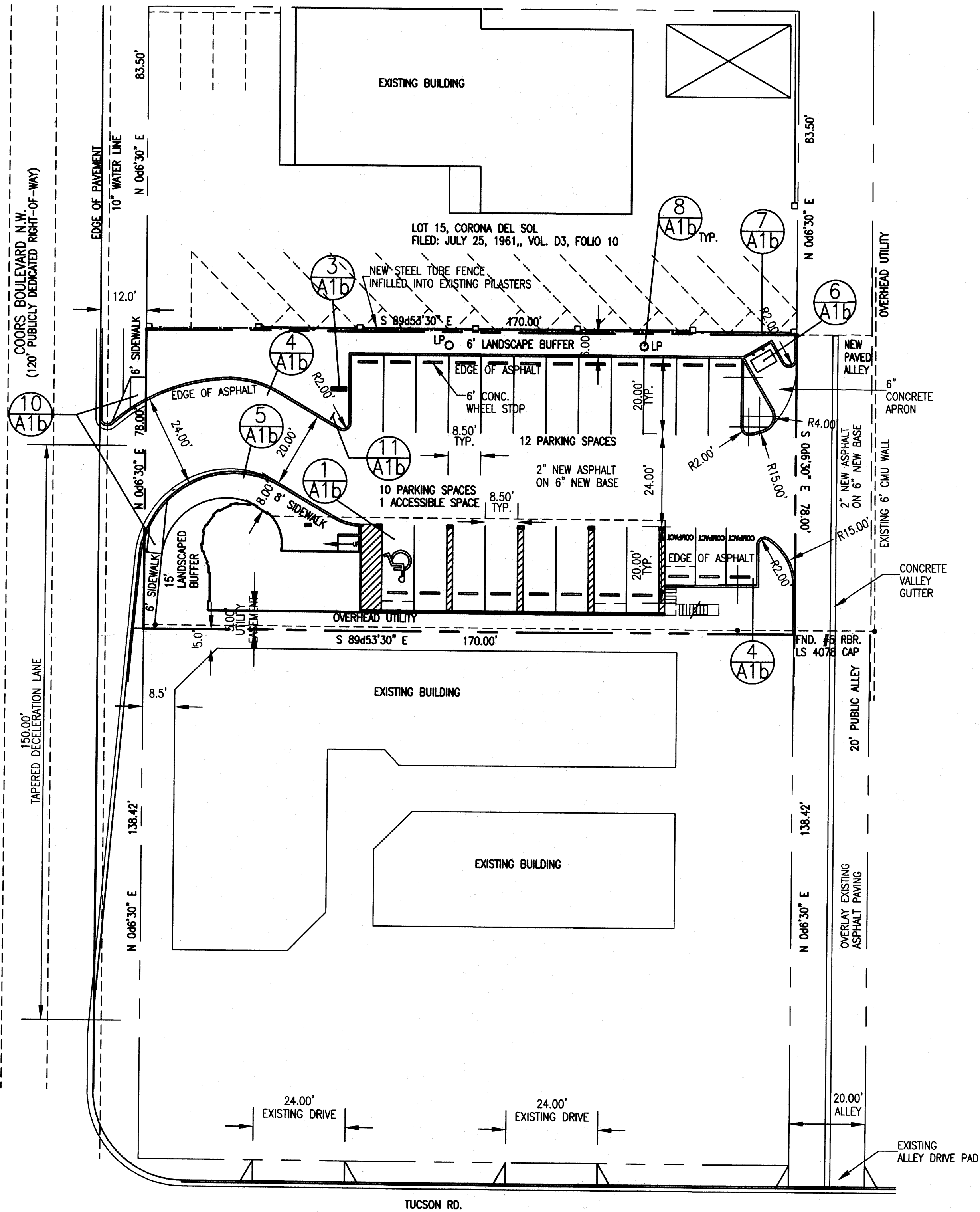
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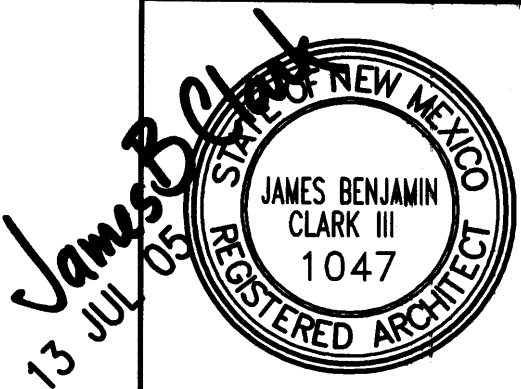
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LAYOUT

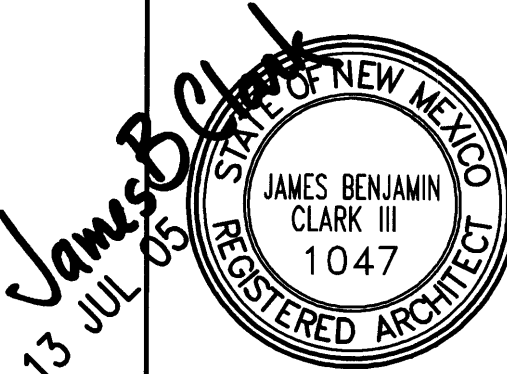
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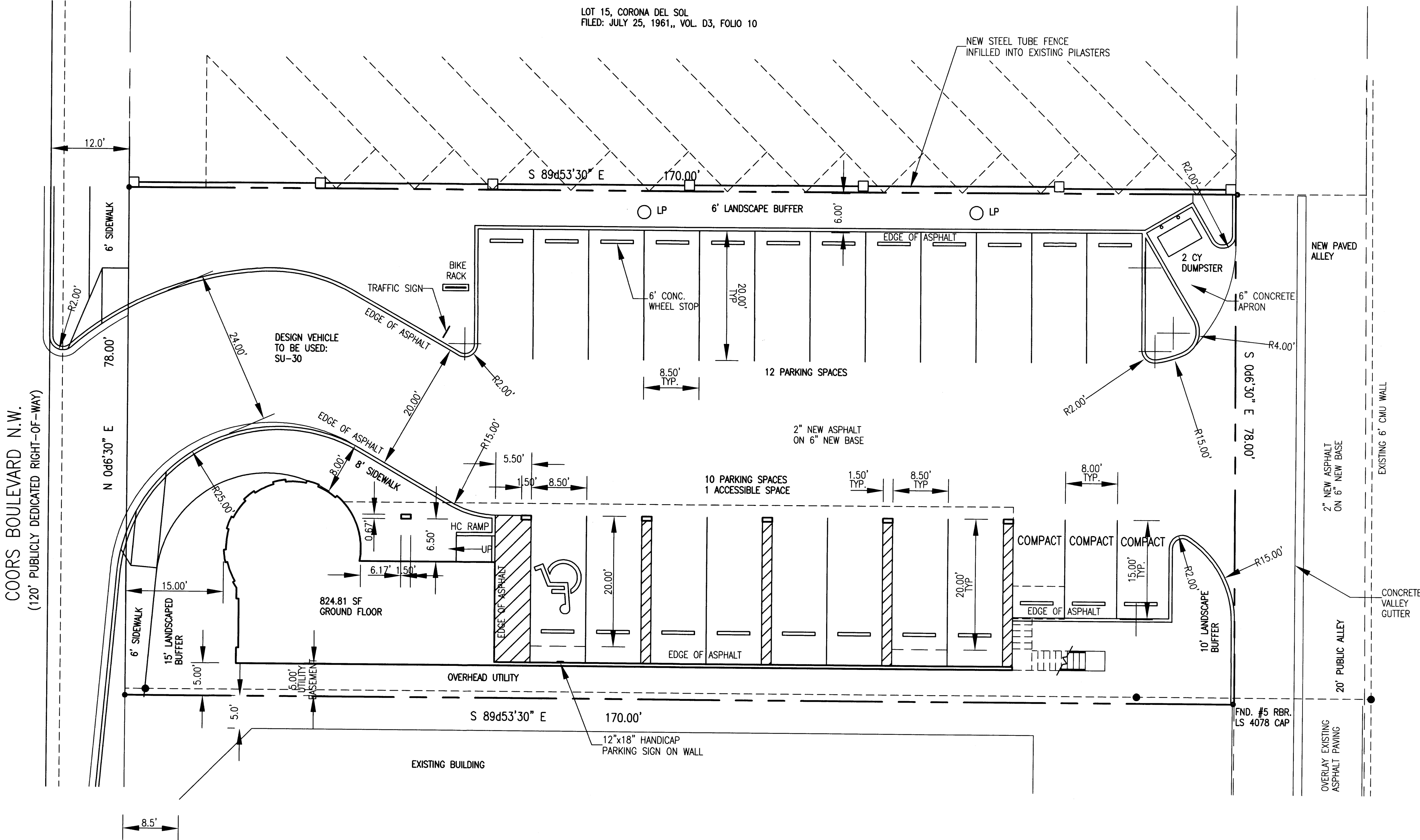
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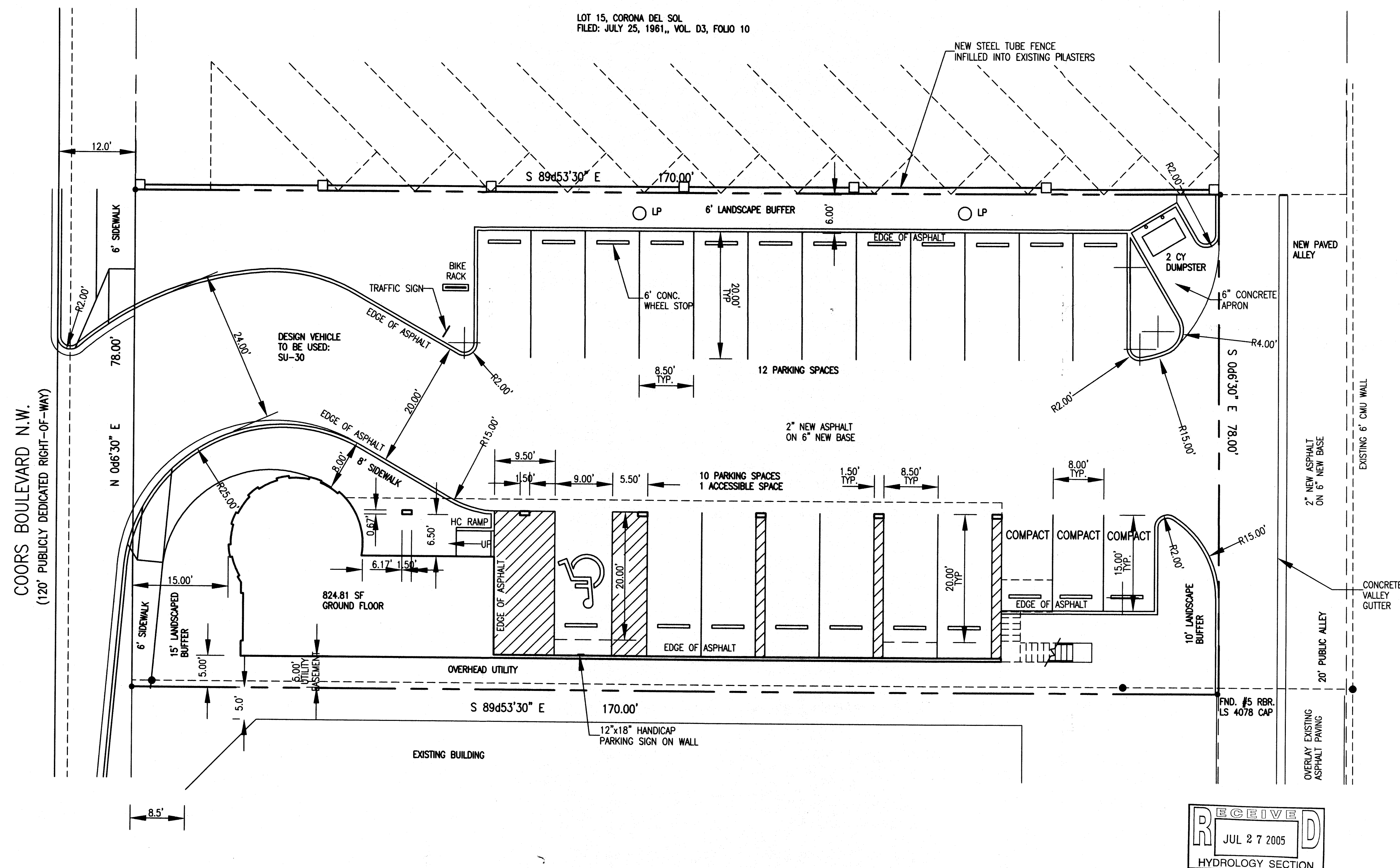
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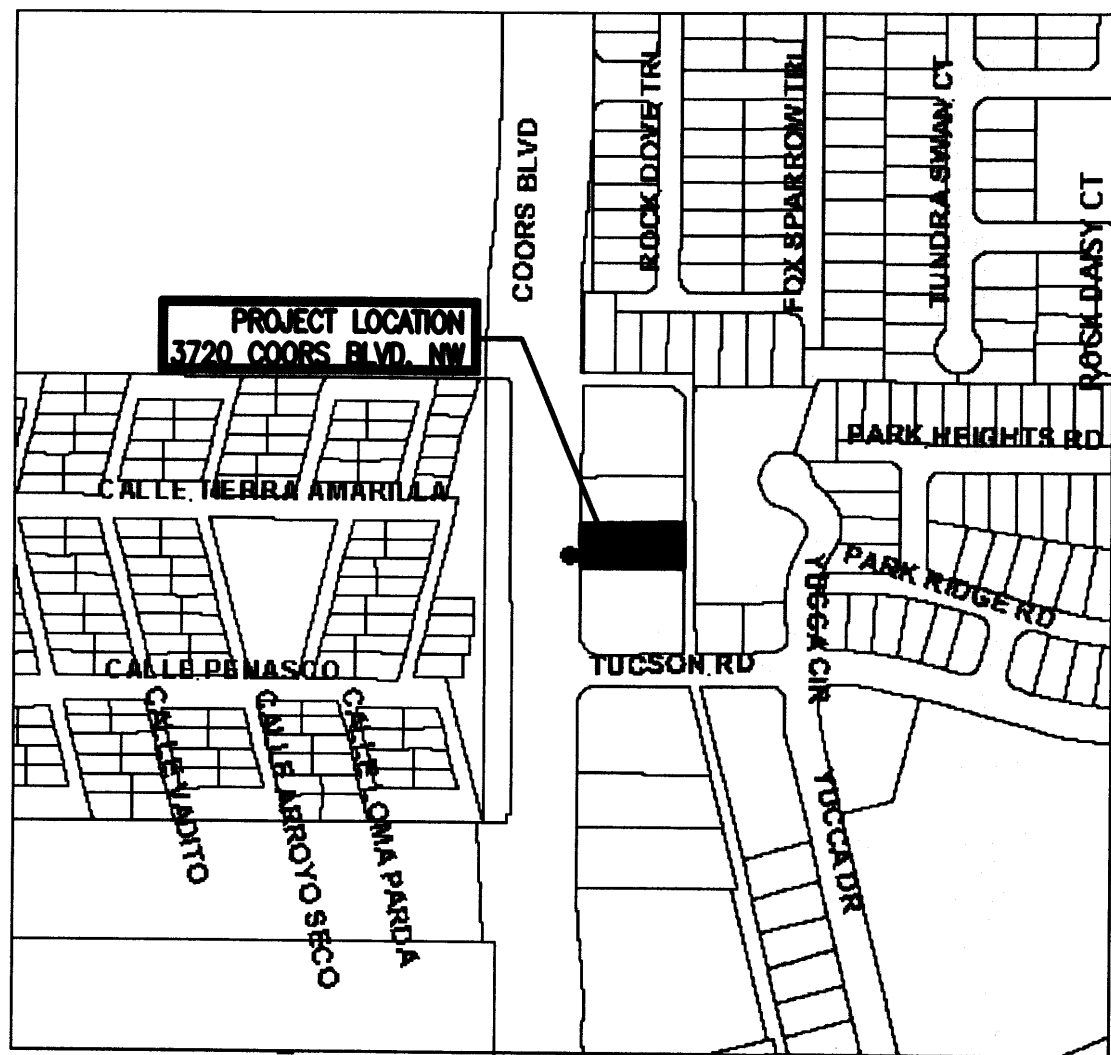
SHEET

A1
OF 04



1 SITE PLAN
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SCALE: 1" = 10'-0"



VICINITY MAP

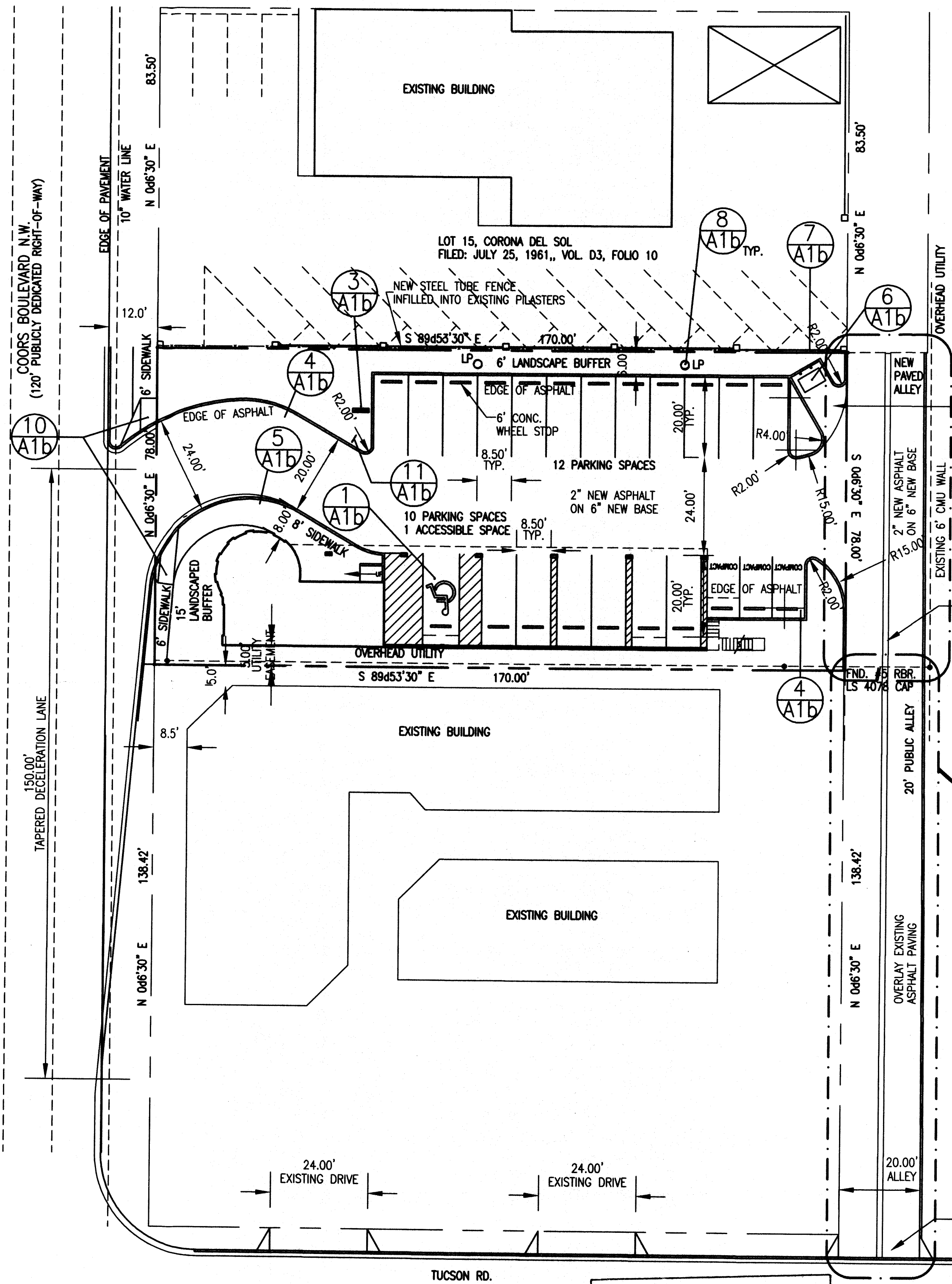
TRAFFIC CIRCULATION PLAN

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MAY 2003



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TRAFFIC CIRCULATION LAYOUT APPROVED

Signed: [Signature] Date: 7/2/05

SCALE: 1" = 20'-0"

NEW ALLEY AND GUTTER

SCOPE OF WORK:
NEW 20' ASPHALT ALLEY WITH CONCRETE VALLEY GUTTER AND 6"x18" CONC. CUT-OFF-WALL ON THE EAST SIDE.

ALLEY AND GUTTER TO CONFORM TO CITY OF ALBUQUERQUE STANDARDS FOR ASPHALT/CONCRETE COMMERCIAL ALLEY AND GUTTER.

ALLEY SECTION SEE DWG CoA 2411
ALLEY GUTTER SEE DWG CoA 2415
USE ARTERIAL SECTION FOR COMMERCIAL USE. SEE DWG 2407

CIVIL ENGINEER TO USE CITY WORK ORDER PROCESS

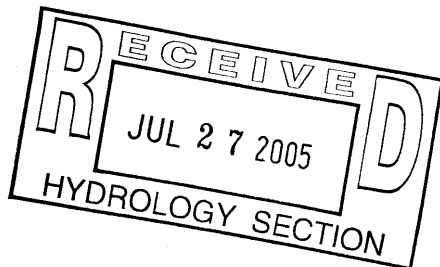
NEW GUTTER AND ALLEY OVERLAY

SCOPE OF WORK:
OVERLAY EXISTING 20' ASPHALT ALLEY WITH NEW ASPHALT, ADD A NEW VALLEY GUTTER AND 6"x18" CONC. CUT-OFF-WALL ON EAST SIDE.

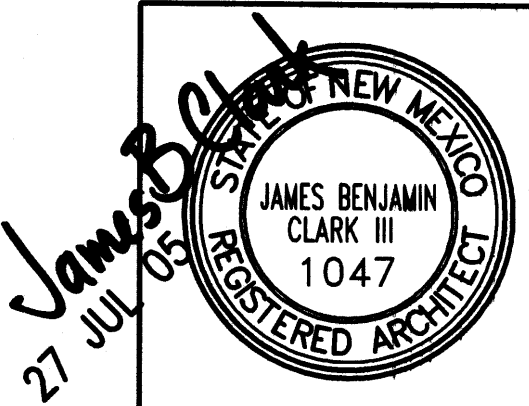
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ALLEY SECTION SEE DWG CoA 2411
ALLEY GUTTER SEE DWG CoA 2415
USE ARTERIAL SECTION FOR COMMERCIAL USE. SEE DWG 2407

CIVIL ENGINEER TO USE CITY WORK ORDER PROCESS



Public Infrastructure shown on these plans for information only and not part of approval. Separate DRC/Permit approval and Work Order required.



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4200 WYOMING BLVD. NE SUITE B-1
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NOT WITHIN DESIGNATED FEMA FLOODPLAIN
REF: PANEL 35001C0327 D

FIRM MAP PANEL # 327

GRADING & DRAINAGE PLAN

THE PROPOSED RETAIL PROJECT IS LOCATED IN THE NORTHWEST AREA OF ALBUQUERQUE ON COORS BLVD. NORTH OF INTERSTATE 40/SEQUOIA ROAD. THE GRADING AND DRAINAGE SCHEME HEREON IS IN COMPLIANCE WITH THE BERNALILLO COUNTY FLOOD HAZARD ORDINANCE, NO.88-46, AND THE CITY STORM DRAINAGE ORDINANCE. THE PLAN IS REQUIRED IN ORDER TO FACILITATE THE OWNER'S REQUEST FOR BUILDING PERMIT. THE PLAN SHOWS:

1. EXISTING CONTOURS, AND SPOT ELEVATIONS AND EXISTING DRAINAGE PATTERNS AND EXISTING IMPROVEMENTS.
2. PROPOSED IMPROVEMENT: 3000± SF (FOOTPRINT) BUILDING, ASPHALT DRIVE/PARKING, CONCRETE FLAT WORK, NEW GRADE ELEVATIONS, REFUSE LOCATION, AND LANDSCAPING.
3. CONTINUITY BETWEEN EXISTING AND PROPOSED ELEVATIONS.
4. QUANTIFICATION OF DEVELOPED FLOWS GENERATED BY THE IMPROVEMENTS WHICH CONTRIBUTE TO THE EXISTING FLOWS.

PRESENTLY, THE SITE IS A DIRT, "HARDPAN" PAD SURFACE WITH SPARSE VEGETATION. THE SITE IS BOUNDED BY DEVELOPED COMMERCIAL PROPERTY, AND FALLS AT APPROXIMATELY 1X FROM THE WEST TO EAST. COORS BLVD. IS A PRINCIPAL ARTERIAL WITH 5 LANES, WITHOUT CURB, GUTTER AND ATTACHED SIDEWALK. SITE RUNOFF WILL BE ALLOWED TO EITHER DRAIN THROUGH THE SITE, AND/OR PONDED IN DEPRESSED LANDSCAPE AREAS. THE SITE HAS HISTORICALLY DRAINED TO THE SOUTHEAST VIA SHEET FLOW TOWARDS THE EXISTING UNIMPROVED ALLEY LOCATED ALONG THE EASTERN EDGE OF THE PROPERTY. THE ALLEY WILL BE UPGRADED, AND SITE RUNOFF WILL BE CONVEYED SOUTH INTO TUCSON ROAD, ALONG THE NORTH CURB AND GUTTER TO AN EXISTING DROP INLET.

HISTORICAL DOWNSTREAM OUTFALL LOCATIONS WILL REMAIN UNCHANGED WITH DEVELOPMENT. FREE DISCHARGE OF SITE RUNOFF IS ACCEPTABLE SINCE DOWNSTREAM CAPACITY EXISTS WITH THE MINIMAL INCREASE DUE TO DEVELOPMENT, AND COMPLES WITH THE OVERALL CITY DRAINAGE ORDINANCE. A PORTION OF SITE RUNOFF IS ROUTED THROUGH PROPOSED LANDSCAPING.

CALCULATIONS

DESIGN CRITERIA

HYDROLOGIC METHODS PER SECTION 22.2, HYDROLOGY OF THE DEVELOPMENT PROCESS MANUAL (DPM) REVISED JANUARY 1993 FOR CITY OF ALBUQUERQUE, ADOPTED BY THE COUNTY OF BERNALILLO
DISCHARGE RATE: $Q = Q_{PEAK} \times AREA$, "Peak Discharge Rates For Small Watersheds"
VOLUMETRIC DISCHARGE: $VOLUME = E_{WEIGHTED} \times AREA$
 $P_{100} = 2.20$ inches, Zone 1 Time of Concentration, TC = 10 Minutes
DESIGN STORM: 100-YEAR/6-HOUR, 10-YEAR/6-HOUR [] = 10 YEAR VALUES

EXISTING CONDITIONS

LOT AREA = 0.30 ACRES, WHERE EXCESS PRECIP. "C" = 0.99 in. [0.44]
PEAK DISCHARGE, $Q_{100} = 0.9$ CFS [0.3], WHERE UNIT PEAK DISCHARGE "C" = 2.87 CFS/AC. [1.49]
THEREFORE: $VOLUME_{100} = 1079$ CF [479]

DEVELOPED CONDITIONS

DETERMINE LAND TREATMENTS, PEAK DISCHARGE AND VOLUMETRIC DISCHARGE FOR STUDY AREA

	AREA	LAND TREATMENT	Q_{Peak}	E
UNDEVELOPED	0.00 Ac.(0%)	A	1.29[0.24]	0.49[0.08]
LANDSCAPING	0.04 Ac.(13%)	B	2.03[0.76]	0.67[0.22]
GRAVEL & COMPACTED SOIL	0.02 Ac.(7%)	C	2.87[1.49]	0.99[0.44]
ROOF - PAVEMENT	0.24 Ac.(80%)	D	4.40[2.90]	1.97[1.24]
	0.30 Ac.			

THEREFORE: $E_{WEIGHTED} = 1.7$ in.[1.05] &
 $Q_{100} = 1.2$ CFS
 $Q_{10} = 0.8$ CFS
VOLUME 100 = 1851 CF
VOLUME 10 = 1143 CF

DOWNSTREAM ANALYSIS

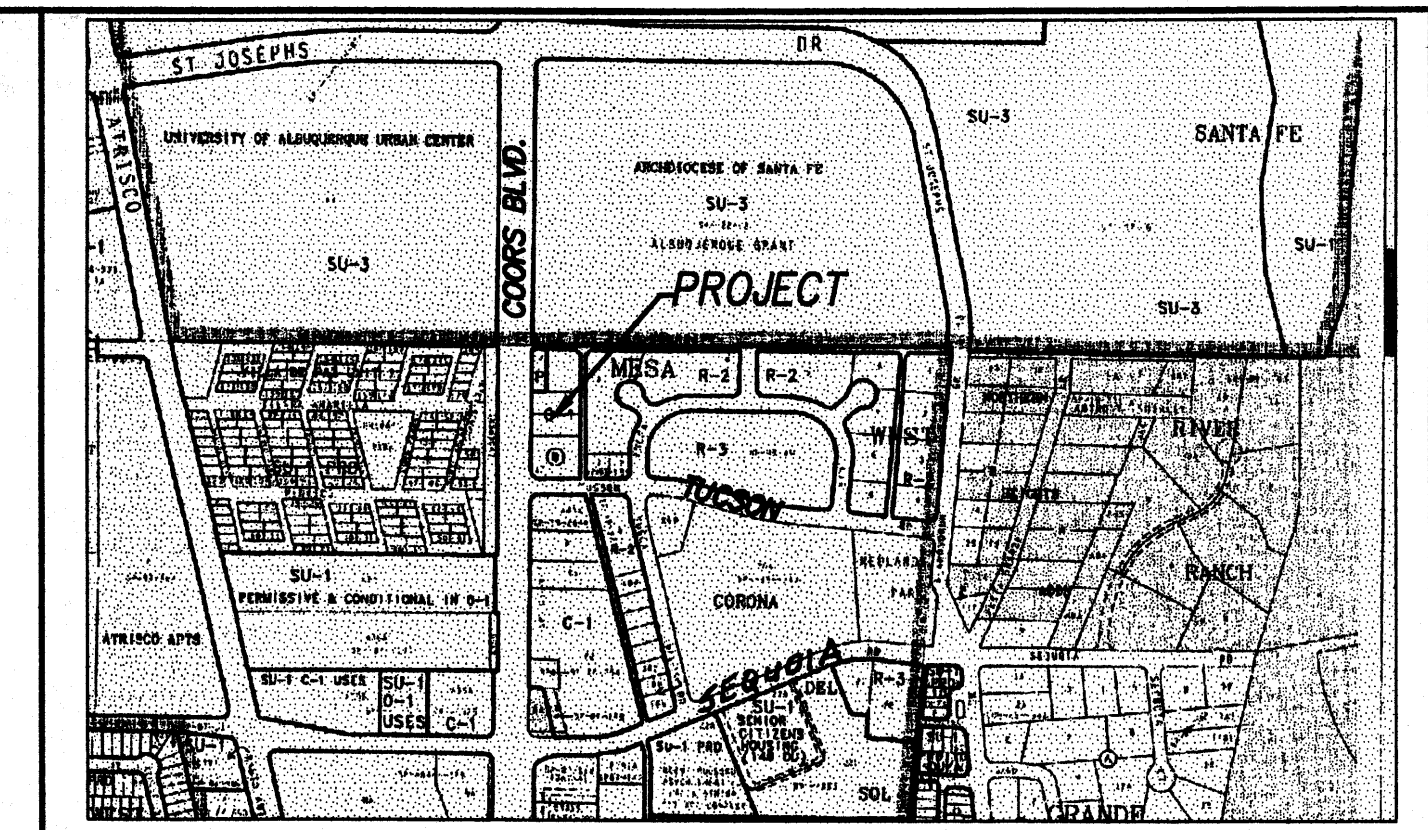
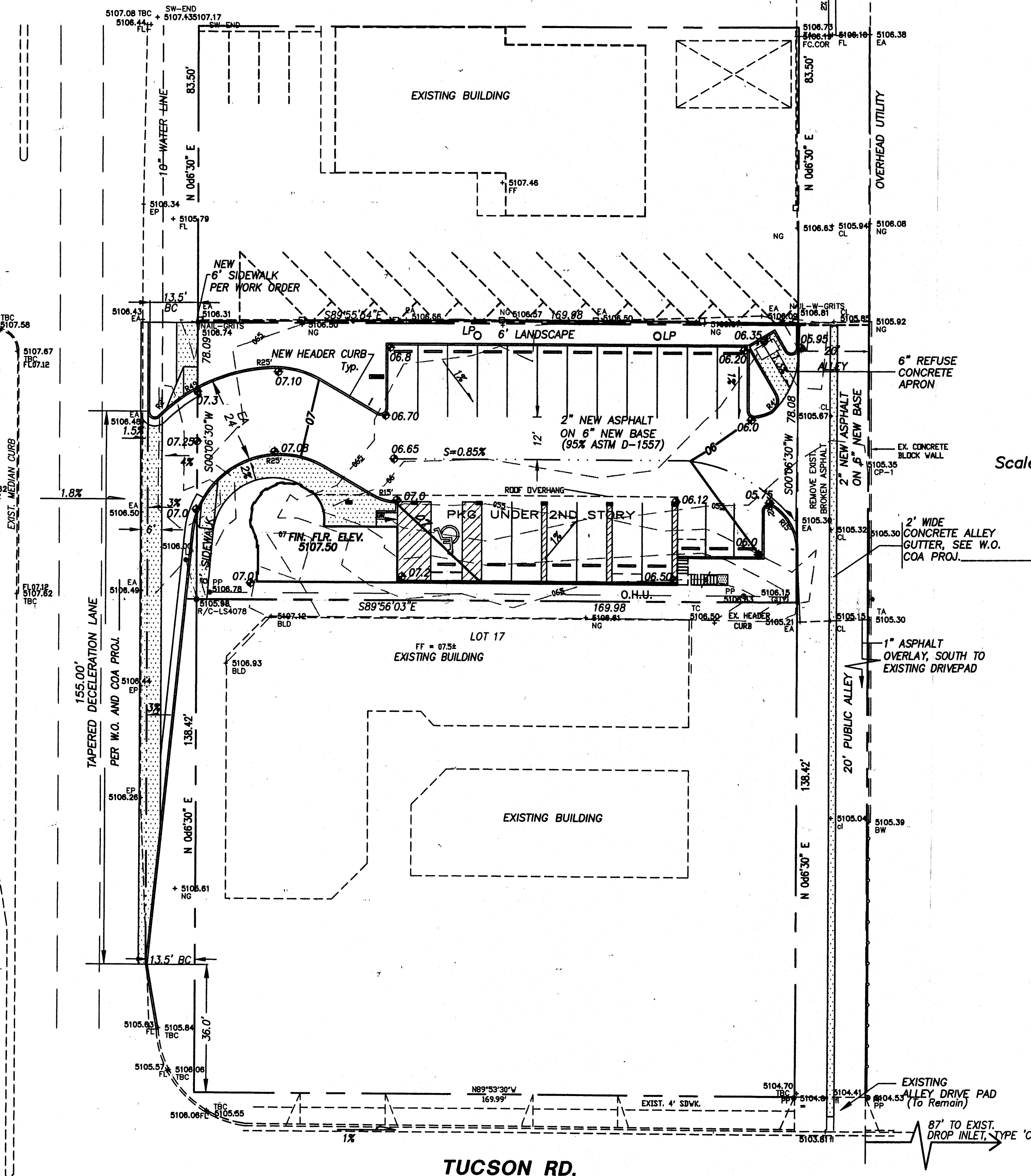
A STORM SEWER SYSTEM IS NOT PRESENT IN COORS. AN EXISTING SYSTEM/INLET IS LOCATED IN TUCSON ROAD, SEE PLAN. WITH THE ALLEY IMPROVEMENTS, RUN-OFF WILL BE CONVEYED SOUTH AND THEN EAST IN TUCSON.

THIS FACILITY HAS CAPACITY AND THE PROJECT TIME TO PEAK IS MUCH LESS THAN OVERALL BASIN TIME TO PEAK & INCREASE DUE TO DEVELOPMENT IS MINIMAL. (INCREASE FROM THE EXISTING EQUALS 0.5±CFS in the 100-Year Event)

I, PHILIP W. CLARK, A PROFESSIONAL ENGINEER LICENSED IN ACCORDANCE WITH THE LAWS OF THE STATE OF NEW MEXICO, DO HEREBY CERTIFY THAT I HAVE VISITED THE SITE SHOWN HEREON, AND THAT THE CONTOURS SHOWN REPRESENT THE EXISTING GROUND CONDITIONS, AND DO FURTHER CERTIFY THAT NO EARTHWORK OF ANY KIND, NOR ANY DISTURBANCE OF THE EXISTING GROUND HAS OCCURRED ON THIS SITE SINCE THE CONTOURS WERE DETERMINED.

PHILIP W. CLARK NMPE #10265

120' COORS ROAD NW
EXIST. MEDIAN CURB



VICINITY MAP ZONE G-11 Scale: 1" = 700'

NOTES

1. ALL WORK WITHIN THE RIGHT-OF-WAY SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE STANDARD SPECS. FOR PUBLIC WORKS CONSTRUCTION, 8TH EDITION W/ UPDATES.
2. AN EXCAVATION/CONSTRUCTION PERMIT IS REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY R.O.W. AN APPROVED COPY OF THIS PLAN MUST BE SUBMITTED AT THE TIME OF APPLICATION.
3. ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, RULES, AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
4. ALL LANDSCAPING AREA SHALL BE SOFT-LINED WITH NATIVE VEGETATION AND/OR GRAVEL. ASPHALT PARKING AREA SHALL DRAIN DIRECTLY TO PROPOSED DRIVEWAY EXIT AT ALLEY.
5. LANDSCAPING IRRIGATION SYSTEM SHALL BE DRIP-TYPE. CONTRACTOR SHALL INSTALL SYSTEM PRIOR TO PLACEMENT OF PAVING.
6. CONTRACTOR SHALL ENSURE THAT NO SITE SOILS/SEDIMENT OR SILT ENTER THE RIGHT-OF-WAYS DURING CONSTRUCTION.
7. REVEGETATE ALL AREAS DISTURBED DUE TO CONSTRUCTION PER CITY OF ALBUQ. SPEC. 1011, NATIVE SEED MIX.
8. MAXIMUM SITE GRADING WITHOUT EROSION PROTECTION: 3 HORIZONTAL TO 1 VERTICAL, 3:1. ALL DIMENSIONS TO FACE OF CURB, UNLESS NOTED OTHERWISE.
9. ALL SITE IMPROVEMENTS SHOWN ON THIS PLAN SHALL BE CONSTRUCTED PER SITE DETAILS, REFERENCE SHEET A1b.

LEGEND

PROPERTY LINE	
EXIST. CURB/GUTTER	
EXIST. SPOT ELEVATION	+24.0
EXIST. CONTOUR	-10
NEW SPOT ELEVATION	+24.0
NEW CONTOUR	-54
NEW SWALE	
DRAINAGE DIRECTION, EXISTING	
NEW CONCRETE CURB (0.5' HEIGHT)	
NEW P.C.C., CONCRETE	
TOP OF CURB, EXISTING	TC
FLOWLINE	FL
EXISTING POWER POLE	OP
FACE OF CURB/FACE OF CURB	F-F
BACK OF CURB	BC

PROJECT DATA

ZONED, O-1; CITY HYDROL. # G-11, D...

LEGAL DESCRIPTION

LOT 16, CORONA DEL SOL SUBDIVISION
ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO

PROJECT BENCHMARK - 7-G11, ON COORS BLVD.

TOP OF CURB, MARKED BY CHISELED SQUARE AT REVERSE CURVE OF SOUTHBOUND LEFT TURN BAY, MSL ELEVATION = 5107.91
125'± NORTH OF THE ENTRANCE TO VILLA DE PAZ (NAVDB8)

TOPOGRAPHIC DESIGN SURVEY

PERFORMED BY GEOMETRIC SERVICES, OCT. 2005

Clark Consulting Engineers	
19 Ryan Road Edgewood, New Mexico 87015	
Tel: (505) 281-2444 Fax: (505) 281-2444	
DATE	REVISION
LOT 16, CORONA DEL SOL SUBDIVISION ALBUQUERQUE, NEW MEXICO	
VINNYS SALON, INC. 3720 COORS BLVD. NW	
Grading & Drainage Plan	
DESIGNED BY: PWC	DRAWN BY: CCE
CHECKED BY: PWC	DATE: 10/10/05
JOB #: VINNYS	FILE #: G/D
C1 OF	