

# CITY OF ALBUQUERQUE

Planning Department  
Alan Varela, Director



Mayor Timothy M. Keller

January 30, 2026

Liz Willmot, P.E.  
Kimley-Horn and Associates, Inc.  
1201 Third Avenue, Suite 2800  
Seattle, WA 98101

**RE: Rasing Cane's #C1156  
3945 Coors Blvd NW  
30-Day Temporary C.O. – Accepted  
Engineer's Certification Date: 01/08/2026  
Engineer's Stamp Date: 04/19/2024  
Hydrology File: G11D067D**

Dear Ms. Willmot:

PO Box 1293

Albuquerque

NM 87103

[www.cabq.gov](http://www.cabq.gov)

Based on the Engineer's Grading and Drainage Certification received 01/09/2026 and site visit on 01/30/2026, this letter serves as a conditional approval from the Hydrology Section for a 30-day Temporary Certificate of Occupancy for Raising Cain's located at 3945 Coors Blvd NW to be issued by the Building and Safety Division. The following comment needs to be addressed prior to acceptance for Permanent C.O. of the above referenced project:

1. Complete the Work Order for all improvements w/in the St. Joseph's R.O.W. as outlined in the Infrastructure List (PR-2021-005597).
2. All private access drives and private drainage structures to convey the storm discharge from the site to the ultimate outfall point for Southern Oxbow Center which is the existing 36-inch storm sewer stub on Coors Blvd.

If you have any questions, please contact me at 505-924-3314 or [amontoya@cabq.gov](mailto:amontoya@cabq.gov).

Sincerely,

Anthony Montoya, Jr., P.E., C.F.M.  
Senior Engineer, Hydrology  
Planning Department, Design Review Services

DRAINAGE CERTIFICATION

I, ELIZABETH ANNE WILLMOT, NMPE 28862, OF THE FIRM KIMLEY-HORN AND ASSOCIATES, INC., HEREBY CERTIFY THAT THIS PROJECT HAS BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 04/19/2024. I FURTHER CERTIFY THAT I PERSONALLY VISITED THE PROJECT SITE ON 12/16/2025 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR FINAL CERTIFICATION OF OCCUPANCY (FINAL C.O.).

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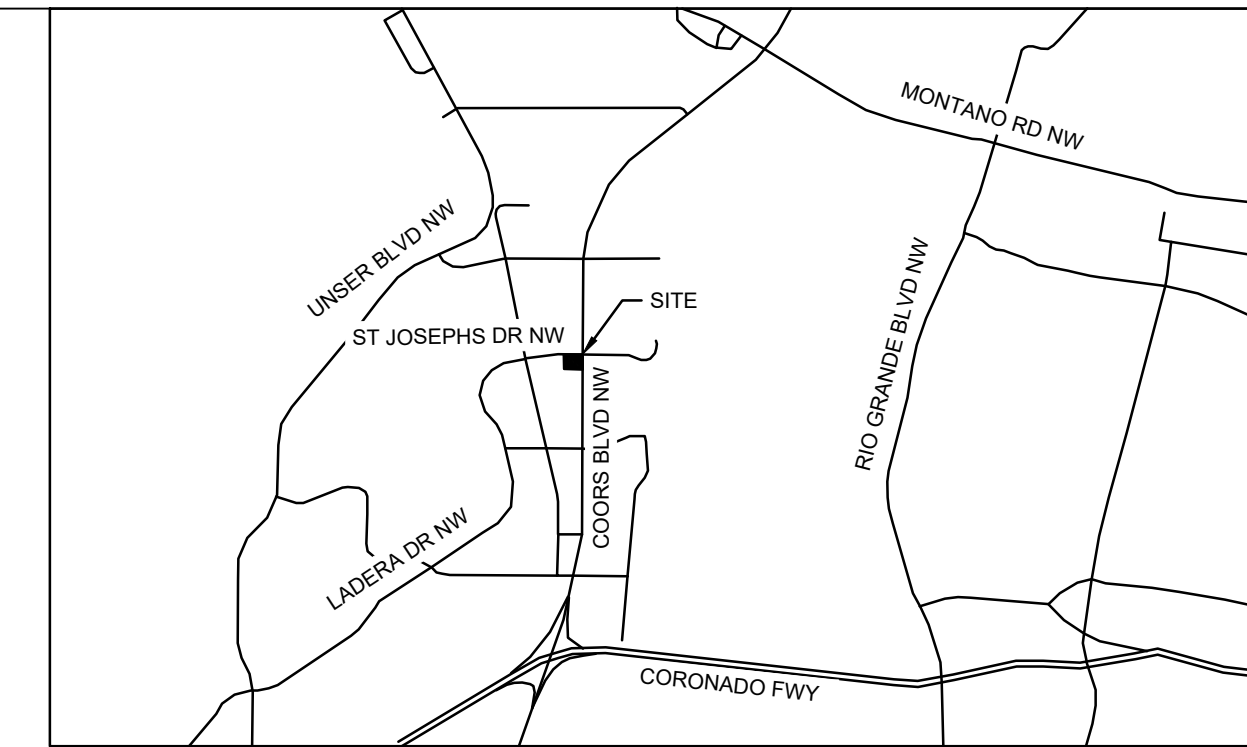
ELIZABETH ANNE WILLMOT, NMPE 28862



ST JOSEPHS DR NW

OFFSITE WORK ALONG ST JOSEPHS DR NW AND COORS BLVD NW TO BE COMPLETED BY DEVELOPER PER OXBOW CENTER OFFSITE IMPROVEMENTS PLANS, WORK ORDER #622386

CONTRACTOR TO FIELD VERIFY TIE INS IMMEDIATELY AT THE START OF CONSTRUCTION, AFTER SIDEWALK IS INSTALLED BY DEVELOPER



VICINITY MAP N.T.S.



Restaurant Support Office  
6800 Bishop Road, Plano, TX 75024  
Tel: 972-765-3100 Fax: 972-769-3101

Store: Coors & St. Joseph  
Albuquerque, NM  
Restaurant #C1156  
P6E-AV

Kimley Horn

© 2024 KIMLEY-HORN AND ASSOCIATES, INC.  
1201 Third Ave.  
Suite 2800  
Seattle, WA 98101  
CONTACT:  
LIZ WILLMOT, P.E.  
(206) 477-8610  
LIZ.WILLMOT@KIMLEY-HORN.COM



Table with 2 columns: Item, Description. Includes Prototype, Issue Date, Kitchen Issue Date, Design Bulletin Updates, Date Issued, and Bulletin Number.

FOR CONSTRUCTION

Table with 2 columns: DATE, DESCRIPTION. Lists construction milestones from 06.17.2024 to 01.08.2026.

GRADING AND STORM DRAINAGE PLAN

Date: Project Number: 090042013  
Drawn By: SP Checked By: LW  
Sheet Number:

C6.1(R)

DRAINAGE KEYNOTES

- (A) NYLOPLAST 18" DRAIN BASIN WITH 2X3 CURB INLET GRATE, SEE DETAIL SHEET C6.4
(B) PROPOSED 3" WIDE DRAINAGE CURB CUT, SEE DETAIL SHEET C6.4
(C) PROPOSED VALLEY GUTTER, SEE DETAIL SHEET C6.4
(D) PROPOSED 3" PVC CANOPY DRAIN DOWNSPOUT TO DAYLIGHT TO FACE OF CURB, SEE DETAIL SHEET C6.4
(E) PROPOSED ROOF DOWNSPOUT SPILL TO GRADE WITH SPLASH BLOCK
(F) BUBBLE-UP EMITTER WITH RIP RAP, REFER TO DETAIL ON SHEET C6.4
(G) NYLOPLAST 18" DRAIN BASIN WITH 2X3 GRATE, SEE DETAIL SHEET C6.4
(H) PROPOSED 18" STORM BY DEVELOPER PER OXBOW CENTER ONSITE PLANS #W20240001
(I) NYLOPLAST 24" DRAIN BASIN WITH A DOME GRATE OR APPROVED EQUIVALENT, REFER TO DETAIL ON SHEET C6.4
(J) INSTALL 6" HDPE STORM DRAIN CLEANOUT AT GRADE
(K) 6" X 8" TEE
(L) INTERNAL ROOF DRAIN CONNECTION, SEE ARCH DRAWINGS FOR CONTINUATION
(M) CANOPY DOWNSPOUT CONNECTION, SEE ARCH DRAWINGS FOR CONTINUATION
(N) STORM DRAIN PIPE TO DAYLIGHT INTO INFILTRATING DETENTION POND WITH RIPRAP AT ENTRY

LEGEND

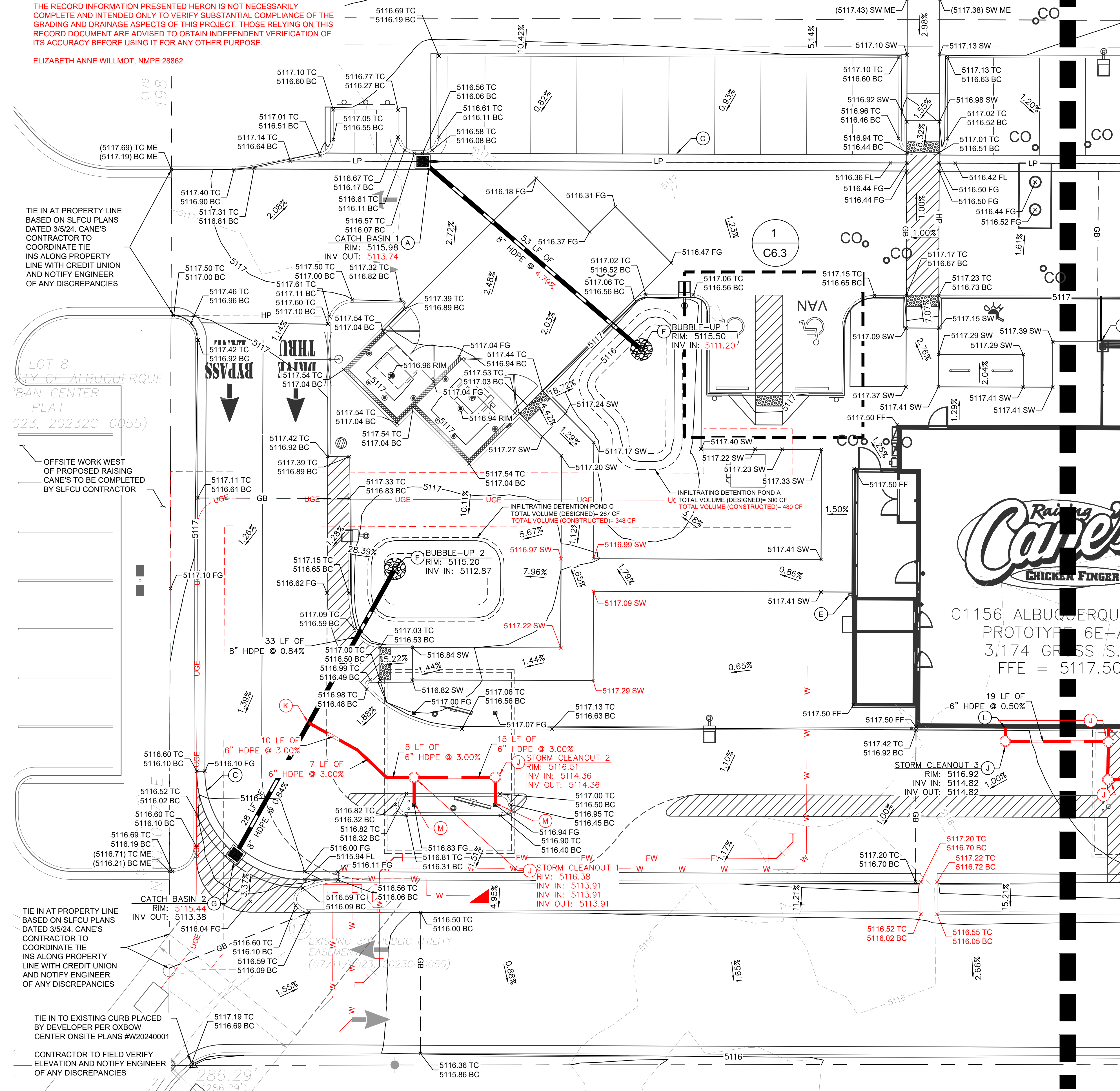
- PROPOSED PROPERTY LINE
--- ADJACENT PROPERTY LINE
- - - EXISTING CONTOUR
- - - PROPOSED CONTOUR
- - - PROPOSED FLOW ARROW WITH SLOPE
- - - PROPOSED SPOT ELEVATION
GB GRADE BREAK
FF FINISHED FLOOR
FG FUTURE GRADE
SW SIDEWALK
ME MATCH EXISTING ELEVATION
RIM TOP OF RIM ELEVATION
FL FLOW LINE
TC TOP OF CURB
BC BOTTOM OF CURB
--- GB --- PROPOSED GRADE BREAK
--- HP --- PROPOSED HIGH POINT
--- LP --- PROPOSED LOW POINT

GRADING NOTES

- 1. ALL CONSTRUCTION TO BE IN ACCORDANCE WITH THESE PLANS AND THE CITY/HAJH STANDARDS AND SPECIFICATIONS.
2. PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR SHALL MAKE CERTAIN THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED AND THOROUGHLY REVIEWED ALL PLANS AND OTHER DOCUMENTS APPROVED BY ALL OF THE PERMITTING AUTHORITIES.
3. THE GENERAL CONTRACTOR AND ALL SUB-CONTRACTORS SHALL VERIFY THE SUITABILITY OF ALL EXISTING AND PROPOSED SITE CONDITIONS INCLUDING GRADES AND DIMENSIONS BEFORE COMMENCEMENT OF ANY CONSTRUCTION. THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY OF ANY DISCREPANCIES. MINOR ADJUSTMENTS TO FINISH GRADE TO ACCOMPLISH SPOT DRAINAGE ARE ACCEPTABLE. IF NECESSARY, UPON PRIOR APPROVAL OF ENGINEER, PAVING INSTALLED SHALL "FLUSH OUT" AT ANY JUNCTURE WITH EXISTING PAVING.
4. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
5. ALL CUT OR FILL SLOPES SHALL BE 4:1 OR FLATTER UNLESS OTHERWISE NOTED.
6. CONTRACTOR SHALL ADJUST AND/OR CUT EXISTING PAVEMENT AS NECESSARY TO ASSURE A SMOOTH FIT AND CONTINUOUS GRADE.
7. CONTRACTOR SHALL ASSURE POSITIVE DRAINAGE AWAY FROM BUILDINGS FOR ALL NATURAL AND PAVED AREAS. TOPOGRAPHIC INFORMATION IS TAKEN FROM A TOPOGRAPHIC SURVEY BY LAND SURVEYORS. IF THE CONTRACTOR DOES NOT ACCEPT EXISTING TOPOGRAPHY AS SHOWN ON THE PLANS, WITHOUT EXCEPTION, THEN THE CONTRACTOR SHALL SUPPLY, AT THEIR EXPENSE, A TOPOGRAPHIC SURVEY BY A REGISTERED LAND SURVEYOR TO THE OWNER FOR REVIEW.
9. CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT BUILDING FOOTPRINT DIMENSIONS.
10. CONTRACTOR SHALL REFER TO FINAL GEOTECH REPORT FOR BUILDING SUBGRADE AND SITE PREPARATION REQUIREMENTS.
11. CONTRACTOR SHALL ADJUST EXISTING VALVES, MANHOLE RIMS, ETC. AS NECESSARY TO MATCH FINISHED GRADE.
12. ALL ELEVATIONS ARE TOP OF PAVEMENT UNLESS NOTED OTHERWISE. TO GET TOP OF CURB ELEVATIONS ADD 6" TO THE ELEVATION SHOWN.
13. GRADING FOR ALL SIDEWALKS AND ACCESSIBLE ROUTES INCLUDING CROSSING DRIVEWAYS SHALL CONFORM TO ADA STANDARDS. SLOPES SHALL NOT EXCEED 5% LONGITUDINAL SLOPE OR 2% CROSS SLOPE. SIDEWALK ACCESS TO EXTERNAL BUILDING DOORS SHALL BE ADA COMPLIANT. CONTRACTOR SHALL NOTIFY ENGINEER IMMEDIATELY IF ADA CRITERIA CANNOT BE MET AT ANY LOCATION.
14. ANY PROPOSED CONTOURS SHOWN ARE APPROXIMATE. PROPOSED SPOT ELEVATIONS AND DESIGNATED GRADIENT ARE TO BE USED IN THE EVENT OF ANY DISCREPANCIES.
15. REFER TO EROSION CONTROL PLAN FOR EROSION CONTROL DEVICES TO BE INSTALLED PRIOR TO COMMENCING GRADING OPERATIONS.
16. ALL FILL TO BE PLACED SHALL BE IN ACCORDANCE WITH THE CURRENT APPLICABLE GEOTECHNICAL REPORT RECOMMENDATIONS.
17. SIDE SLOPES OF ALL DETENTION PONDS NEED TO BE STABILIZED WITH NATIVE GRASS SEED (PER CITY SPEC 1012) WITH AGGREGATE MULCH OR EQUAL (MUST SATISFY THE "FINAL STABILIZATION CRITERIA" CGP 2.2.14.B).

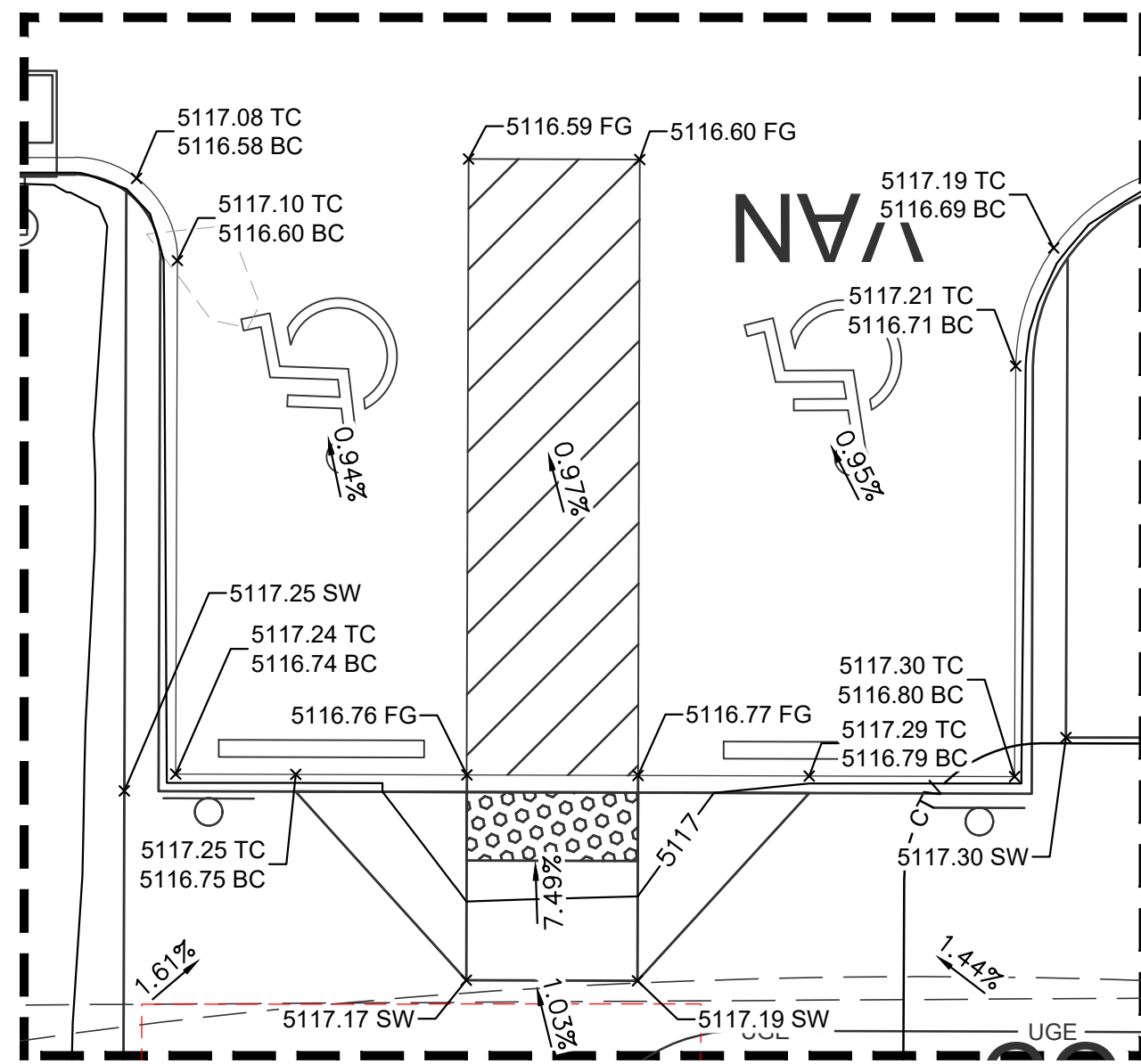
FLOODPLAIN NOTE

BY GRAPHIC PLOTTING ONLY, THIS PROPERTY IS IN ZONE "X" OF THE FLOOD INSURANCE RATE MAP (FIRM), COMMUNITY PANEL NO. 35001C0114H, WHICH BEARS AN EFFECTIVE DATE OF AUGUST 16, 2012 AND IS NOT IN A SPECIAL FLOOD HAZARD AREA.



Printed By: Willmot, Liz. Sheet Set: C1156 Albuquerque NM. Sheet Set: Layout: CDRD. 1 January 08, 2026 01:57:17pm. K:\SEA\_Civil\090042 - Raising Cane's\090042013 - C1156 - Coors & St. Josephs, Albuquerque NM\CAD\PlanSheets\A\submittal\C-GRADING PLAN\_submittal.dwg





1 ACCESSIBLE PARKING AND ACCESS AISLE  
SCALE 1" = 5'

**INTRODUCTION AND PROJECT DESCRIPTION:**

THE PROJECT SITE IS LOCATED AT THE SOUTHWEST CORNER OF THE INTERSECTION OF ST JOSEPHS DRIVE NW AND COORS BOULEVARD NW IN THE CITY OF ALBUQUERQUE, NM. THE SITE IS ZONED AND PLANNED FOR COMMERCIAL DEVELOPMENT, AND THE USE PROPOSED IS A RESTAURANT WITH DRIVE-THROUGH. AS SHOWN BY MAP NO. 35001C0114H OF THE NATIONAL FLOOD INSURANCE PROGRAM FLOOD INSURANCE RATE MAPS PUBLISHED BY FEMA FOR BERNALILLO COUNTY, NEW MEXICO DATED AUGUST 16, 2012, THE SITE IS LOCATED IN ZONE X AND IS NOT WITHIN A FLOOD HAZARD AREA.

**METHODOLOGY:**

CHAPTER 6 OF THE COA DPM WAS UTILIZED TO CALCULATE THE PEAK FLOW AND RUNOFF VOLUME FOR 10-YEAR AND 100-YEAR, 24-HOUR STORM EVENTS. THE SITE IS LOCATED IN PRECIPITATION ZONE 1. MASTER DEVELOPMENT DRAINAGE REPORT BY HUGH FLOYD, PE NO. 16633 ON 7/12/2024 DETERMINED ALLOWABLE PEAK DISCHARGE GENERATED BY THE SITE FOR DEVELOPED CONDITIONS TO BE 2.40 CFS.

**EXISTING CONDITIONS:**

THE SITE HISTORICALLY IS VACANT LAND. THE SITE HISTORICALLY SURFACE FLOWS TO THE SOUTHEAST CORNER OF THE SITE. THERE IS NO EXISTING STORMWATER INFRASTRUCTURE ONSITE. THE DEVELOPER WILL BUILD A PRIVATE STORMWATER SYSTEM PRIOR TO CANE'S CONSTRUCTION.

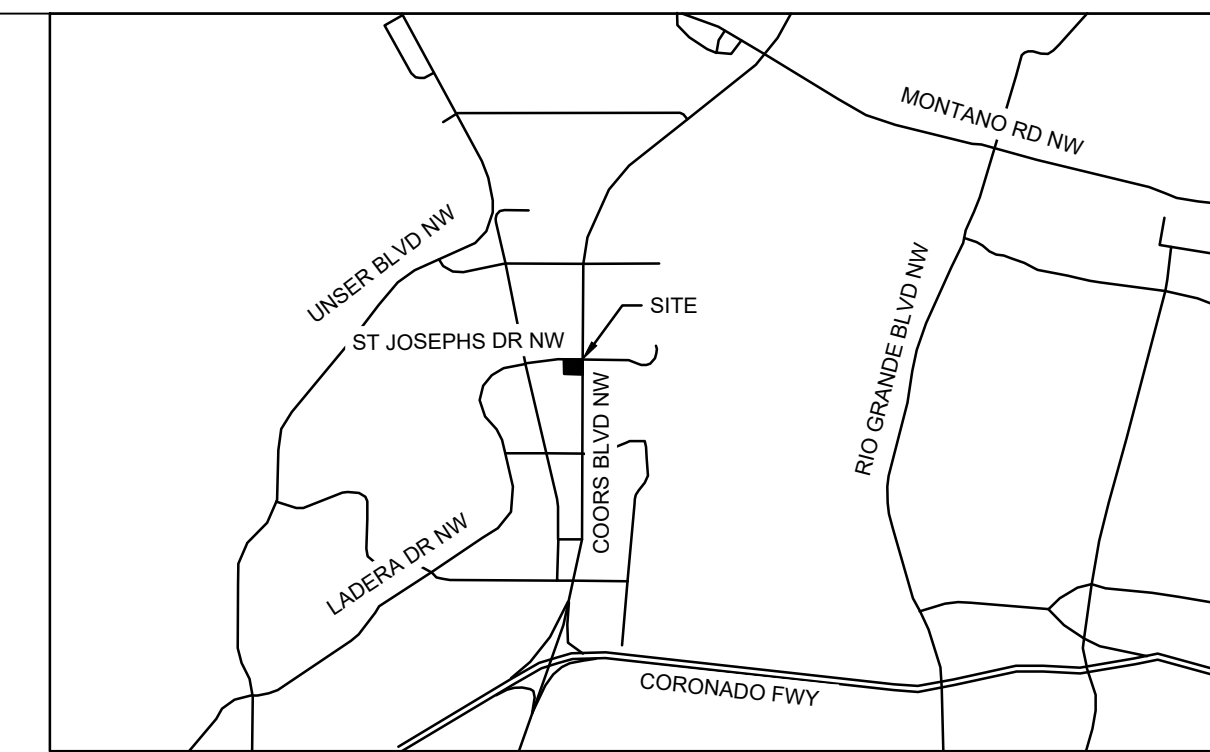
**PROPOSED CONDITIONS:**

THE PROJECT IMPROVEMENTS WILL INCLUDE INSTALLATION OF A RESTAURANT WITH DRIVE-THROUGH, CUSTOMER PARKING, SITE DRIVEWAYS, AND LANDSCAPE AREAS. THE PROJECT SITE GENERATES A PEAK FLOW OF 1.81 CFS IN THE 100-YEAR, 60-MINUTE STORM EVENT. THE PROPOSED DEVELOPMENT WILL INCREASE THE AMOUNT OF IMPERVIOUS COVER WHEN COMPARED TO THE EXISTING CONDITIONS AND PROPOSES DETENTION PONDS TO MITIGATE THE INCREASE IN RUNOFF THUS DECREASING THE PEAK DISCHARGE GENERATED BY THE SITE.

THE REQUIRED SWQ VOLUME IS 0.42 INCHES PER SF OF IMPERVIOUS AREA= 0.42\*(1 FT/12 IN)\* 36,847 SF= 1,263 CF. THE SITE HAS PROVIDED APPROXIMATELY 1,369 CF OF SWQV AND 2,968 CF OF STORAGE VOLUME IN DEPRESSED LANDSCAPE AREAS ON THE SITE.

**CONCLUSIONS:**

THE PROPOSED DEVELOPMENT WILL NOT INCREASE RUNOFF FROM THE SITE COMPARED TO PRE-DEVELOPED CONDITIONS. THE SITE WILL INFILTRATE AND DISCHARGE ANY ADDITIONAL RUNOFF TO A PRIVATE STORMWATER SYSTEM TO BE BUILT BY THE DEVELOPER IN THE SE CORNER OF THE SITE.



VICINITY MAP  
N.T.S.

**LEGEND**

- PROPOSED PROPERTY LINE
- ADJACENT PROPERTY LINE
- 15 --- EXISTING CONTOUR
- 15 --- PROPOSED CONTOUR
- 1.00% --- PROPOSED FLOW ARROW WITH SLOPE
- 14.50 --- PROPOSED SPOT ELEVATION
- GB --- GRADE BREAK
- FF --- FINISHED FLOOR
- FG --- FUTURE GRADE
- SW --- SIDEWALK
- ME --- MATCH EXISTING ELEVATION
- RIM --- TOP OF RIM ELEVATION
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ELIZABETH ANNE WILLMOT, NMPE 28862



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WEIGHTED E CALCULATIONS (DEVELOPED CONDITION)																			
	Basin	Area (SF)	Area (AC)	Treatment A				Treatment B		Treatment C		Treatment D		100- Year			10- Year		
				Acres	%	Acres	%	Acres	%	Acres	%	Weighted E	Volume	Flow	Weighted E	Volume	Flow		
	DA 1	11,326	0.26	0.00	0%	0.00	0%	0.063	24%	0.194	75%	1.90	0.041	0.98	1.17	0.03	0.59		
	DA 2	12,632	0.29	0.00	0%	0.00	0%	0.082	28%	0.211	73%	1.90	0.046	1.10	1.16	0.03	0.66		
	DA 3	11,761	0.27	0.00	0%	0.00	0%	0.095	35%	0.176	65%	1.79	0.040	1.00	1.08	0.02	0.59		
	DA 4	18,295	0.42	0.00	0%	0.00	0%	0.076	18%	0.341	81%	1.99	0.070	1.62	1.24	0.04	0.99		
	Bypass 1	2,614	0.06	0.00	0%	0.00	0%	0.053	88%	0.008	13%	1.14	0.006	0.19	0.57	0.00	0.10		

Excess Precipitation E (in)		
Zone 1	100-Year	10-Year
Ea	0.55	0.11
Eb	0.73	0.26
Ec	0.95	0.43
Ed	2.24	1.43

Peak Discharge (cfs/acre)		
Zone 1	100-Year	10-Year
Qa	1.54	0.3
Qb	2.16	0.81
Qc	2.87	1.46
Qd	4.12	2.57

SWQ VOL	
Impervious Area (sf)	36,847
SWQ VOL Required (CF)*	1,263
SWQ VOL Provided (CF)	1,369
*0.42 in per impervious SF	



Restaurant Support Office  
6800 Bishop Road, Plano, TX 75024  
Tele: 972-765-3100 Fax: 972-769-3101

Store: **Coors & St. Joseph**  
**Albuquerque, NM**  
**Restaurant #C1156**  
**P6E-AV**

**Kimley»Horn**

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1201 Third Ave.  
Suite 2800  
Seattle, WA 98101  
CONTACT:  
LIZ WILLMOT, P.E.  
(206) 677-8610  
LIZ.WILLMOT@KIMLEY-HORN.COM



Prototype :	6E-AV
Prototype Issue Date:	09/2022
Kitchen Issue Date:	04/14/2023
Design Bulletin Updates:	INCLUDED
Date Issued:	05/2023
Bulletin Number:	VERSION 2023-1.0

**FOR CONSTRUCTION**

ISSUED	DATE	DESCRIPTION
	06.17.2024	80% REVIEW
	03.11.2025	PERMIT SET
	08.15.2025	CONSTRUCTION SET
	01.08.2026	ASBUILT DRAWINGS

Sheet Title:  
**GRADING AND STORM DRAINAGE PLAN**

Date:  
Project Number: 090042013  
Drawn By: SP Checked By: LW

Sheet Number:

**C6.3(R)**

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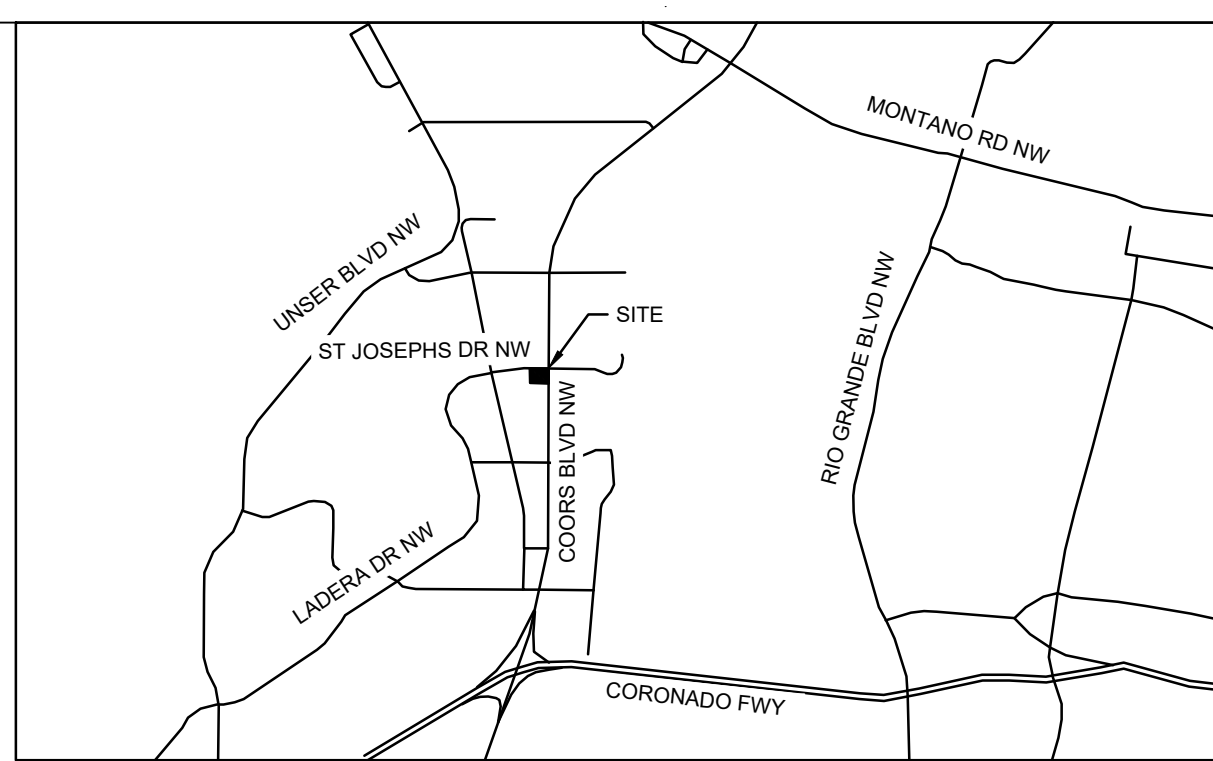
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ELIZABETH ANNE WILLMOT, NMPE 28862

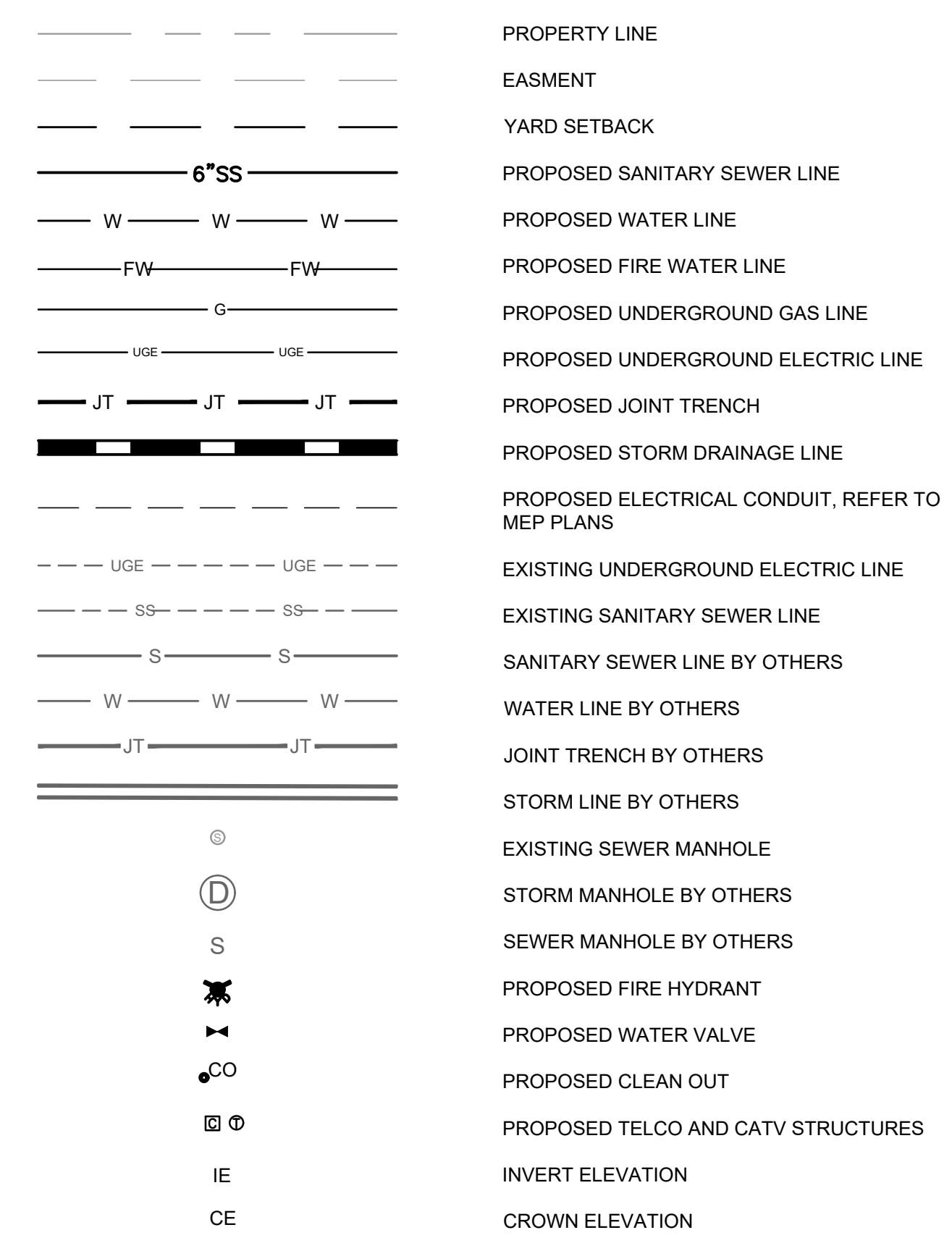


**ST. JOSEPH'S DRIVE NW**  
(ROW VARIES)

**WARNING!**  
ELEVATIONS ARE ASSUMED BASED ON OXBOW CENTER ONSITE PLANS FROM 6/12/2024. CONTRACTOR TO VERIFY POTHOLE EXISTING SEWER CAP TO DETERMINE EXACT LOCATION AND ELEVATION AND NOTIFY ENGINEER OF ANY DISCREPANCIES PRIOR TO THE START OF ANY ONSITE UTILITY CONSTRUCTION.



**UTILITY LEGEND**



**WATER KEYNOTE LEGEND**

1	BUILDING POINT OF CONNECTION, REFER TO MEP PLANS FOR CONTINUATION
2	2" HDPE OR TYPE "K" COPPER DOMESTIC WATERLINE, LENGTH PER PLAN. TRENCH, BEDDING, AND BACKFILL PER ABCWUA STD SPECS 701. BACKFLOW PREVENTER WILL BE LOCATED WITHIN BUILDING, REFER TO MEP.
3	3/4" TYPE "K" COPPER WATER TO CANOPY AND TRASH ENCLOSURE, LENGTH PER PLAN, REFER TO MEP PLANS FOR BUILDING CONNECTIONS
4	REDUCED PRESSURE BACKFLOW ASSEMBLY FOR IRRIGATION SYSTEM PER ABCWUA STANDARD DRAWING NUMBER 2385. ALL RPBA MUST BE ON THE LIST OF CITY APPROVED DEVICES. REFER TO LANDSCAPE PLANS FOR CONTINUATION.
5	CONTRACTOR TO ROTATE THE EXISTING 2" WATER METER BOX PER ABCWUA STANDARD DRAWING NUMBER 2363
6	CONTRACTOR TO ROTATE THE EXISTING 1" WATER METER BOX PER ABCWUA STANDARD DRAWING NUMBER 2362
7	PRIVATE VALVE TO BE INSTALLED PER ABCWUA STANDARD DRAWING NUMBER 2326
8	6" PVC C900 DR18 FIRE WATERLINE, LENGTH PER PLAN. TRENCH, BEDDING, AND BACKFILL PER ABCWUA STD SPECS SECTION 701.
9	PRIVATE FIRE HYDRANT PER ABCWUA STANDARD DRAWING 2340
10	45 DEGREE BEND WITH THRUST BLOCKS PER ABCWUA STD DWG 2320
11	PUBLIC VALVE TO BE INSTALLED PER ABCWUA STANDARD DRAWING NUMBER 2326

**SEWER KEYNOTE LEGEND**

1	CONNECT TO EXISTING SEWER SERVICE WITH CLEANOUT
2	SEWER CLEANOUT
3	6" PVC SDR 35 SEWER PIPE, LENGTH AND SLOPE PER PLAN, INSTALL TRENCH BEDDING AND BACKFILL PER CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS SECTION 700
4	INSTALL PRECAST 1500-GAL GREASE INTERCEPTOR, REFER TO MEP PLANS FOR DETAILS
5	4" SCHEDULE 40 PVC SEWER PIPE, LENGTH AND SLOPE PER PLAN. INSTALL TRENCH BEDDING AND BACKFILL PER CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS SECTION 700
6	INSTALL DRAIN IN TRASH ENCLOSURE. PROVIDE VENT TO EACH TRASH ENCLOSURE DRAIN, REFER TO ARCH PLANS FOR DETAILS
7	CONNECT TO BUILDING SEWER, INVERT PER PLAN. REFERENCE MEP PLANS FOR CONTINUATION.
8	2" VENT, REFER TO MEP PLANS FOR DETAILS.

**CROSSING TABLE**

#	CROSSING	TOP PIPE INVERT ELEVATION (IE)	BOTTOM PIPE CROWN ELEVATION (CE)	CLEARANCE
1	8" STORM OVER 4" SSWR	8' - 5113.27'	6' - 5111.77'	1.51'
2	6" WATER OVER 4" SSWR	6' - 5113.67'	4' - 5111.76'	1.91'
3	6" WATER OVER 6" SSWR	6' - 5113.65'	6' - 5111.94'	1.71'
4	(NOT USED)			
5	4" SSWR OVER 2" WATER	4' - 5113.06'	2' - 5111.56'	1.50'
6	(NOT USED)			
7	6" SSWR OVER 2" WATER	6' - 5113.06'	2' - 5111.56'	1.50'
8	(NOT USED)			

**RESPONSIBILITY OF FRANCHISE UTILITY SERVICE**

	UTILITY COMPANY	GENERAL CONTRACTOR
<b>ELECTRIC SERVICE</b>		
INSTALL CONDUIT FROM FEED POINT TO TRANSFORMER	---	X
POUR TRANSFORMER PAD	---	X
INSTALL CONDUIT FROM TRANSFORMER TO REMOTE METER	---	X
INSTALL CONDUIT & WIRE FROM REMOTE METER TO THE DISCONNECT ON THE BUILDING	---	X
PULL WIRE FROM FEED POINT TO TRANSFORMER	X	---
PULL WIRE FROM TRANSFORMER TO THE REMOTE METER	N/A	N/A
SET TRANSFORMER	X	---
<b>GAS SERVICE</b>		
TRENCH AND BACKFILL	---	X
INSTALL PIPE AND SET METER	X	---
<b>TELEPHONE SERVICE</b>		
SERVICE FROM ROW TO BUILDING	X	---
CONDUIT FROM ROW TO BUILDING	---	X

NOTE: IT IS THE CONTRACTORS RESPONSIBILITY TO VERIFY THIS INFORMATION IMMEDIATELY UPON START OF CONSTRUCTION.

**DRY UTILITY KEYNOTE LEGEND**

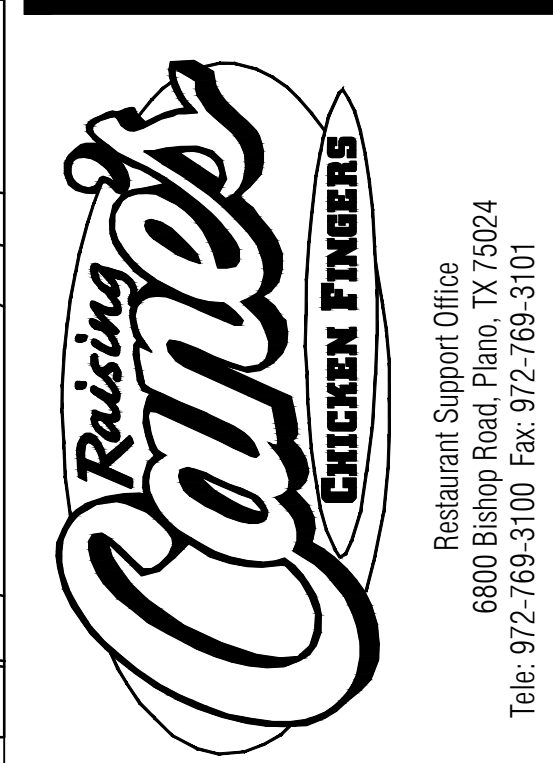
1	3-PHASE TRANSFORMER PAD PER UTILITY COMPANY REQUIREMENTS, REFER TO E4 PLANS. METER WILL BE SET ON TRANSFORMER.
2	ELECTRIC SERVICE, REFER TO E4 PLANS
3	TELECOM SERVICE, REFER TO E4 PLANS
4	TELECOM PULL BOX, REFER TO E4 PLANS
5	CATV PEDESTAL, REFER TO E4 PLANS
6	GAS SERVICE, REFER TO E4 PLANS
7	CONDUIT TO MENU BOARDS, REFER TO MEP PLANS
8	CATV SERVICE, REFER TO E4 PLANS

**UTILITY NOTES**

- SEE MEP PLANS FOR ALL UTILITY CONNECTIONS INTO BUILDING.
- REFER TO ABCWUA STANDARD AND DETAILS FOR TRENCHING, BEDDING, BACKFILL, AND TRENCH COMPACTION REQUIREMENTS.
- REFER TO ARCHITECTURAL/MEP PLANS FOR LOCATION AND SIZING OF SLEEVES FOR FRANCHISE UTILITIES, IRRIGATION, ETC.
- CONTRACTOR SHALL NOTIFY THE UTILITY AUTHORITIES INSPECTORS 72 HOURS BEFORE CONNECTING TO ANY EXISTING LINE.
- SANITARY SEWER PIPE SHALL BE AS FOLLOWS:  
PRIVATE (4" AND SMALLER): SCHEDULE 40 PVC  
PRIVATE (6" AND LARGER): PVC SDR 35 PER ASTM D 3034  
DRAINAGE FITTINGS OR APPROVED MANHOLES SHALL BE USED TO CONNECT BUILDING SEWERS TO UTILITY LINES ON PRIVATE PROPERTY. ALL BUILDING SEWERS MAY BE CONSTRUCTED OF SDR 26 PVC (ASTM 3034) PIPING. CHANGE BY ADDITION TO 2021 UPC-715.1 2022 C.O.A. UNIFORM.
- WATER LINES SHALL BE AS FOLLOWS:  
PRIVATE (2 INCH): HIGH DENSITY POLYETHYLENE (HDPE), 200 PSI, CTS, SDR 9, OR TYPE "K" COPPER  
PRIVATE (SMALLER THAN 2 INCHES): SEAMLESS, SOFT-ANNEALED, TYPE "K" SOFT COPPER, ASTM B88  
CONTRACTOR IS RESPONSIBLE FOR COMPLYING TO THE SPECIFICATIONS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
- CONTRACTOR IS RESPONSIBLE FOR ALL NECESSARY PERMITS, INSPECTIONS AND/OR CERTIFICATIONS REQUIRED BY CITY CODES AND/OR UTILITY SERVICE COMPANIES.
- CONTRACTOR SHALL COORDINATE WITH ALL UTILITY COMPANIES FOR INSTALLATION REQUIREMENTS AND SPECIFICATIONS IN REGARDS TO TAPS, HYDRANTS, VALVES, ETC.
- CONTRACTOR IS RESPONSIBLE FOR PAVEMENT REPLACEMENT REQUIRED FOR ALL UTILITY INSTALLATIONS PER CITY STANDARDS.
- CONTRACTOR SHALL MAINTAIN A MINIMUM OF 3 FEET COVER ON ALL WATER LINES OR AS PER ABCWUA REQUIREMENTS.
- POLYFLEX BY ADS TO BE USED IN PLACE OF COPPER WHERE ALLOWED BY ABCWUA. CONTRACTOR TO VERIFY WITH ABCWUA WHETHER IT CAN BE USED AND VERIFY WITH MEP REQUIRED INTERNAL DIAMETER FOR SUFFICIENT WATER FLOW TO BUILDING.
- ALL SOURCES OF LIGHT VISIBLE FROM THE EXTERIOR OF A PROPERTY SHALL COMPLY WITH THE STANDARDS OF THIS SECTION 14-16-5-8, UNLESS SPECIFIED OTHERWISE IN THIS IDO. THIS INCLUDES THE USE OF OUTDOOR LIGHTING, HOURS OF OPERATION, AND REGULATION OF LIGHT TRESPASS.



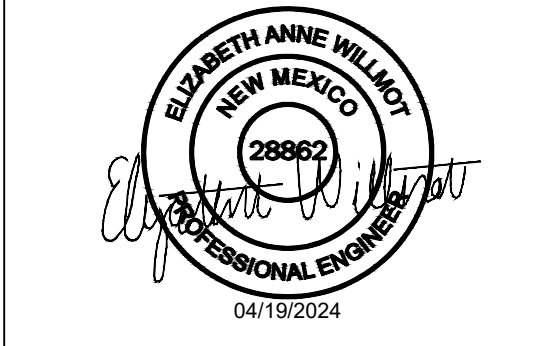
**CAUTION!!**  
CONTRACTOR IS TO VERIFY PRESENCE AND EXACT LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION.



Store: **Coors & St. Joseph**  
**Albuquerque, NM**  
**Restaurant #C1156**  
**P6E-AV**

**Kimley»Horn**

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Prototype:	6E-AV
Prototype Issue Date:	09/2022
Kitchen Issue Date:	04/14/2023
Design Bulletin Updates:	INCLUDED
Date Issued:	05/2023
Bulletin Number:	VERSION 2023-1.0

**FOR CONSTRUCTION**

ISSUED	DATE	DESCRIPTION
	06.17.2024	80% REVIEW
	03.11.2025	PERMIT SET
	08.15.2025	CONSTRUCTION SET
	01.08.2026	ASBUILT DRAWINGS

**UTILITY PLAN**

Date: 1/8/2026  
Project Number: 090042013  
Drawn By: SP  
Checked By: LW

Sheet Number: **C7.0(R)**

Plotted By: Willmot, Liz; Sheet Set: C1156 Albuquerque NM; Sheet Set: Layout: UTILITY PLAN; January 08, 2026 01:28:15 pm; K:\SEA\_Civil\090042 - Raising Cane's\090042013 - C1156 - Coors & St. Josephs Albuquerque NM\CADD\PlanSheets\Asbuilt\UTILITY PLAN\_asbuilt.dwg