

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

October 10, 2025

Jonathan Turner
Consensus Planning, Inc.
302 8th Street NW
Albuquerque NM, 87102

turner@consensusplanning.com

Re: IN-N-OUT Burger
3811 Coors NW
Albuquerque, NM 87120
Traffic Circulation Layout
Engineer's Stamp 8-4-25 (G11D067G) TRANS-2025-00195

Dear Mr. Turner,

PO Box 1293

The TCL resubmittal received 10-10-25 is approved for Building Permit by Transportation. A copy of the stamped and signed plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation.

Albuquerque

When the site construction is completed and an inspection for Certificate of Occupancy (C.O.) is requested, use the original City stamped approved TCL for certification. Redline any minor changes and adjustments that were made in the field. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification, and the TCL to the [ABQ-PLAN](#) for log in and evaluation by Transportation.

NM 87103

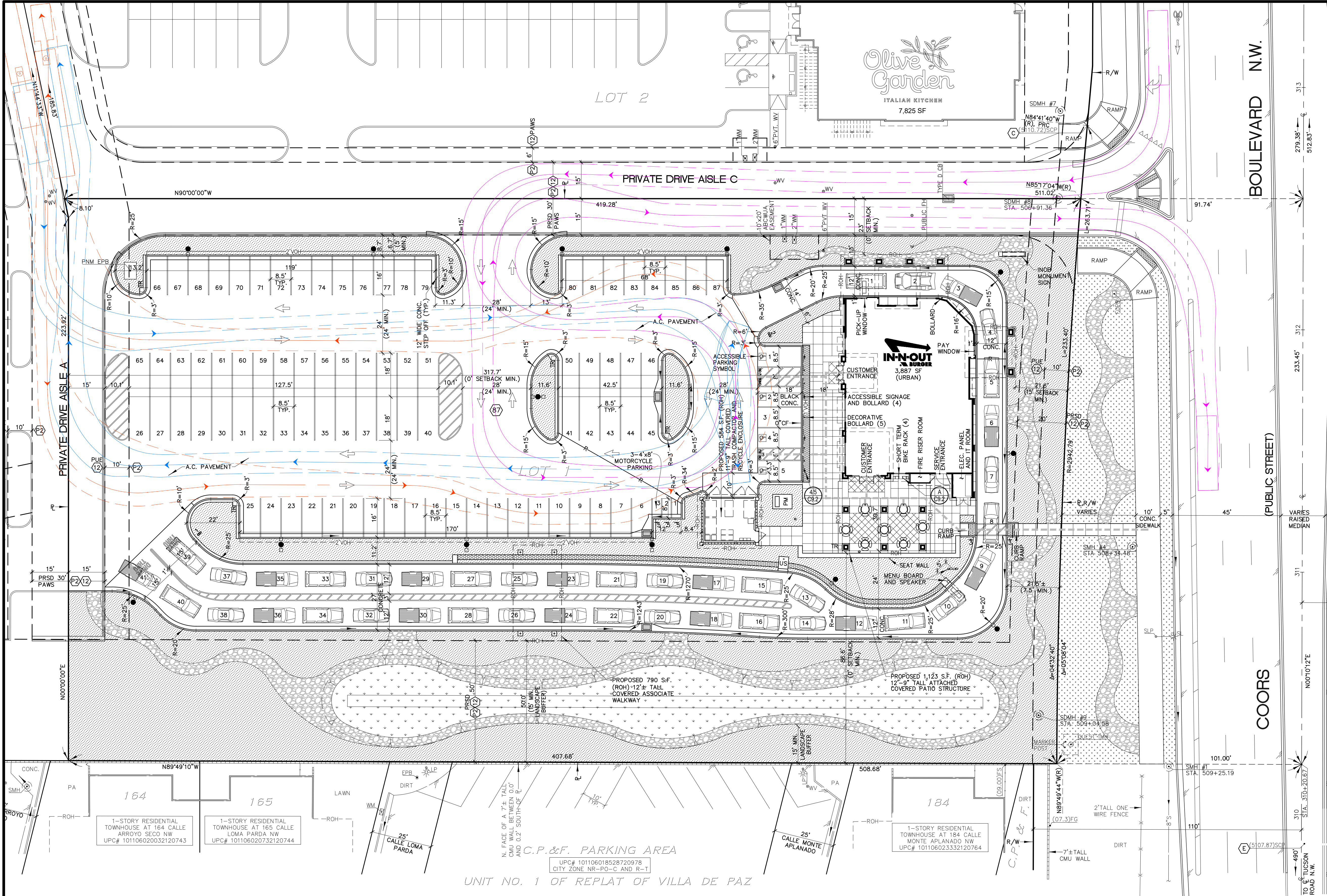
www.cabq.gov

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3690.

Sincerely,

Sertil A. Kanbar

Sertil Kanbar, PhD, PE, CFM
Sr. Engineer, Planning Dept.
Development Review Services

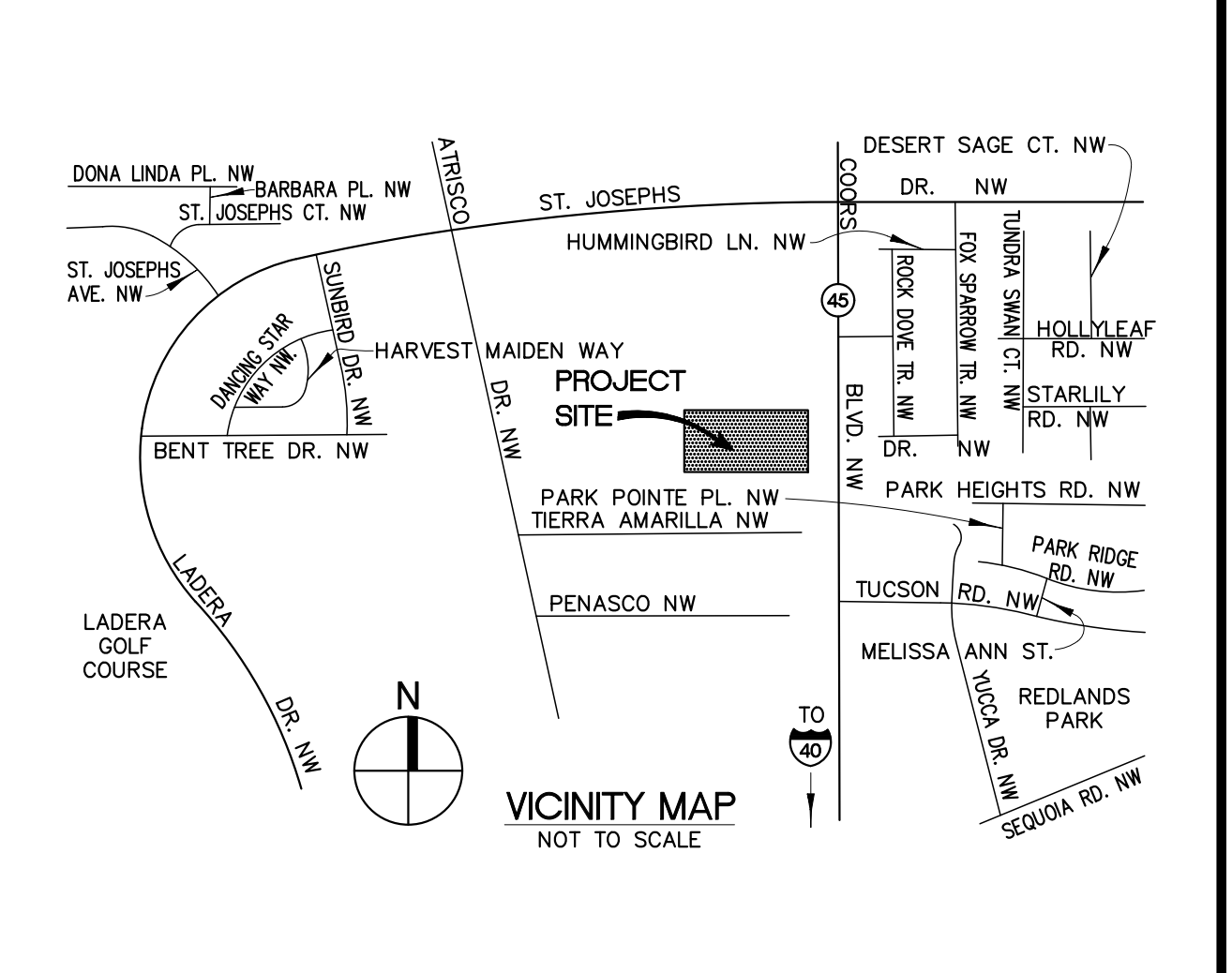


- GENERAL NOTES**
- IN-N-OUT BURGER PREMISES AREA = 95,586 SQUARE FEET OR 2.194 ACRES.
 - EXISTING CITY ZONE: NR-C (NON-RESIDENTIAL - COMMERCIAL)
COORS BOULEVARD CHARACTER PROTECTION OVERLAY (CPO-2).
 - GENERAL PLAN LAND USE DESIGNATION: VACANT.
 - EXISTING LAND USE: VACANT LAND.
PROPOSED LAND USE: NEW IN-N-OUT BURGER SIT DOWN RESTAURANT WITH A DRIVE-THRU LANE PERMITTED AS AN ACCESSORY USE IN THE CITY ZONE.
 - PROPOSED SCOPE OF WORK:
(A) CONSTRUCT A 3,887 SQUARE FOOT SIT-DOWN (84 SEATS INSIDE) RESTAURANT BUILDING, A 41 VEHICLE LONG DRIVE THRU QUEUE AND 87 SPACE SHARED SURFACE PARKING LOT.
 - IN-N-OUT BURGER URBAN BUILDING AREA = 3,887 S.F.
ATTACHED COVERED PATIO STRUCTURE ROOF OVERHANG = 1,123 S.F.
COVERED TRASH ENCLOSURE ROOF OVERHANG = 584 S.F.
COVERED ASSOCIATE CANOPY ROOF OVERHANG = 790 S.F.
INDOOR SEATING = 84 SEATS.
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 - LANDSCAPE AREA PROVIDED WITHIN PROPERTY = 34,342 S.F. (35.9%).

IN-N-OUT BURGER PARKING SPACE DETAILED SUMMARY TABLE

DESCRIPTION	REQUIRED	PROPOSED
1. STANDARD SPACE (8.5'x18')	36	40
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5. MOTORCYCLE SPACE (4'x8')	2	3
6. TOTAL	40	90
7. IN-N-OUT BURGER DRIVE THRU VEHICLE QUEUE (20' LONG INOB VEHICLE)	12	41
8. SHORT-TERM BICYCLE PARKING WITHIN DESIGNATED BIKE RACK	3	4
9. LONG-TERM BICYCLE PARKING WITHIN A LOCKABLE PERMANENTLY ANCHORED LOCKER ON A CONCRETE SLAB-AMERICAN BICYCLE SECURITY COMPANY BIKE-SHELL MODEL 302, FINISH: MEDIUM GRAY	0	0

13. ALL NEW SIGNS SHALL BE APPROVED BY A SEPARATE CITY PERMIT.
14. ASSESSOR PARCEL NUMBERS: PORTION OF UPC 101106018038720705.
15. EXISTING TREES ONSITE = 0.
16. SITE PLAN SHALL MEET ALL ENGINEERING AND NPDES REQUIREMENTS.



INOB Delivery Truck - Large

Tractor Width : 8.00
Trailer Width : 8.50
Tractor Track : 8.00
Trailer Track : 8.50

Lock to Lock Time : 6.0
Steering Angle : 28.4
Articulating Angle : 75.0

Fire Truck - Pumper

Width : 7.76
Track : 15.00
Lock to Lock Time : 6.0
Steering Angle : 35.9

Garbage Frontload

Width : 6.56
Track : 17.72
Lock to Lock Time : 8.53
Steering Angle : 27.7

LEGEND

- Autoturn Generated Body Envelope
- Path of Travel for an IN-N-OUT Burger Delivery Truck
- Autoturn Generated Body Envelope
- Path of Travel for a Pumper Fire Truck
- Autoturn Generated Body Envelope
- Path of Travel for a Front Load Solid Waste Truck

TRAFFIC CIRCULATION LAYOUT APPROVED

Sertil A. Kanbar 10/10/2025

Signed Date

GRAPHIC SCALE
SCALE: 1"=20'

PROJECT NORTH TRUE NORTH

IN-N-OUT BURGER

DEVELOPER:
IN-N-OUT BURGER
13502 HAMBURGER LANE
BALDWIN PARK, CA 91706
CONTACT: TODD SMITH
PHONE: 626 813-5399
CONTACT: DANIEL POCUIS
PHONE: 626 813-8275

Underground Service Alert

Call: Toll Free 811

TWO WORKING DAYS BEFORE YOU DIG

REVISIONS

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Apogee

ARCHITECTURAL PARTNERS

16775 ADDISON ROAD, SUITE 350
ADDISON, TX 75001
PH: (972) 560-2222

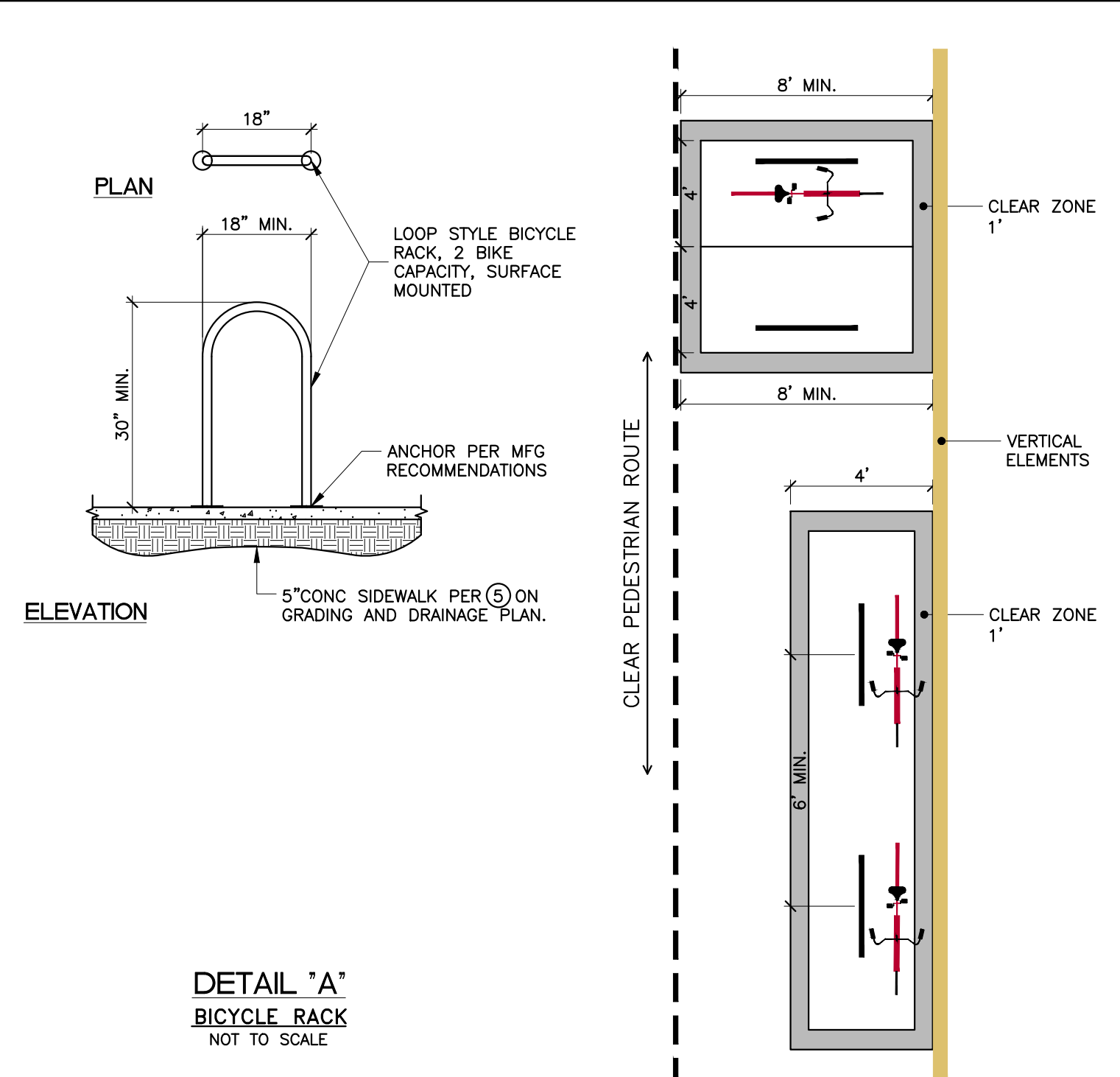
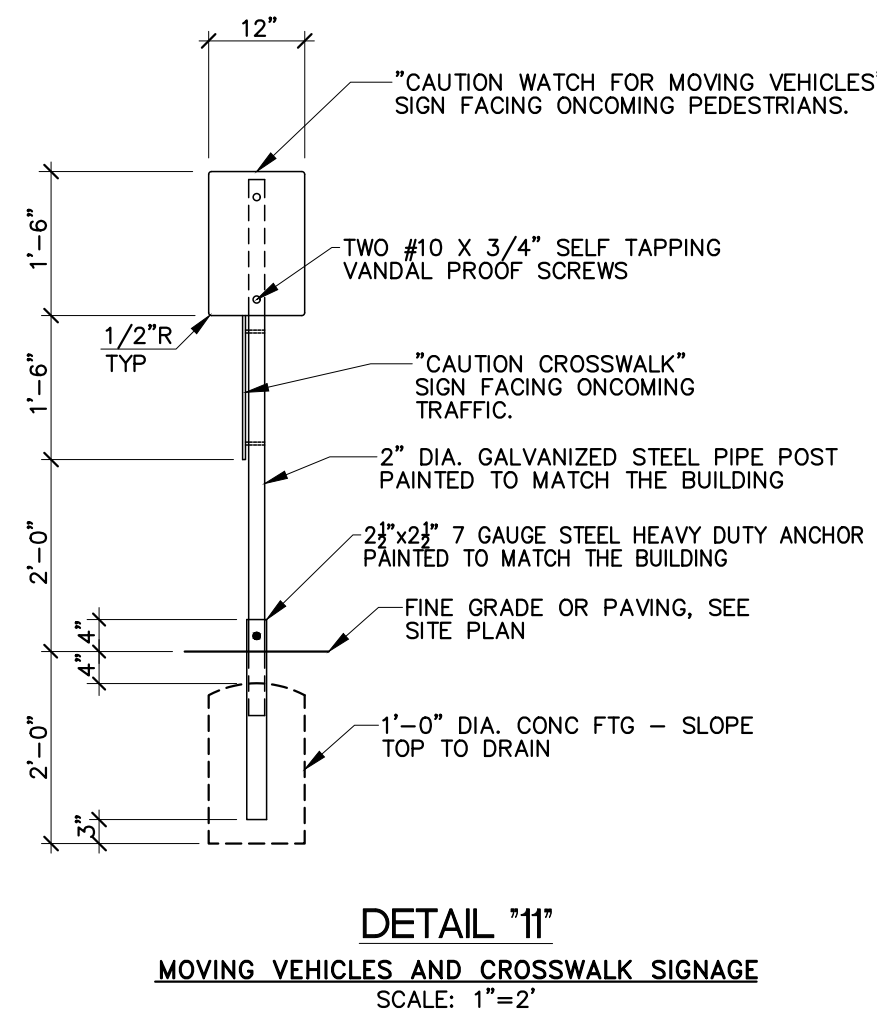
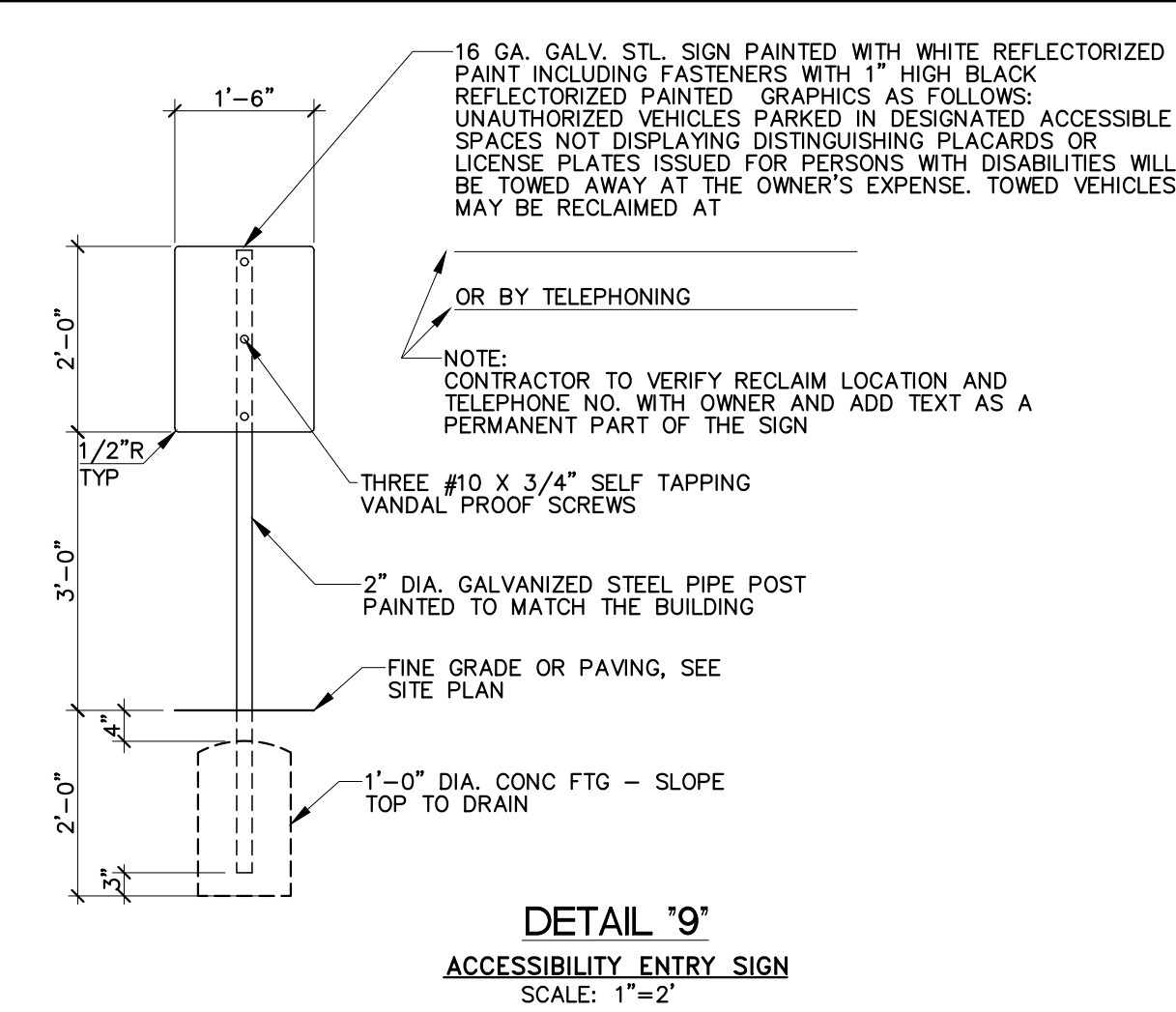
CIVIL ENGINEER:
MSL ENGINEERING, INC.
CIVIL ENGINEERS AND LAND SURVEYORS SPECIALIZING IN SITE DEVELOPMENT
301 NORTH SAN DIMAS AVENUE, SAN DIMAS, CA. 91773
(909) 305-2395 FAX (909) 305-2397

AARON D. FELLOW R.C.E. 27112

IN-N-OUT BURGER
LOT 1 OF OXBOW CENTER
SWQ OF ST JOSEPHS DRIVE NW
& COORS BOULEVARD NW
ALBUQUERQUE, NM 87120

TRAFFIC CIRCULATION PLAN

C9.1



**TRAFFIC CIRCULATION
LAYOUT APPROVED**

Sertil A. Kanbar 10/10/2025

Signed _____ Date _____

Underground Service Alert
Call: Toll Free
811
TWO WORKING DAYS
BEFORE YOU DIG

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APOGEE PROJECT NO. -----



Apogee
Architectural Partners
A Spirit Leaf Company

16775 ADDISON ROAD, SUITE 350
ADDISON, TX 75001
PH: (469) 960-2322

CIVIL ENGINEER:

MSI ENGINEERING, INC.

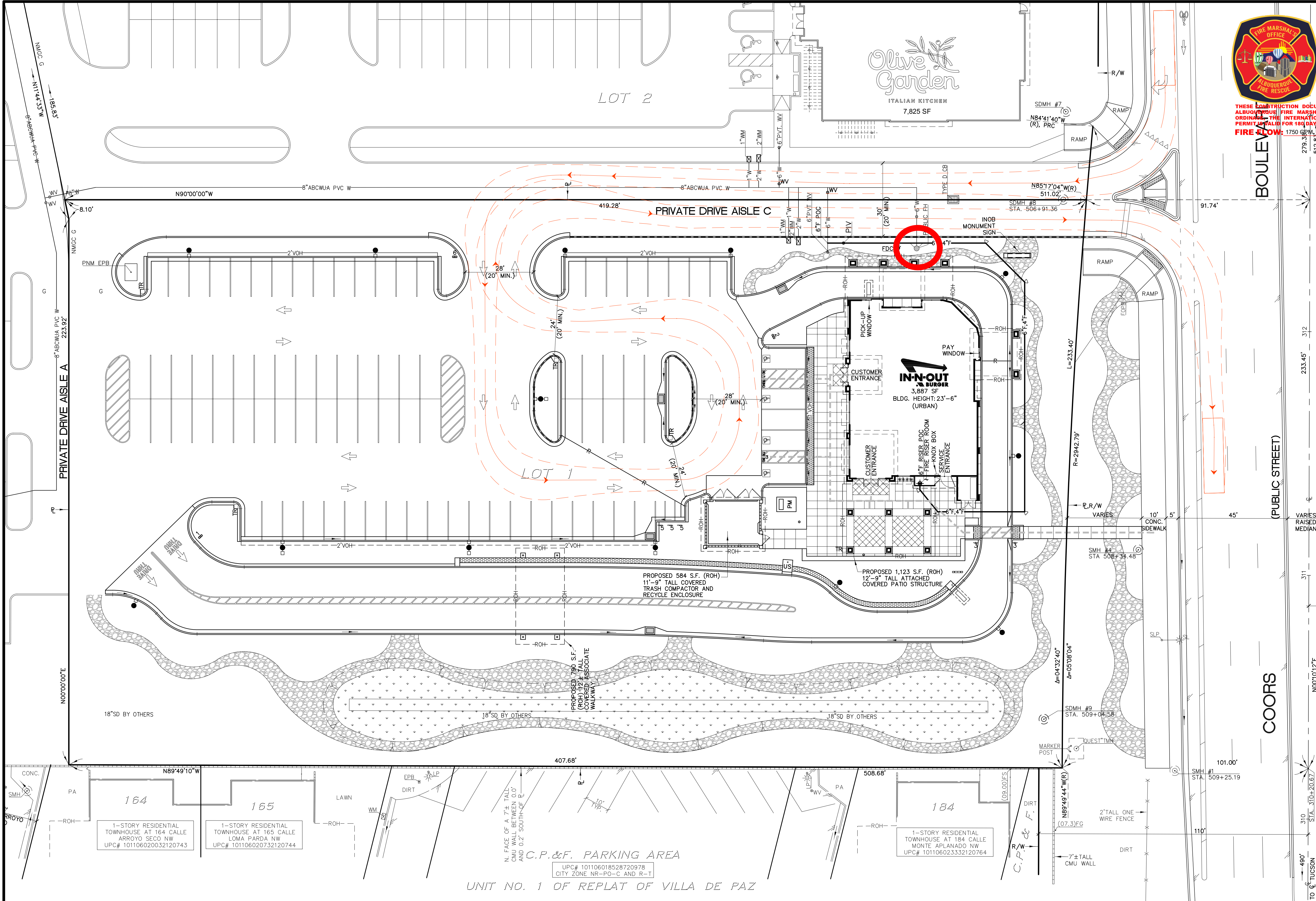
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(909) 305-2395 FAX (909) 305-2397

Aaron D. Pellow

AARON D. PELLOW R.C.E. 27112 08-04-2025
DATE

TRAFFIC CIRCULATION PLAN DETAIL SHEET

C9.2



ALBUQUERQUE FIRE MARSHAL'S
DIVISION OFFICE PLANS
CHECKING DIVISION
PERMIT
PERMIT NUMBER: 121772
APPROVED DATE: 12/17/2024
APPROVED

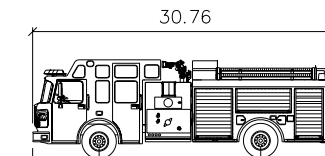
THESE CONSTRUCTION DOCUMENTS WERE REVIEWED AND APPROVED FOR THE PROPOSED PATH OF TRAVEL BODY ENVELOPE FOR A ALBUQUERQUE
ALBUQUERQUE FIRE MARSHAL'S OFFICE IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE FIRE DEPARTMENT CONNECTION PER LOCAL FIRE
ORDINANCE, THE INTERNATIONAL FIRE CODE, AND NFPA STANDARDS.
PERMIT VALID FOR 180 DAYS. FINAL INSPECTION IS REQUIRED.
FIRE DEPARTMENT: 1750 GLENVIEW CONSTRUCTION, 1 HYDRANT

- PROPERTY LINE.
IN-N-OUT BURGER.
ADA ACCESSIBLE PATH OF TRAVEL. ACCESSIBLE PATH OF TRAVEL IS NOT
LESS THAN 4 FEET WIDE, AND DOES NOT EXCEED A RUNNING SLOPE OF 1:20
(5%) OR A CROSS SLOPE IN EXCESS OF 1:50 (2%).
FIRE LANE ENTRANCE SIGN AND POST. REFER TO FIRE ORD. 503.3.1 FOR FIRE
LANE CURB MARKING REQUIREMENTS.

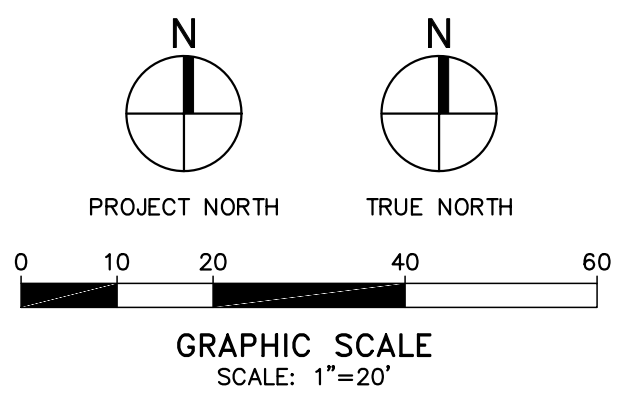
GENERAL NOTES

- ASSESSOR PARCEL NUMBER: PORTION OF UPC 101106016038720705
- BUILDING AREA: 3,887 SQ. FT.
COVERED PATIO STRUCTURE: 1,123 S.F. (ROH) 12'-9" TALL
COVERED TRASH ENCLOSURE: 584 SQ. FT.
COVERED ASSOCIATE CANOPY: 790 SQ. FT.
- THE AREA OF THIS SUBJECT PROPERTY IS 95,586 SQUARE FEET OR 2.194 ACRES.
- BUILDING OCCUPANCY CLASSIFICATION: A-2
- BUILDING USE: 100% SINGLE SERVICE FAST FOOD WITH A DRIVE THRU.
- CONSTRUCTION TYPE: V-B
- MAXIMUM BUILDING HEIGHT: ONE STORY WITH 23'-6" FEET TO TOP OF TOWER.
- SPRINKLERED: YES, NFPA 13.
- ACCESS ROADS WILL BE DESIGNED AND MAINTAINED BY THE
CONTRACTOR/BUILDER AND ACCESS SURFACE WILL BE ABC COMPACTED TO
SUPPORT 75,000 LBS.
- FIRE DEPARTMENT ACCESS ROADS SHALL BE 24' MINIMUM WIDE WITH A
MINIMUM VERTICAL CLEARANCE OF 15' AND WILL NOT HAVE A GRADE GREATER
THAN 8 PERCENT.

REFER TO THE LEGEND AND CONSTRUCTION NOTES
SHOWN ON SHEET C30.1 FOR ABBREVIATIONS AND
SYMBOLS SHOWN ON THIS SHEET.



Fire Truck - Pumper
Width : 8.25
Track : 6.00
Lock to Lock Time : 6.0
Steering Angle : 35.9



NOTE:
REQUIRED FIRE FLOW PER IFC APPENDIX B105.2 =1,500 GPM FOR 2 HOURS.



DEVELOPER:
IN-N-OUT BURGER
13502 HAMBURGER LANE
BALDWIN PARK, CA 91706
CONTACT: BRIGID WILLIAMS
PHONE: 626 813-5398



REVISIONS
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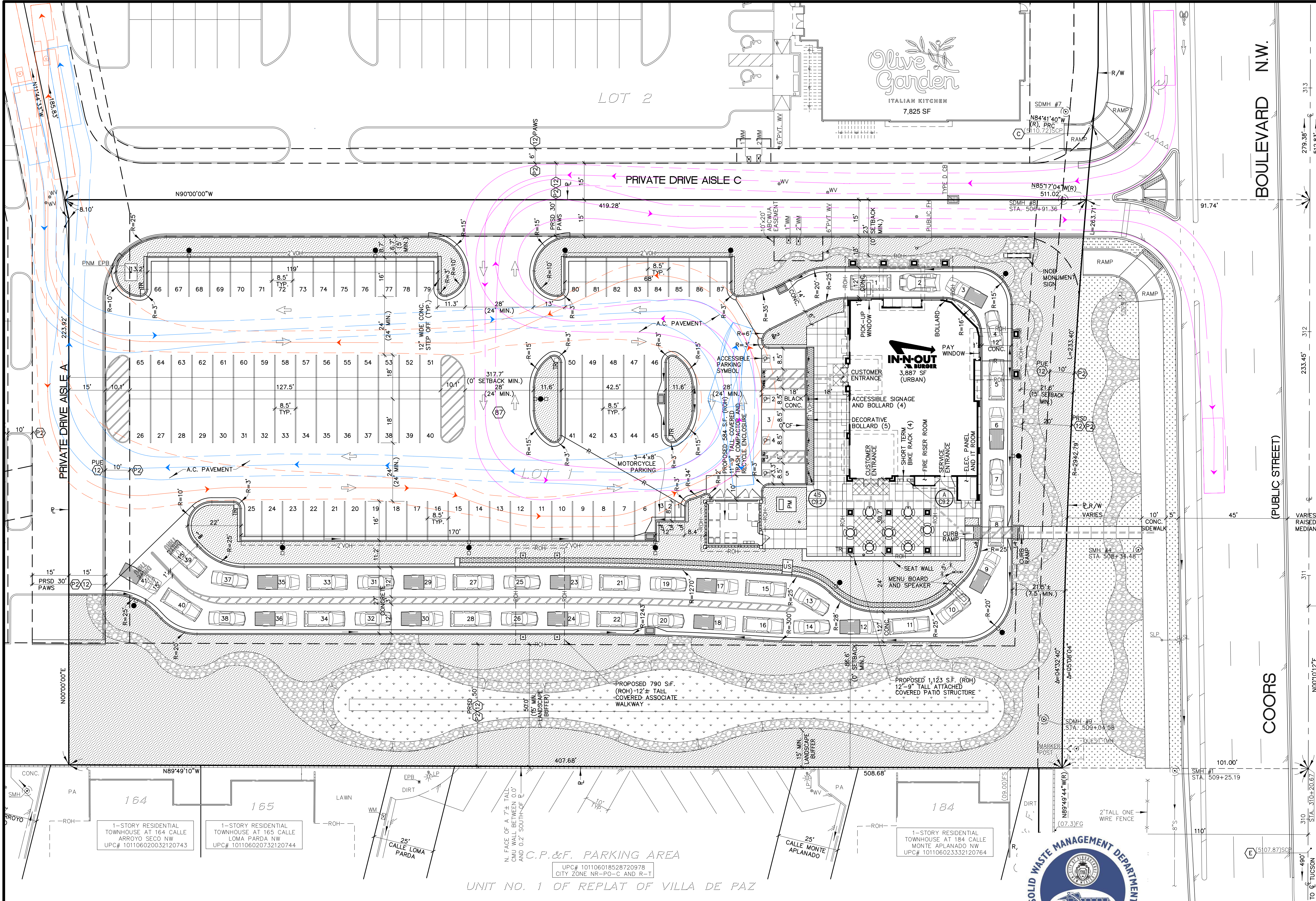
CIVIL ENGINEER:
MSL ENGINEERING, INC.
CIVIL ENGINEERS AND LAND SURVEYORS SPECIALIZING IN SITE DEVELOPMENT
301 NORTH SAN DIMAS AVENUE, SAN DIMAS, CA. 91773
(909) 305-2395 FAX (909) 305-2397
AARON D. PELLOW R.C.E. 27112 12-17-2024 DATE



IN-N-OUT BURGER
LOT 1 OF OXBOW CENTER
SWQ OF ST JOSEPHS DRIVE NW
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FIRE SITE PLAN

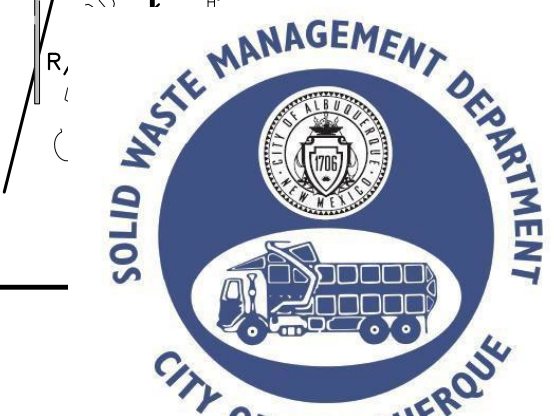
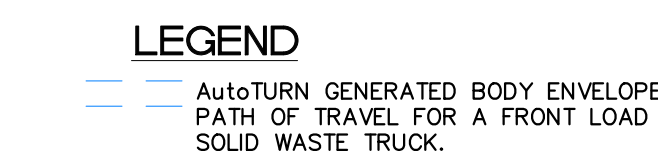
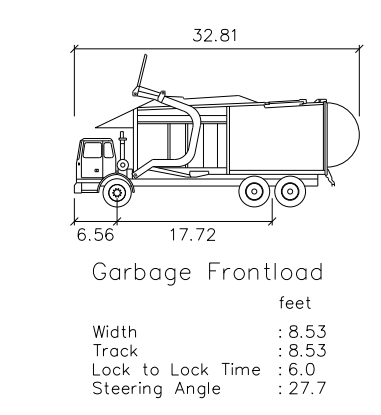
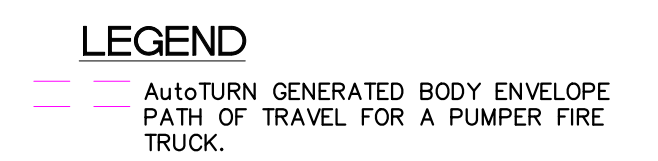
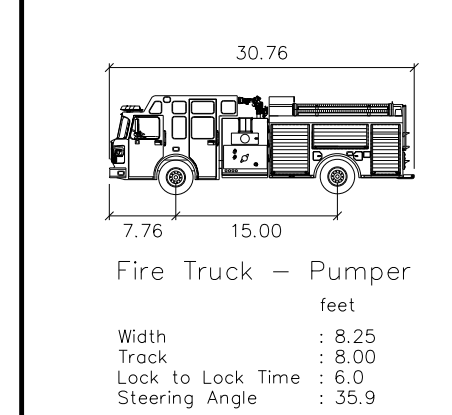
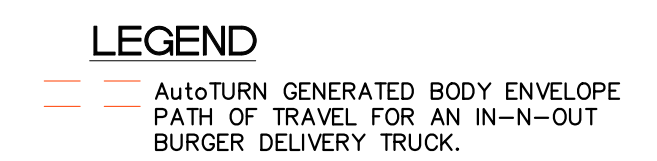
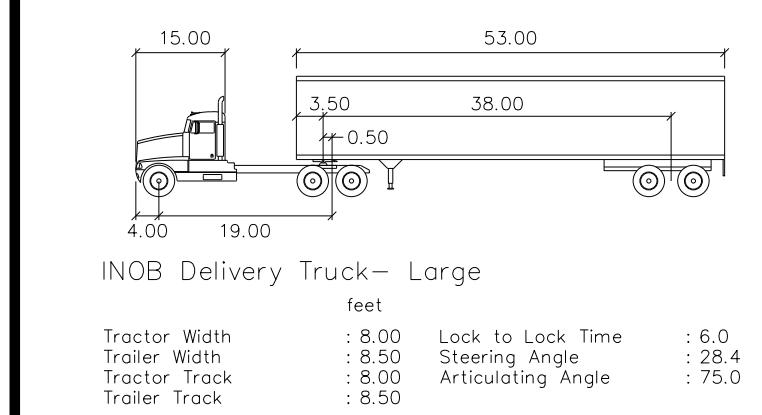
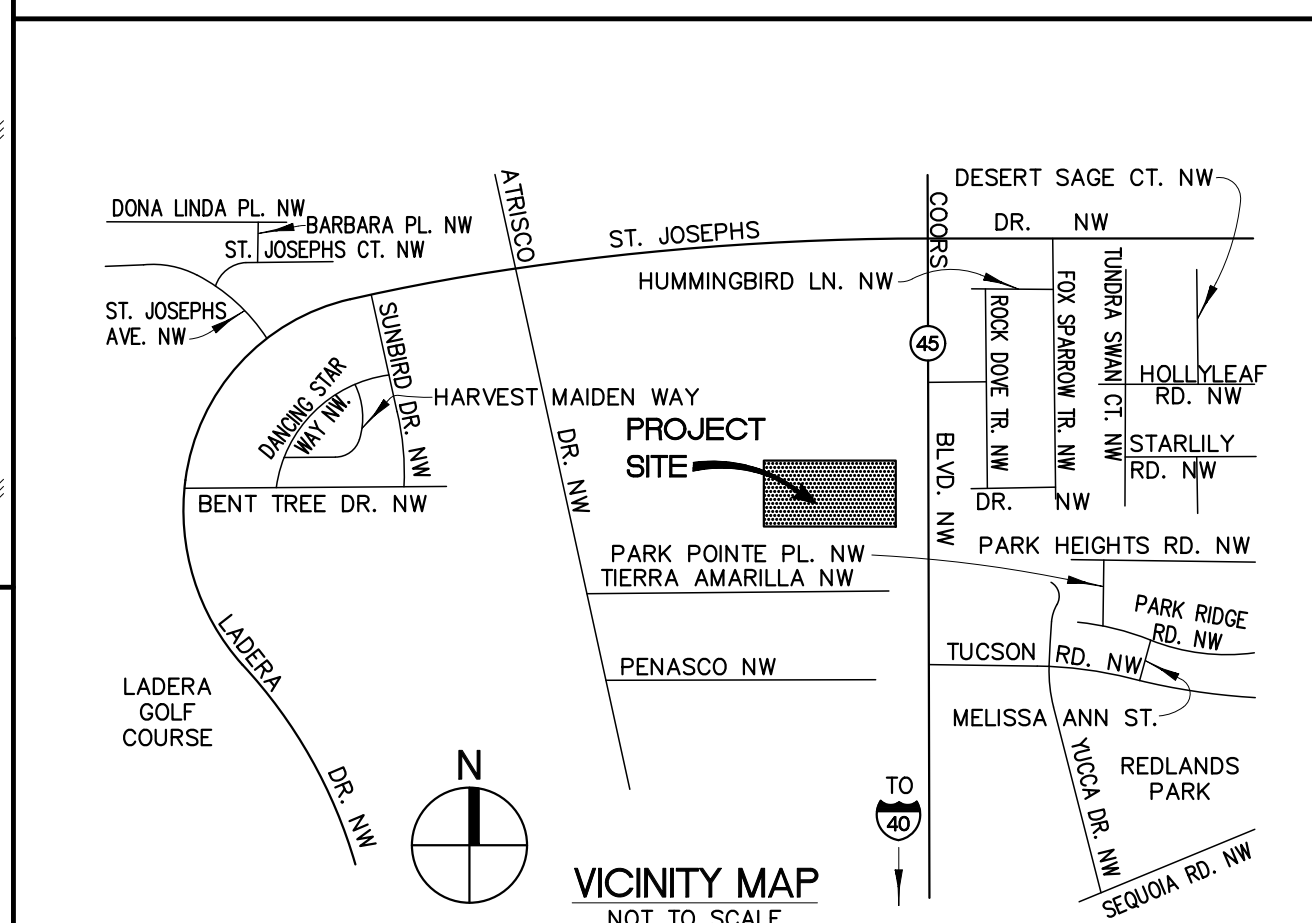
FIRE 1



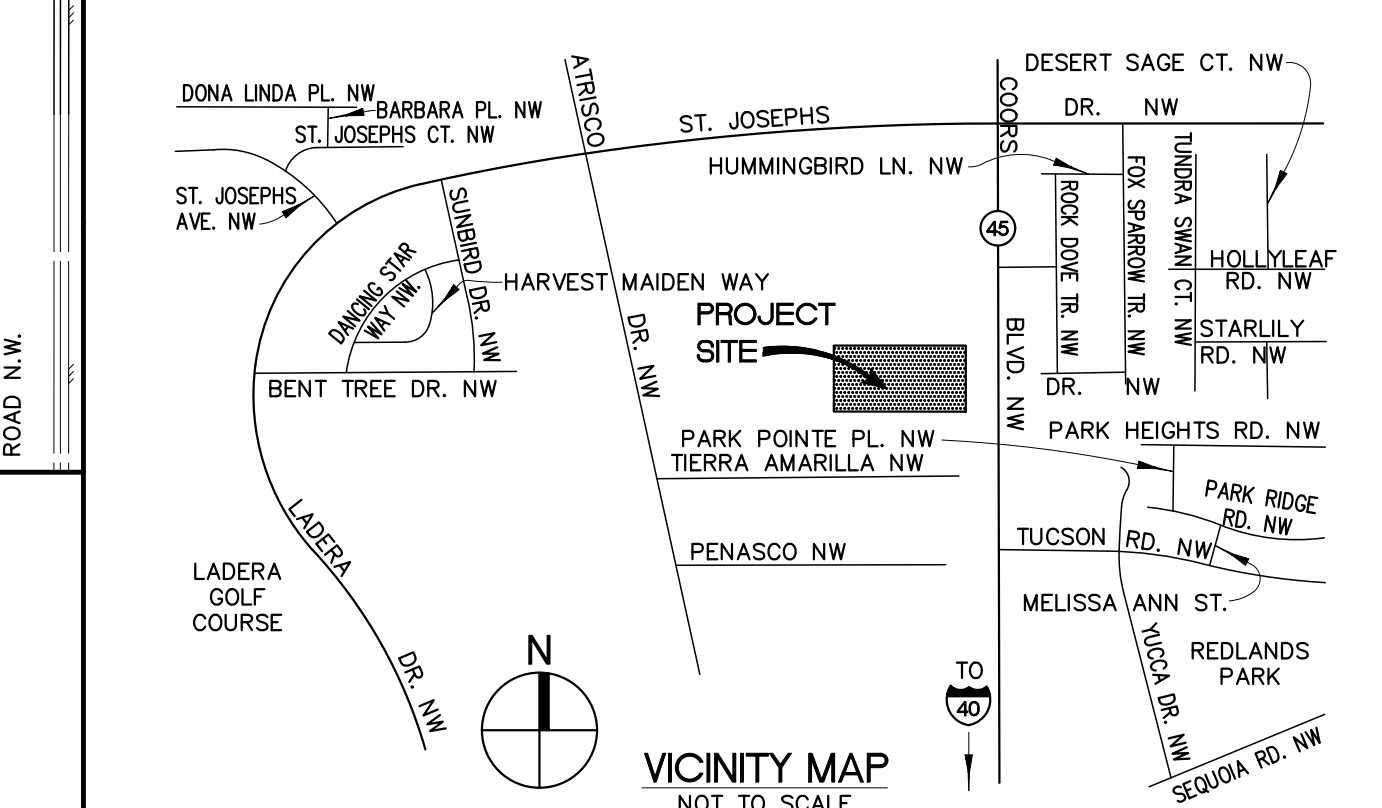
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Approved for access by the Solid Waste Department.
All containers must be made accessible for pick up PROJECT NORTH between the hours of 5AM and 8PM.
Reviewer: ADRIAN MAREZ
Date: 10-9-25
GRAPHIC SCALE
SCALE: 1"=20'

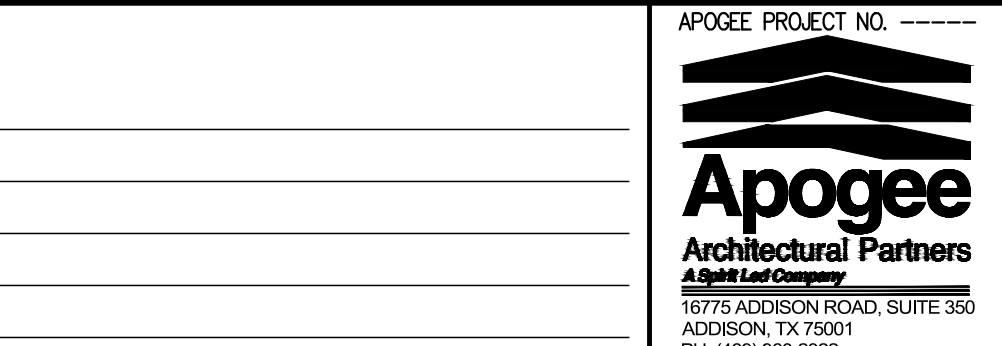


DEVELOPER:
IN-N-OUT BURGER
13502 HAMBURGER LANE
BALDWIN PARK, CA 91706
CONTACT: TODD SMITH
PHONE: 626 813-5399
CONTACT: DANIEL POCUIS
PHONE: 626 813-8275



REVISIONS

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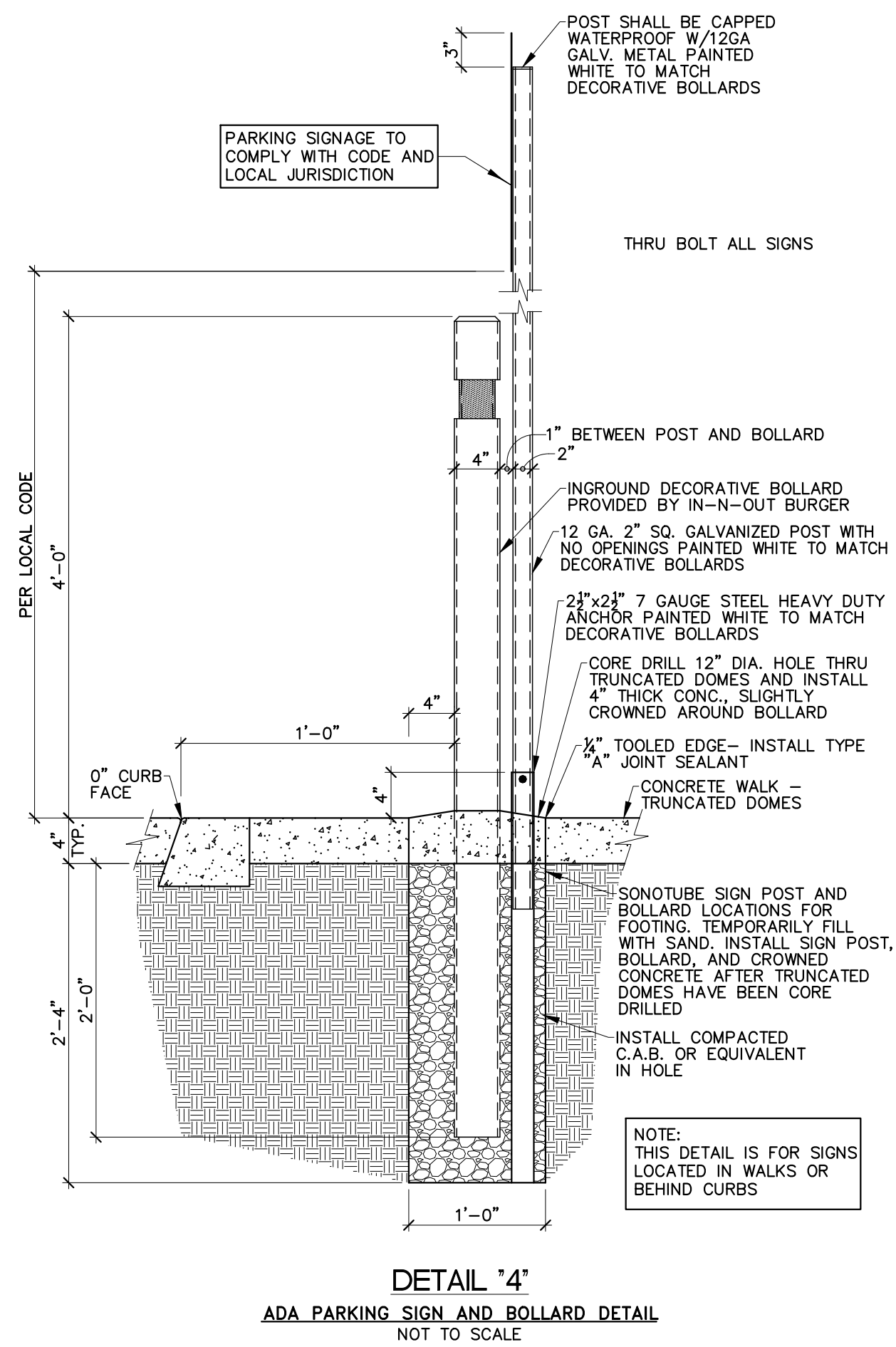


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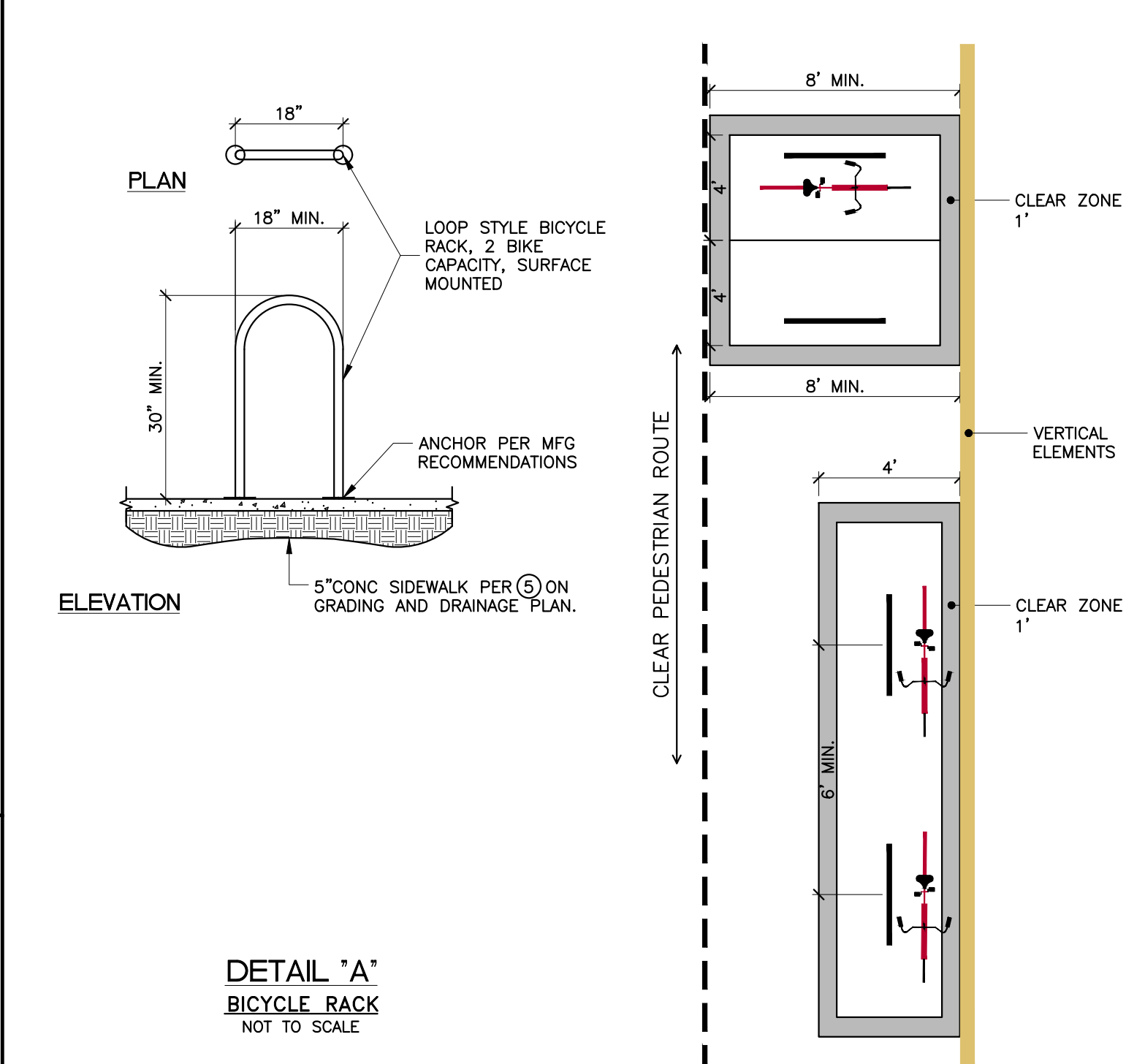
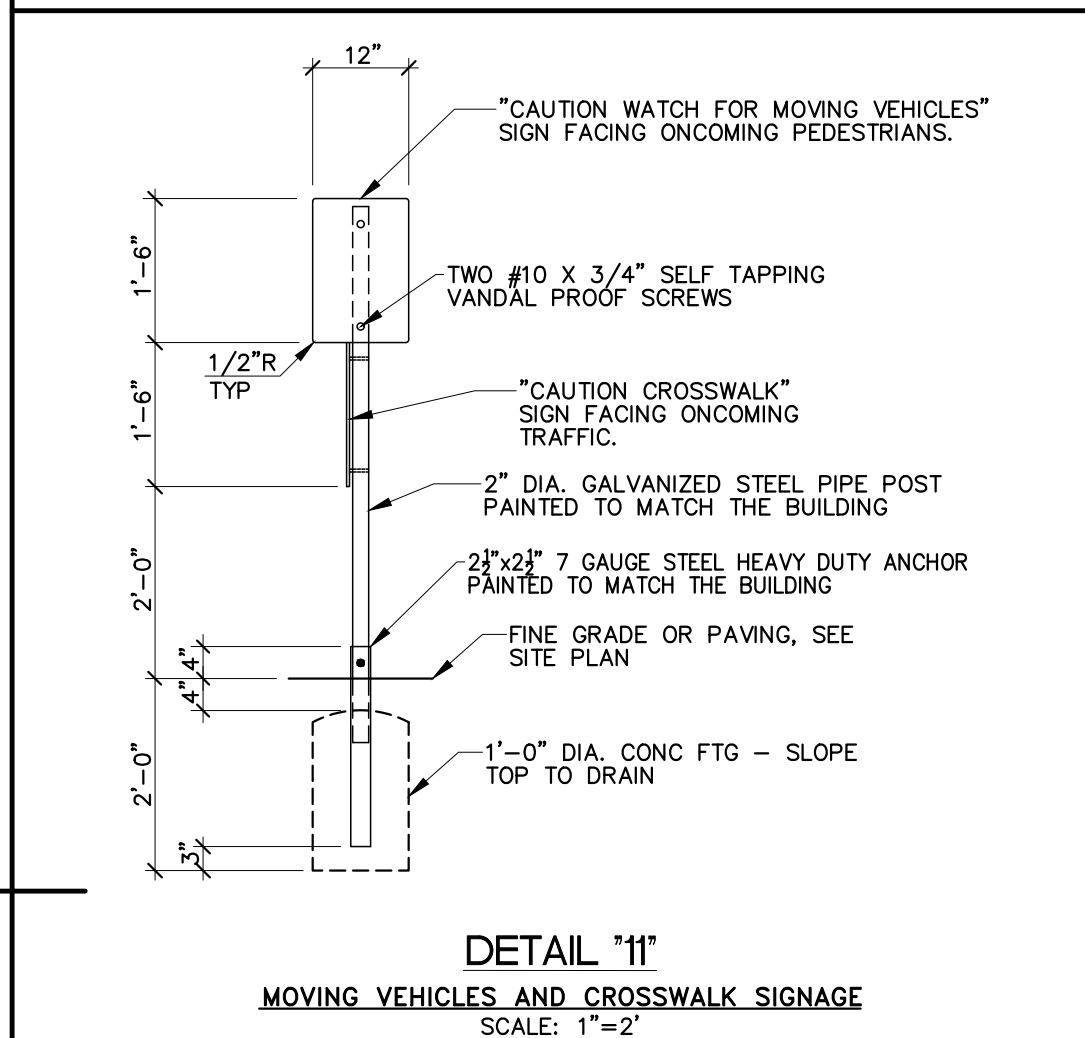
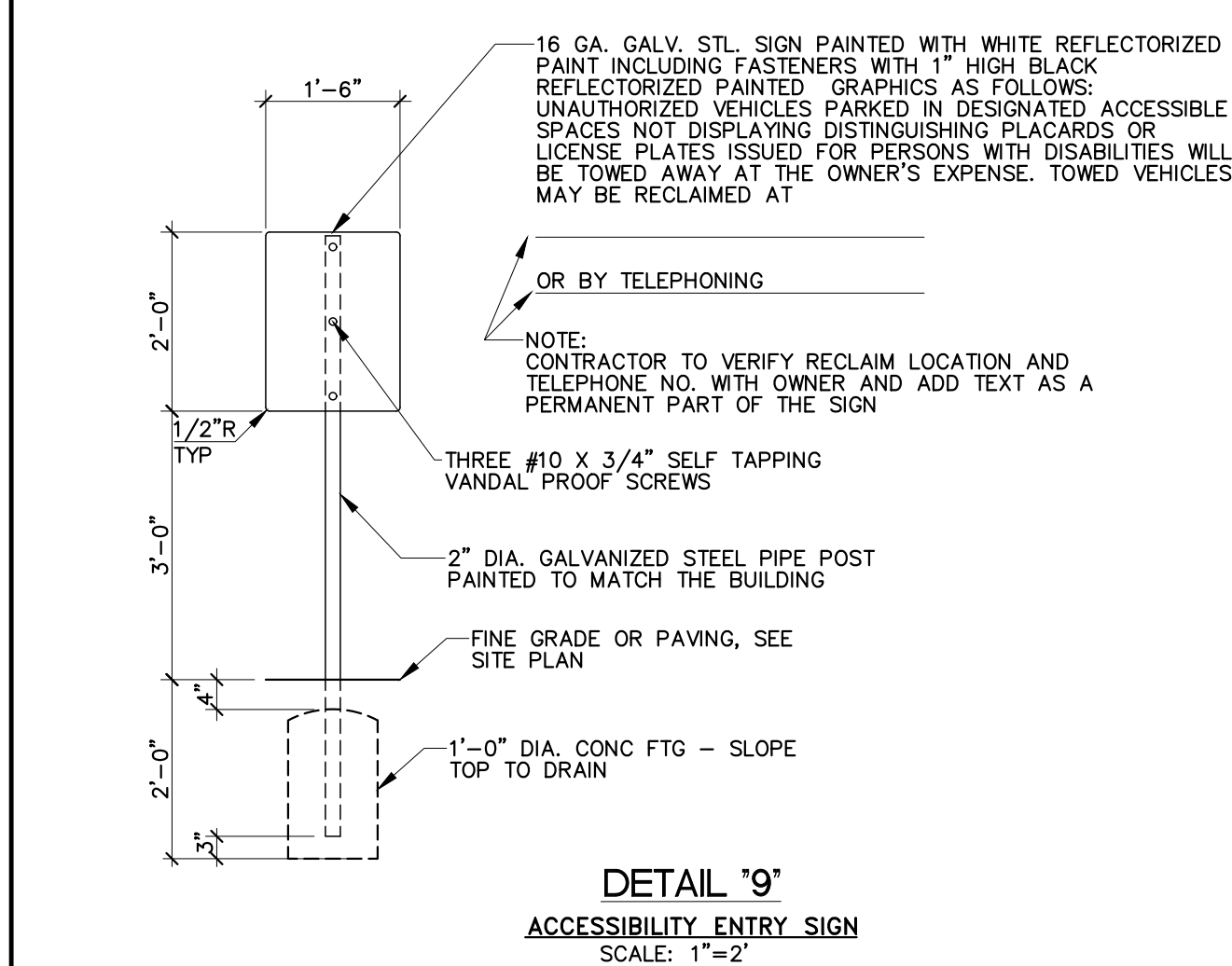
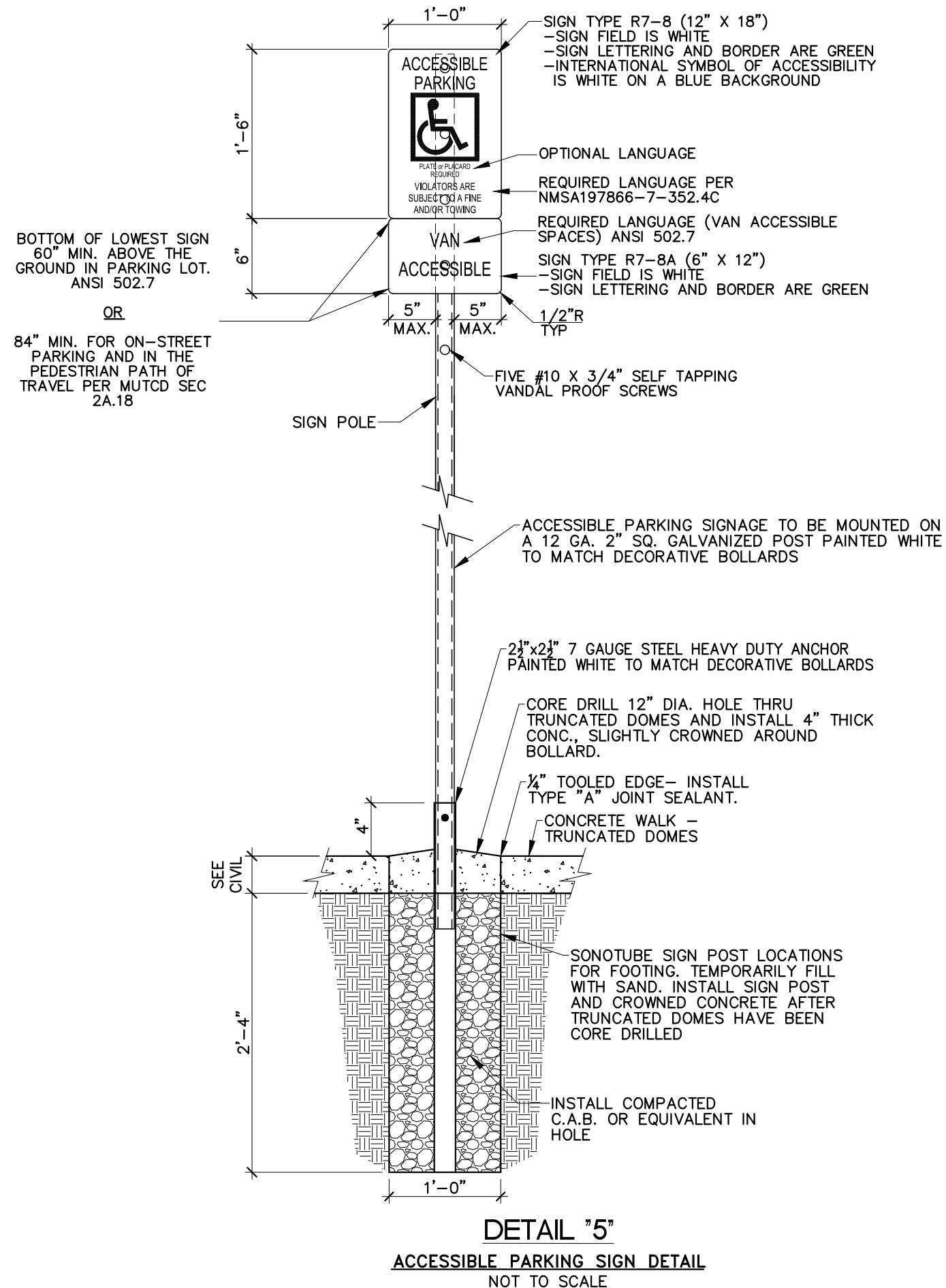


IN-N-OUT BURGER
LOT 1 OF OXBOW CENTER
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TRAFFIC CIRCULATION PLAN
C9.1



DECORATIVE BOLLARD IMAGE



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REVISIONS

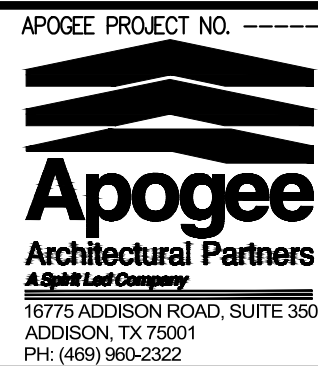
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TRAFFIC CIRCULATION
PLAN DETAIL SHEET

C9.2