

# CITY OF ALBUQUERQUE

Planning Department  
Alan Varela, Director



Mayor Timothy M. Keller

January 13, 2026

Scott Anderson, RA  
Scott C Anderson & Associates Architects LLC  
5009 Royene RD NE  
Albuquerque, NM 87110  
[scott@scaarchitects.com](mailto:scott@scaarchitects.com)

**Re: Lindo Mexico Restaurant**  
**3937 Coors NW**  
**Albuquerque, NM 87120**  
**Traffic Circulation Layout**  
Engineer's Stamp 12/19/25 (G11D067H)-TRANS-2025-00337

Dear Mr. Anderson,

PO Box 1293 The TCL resubmittal received 1-13-26 is approved for Building Permit by Transportation. A copy of the stamped and signed plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation.

Albuquerque When the site construction is completed and an inspection for Certificate of Occupancy (C.O.) is requested, use the original City stamped approved TCL for certification. Redline any minor changes and adjustments that were made in the field. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification, and the TCL to the [ABQ-PLAN](#) for log in and evaluation by Transportation.

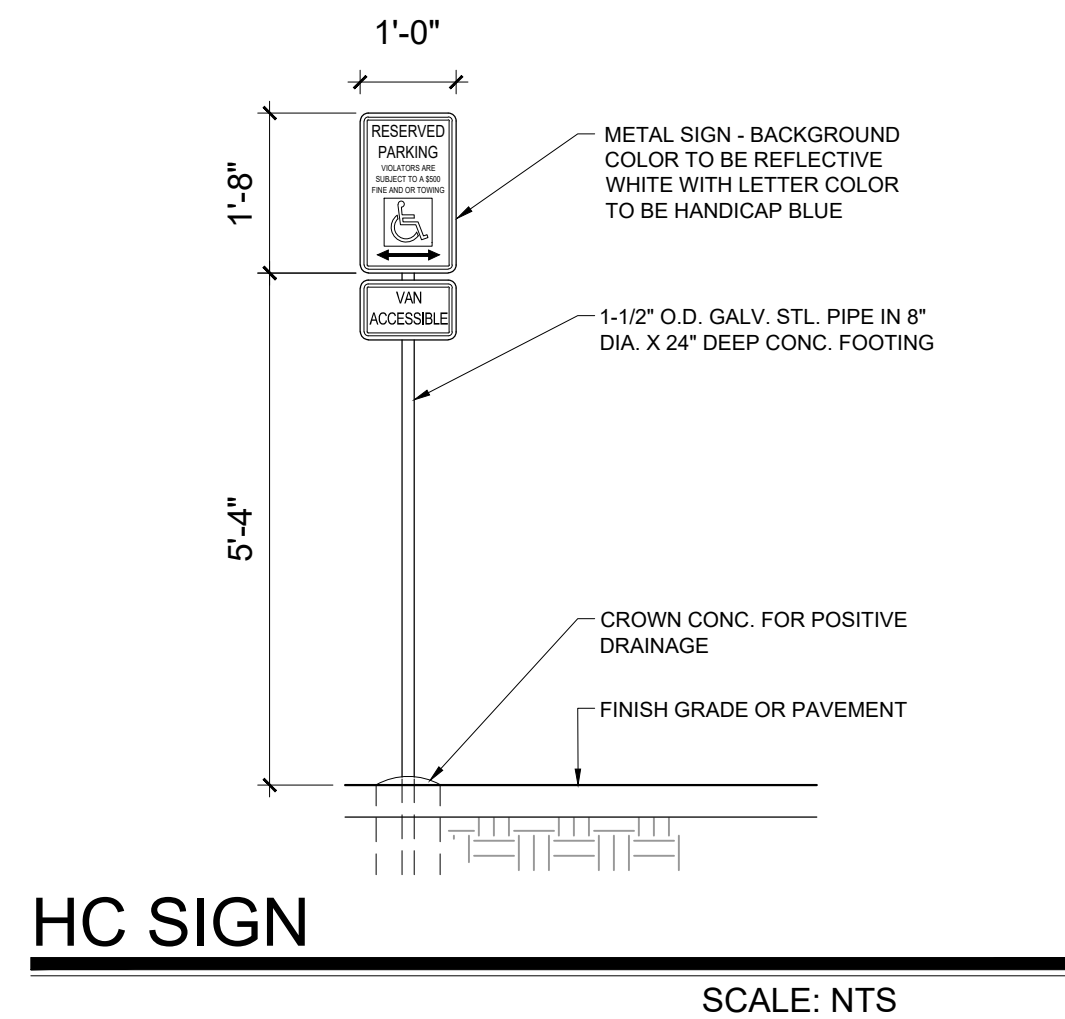
NM 87103

www.cabq.gov Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3690.

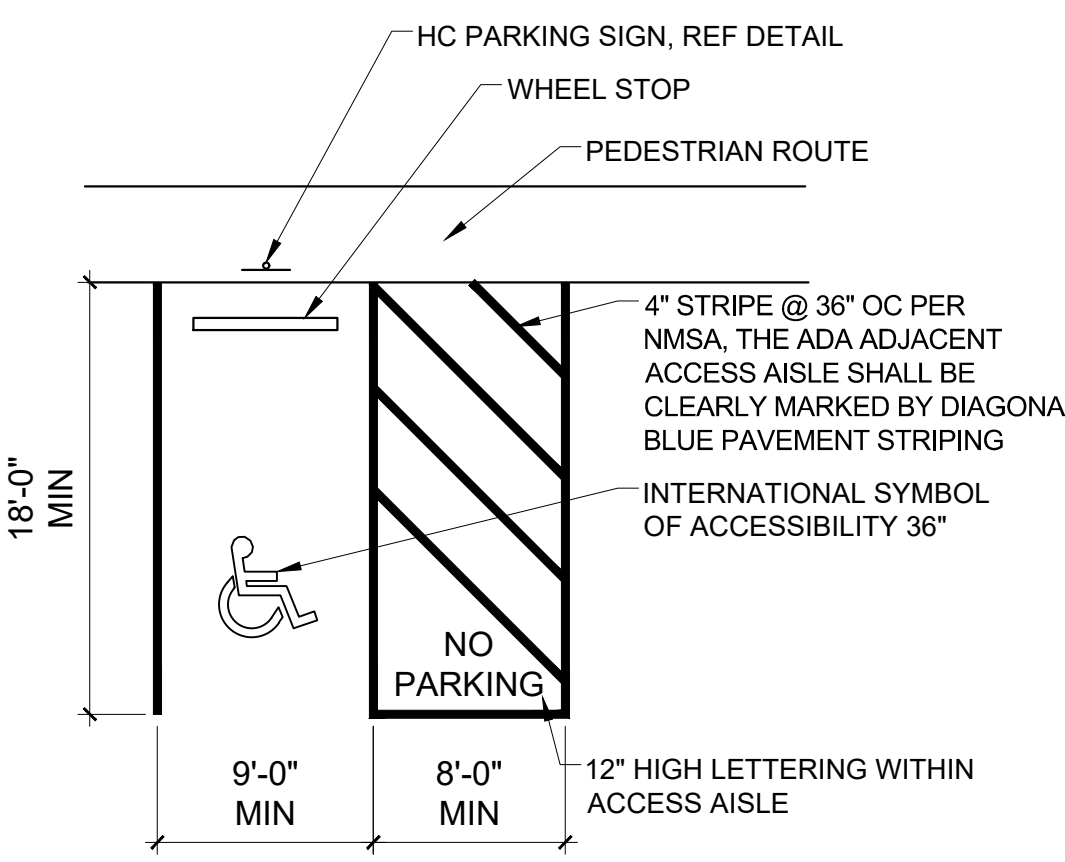
Sincerely,

Sertil A. Kanbar

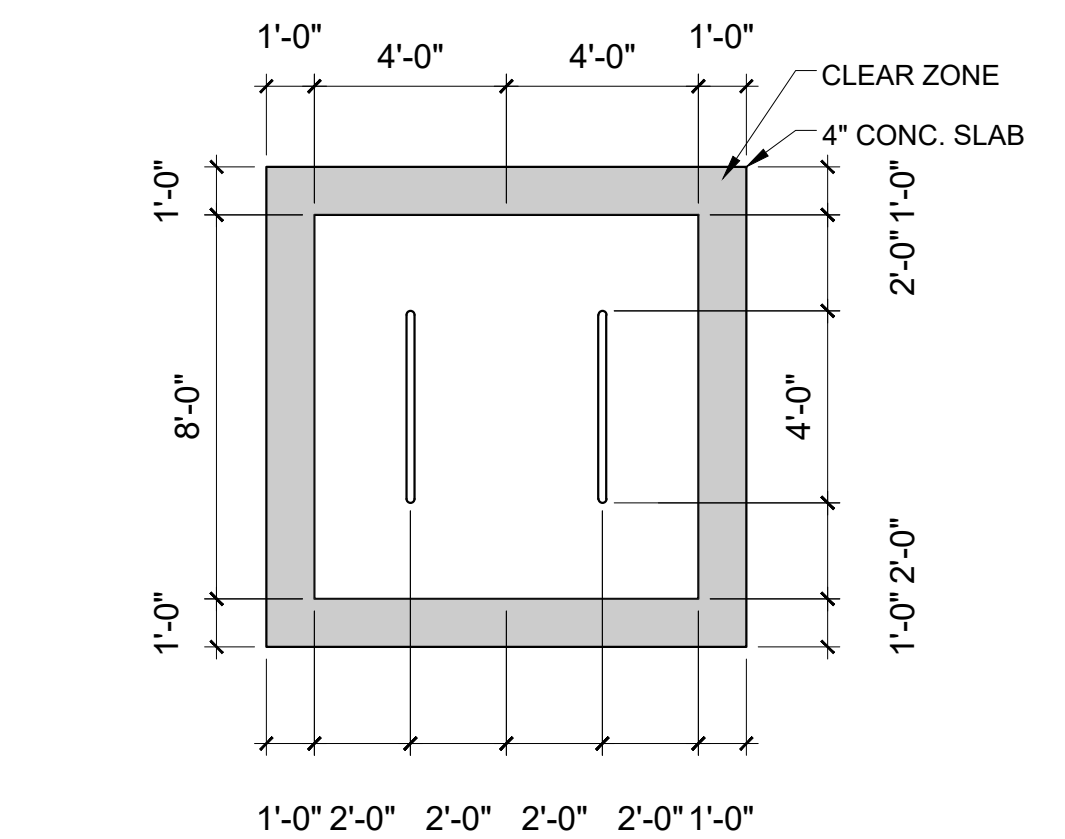
Sertil Kanbar, PhD, PE, CFM  
Sr. Engineer, Planning Dept.  
Development Review Services



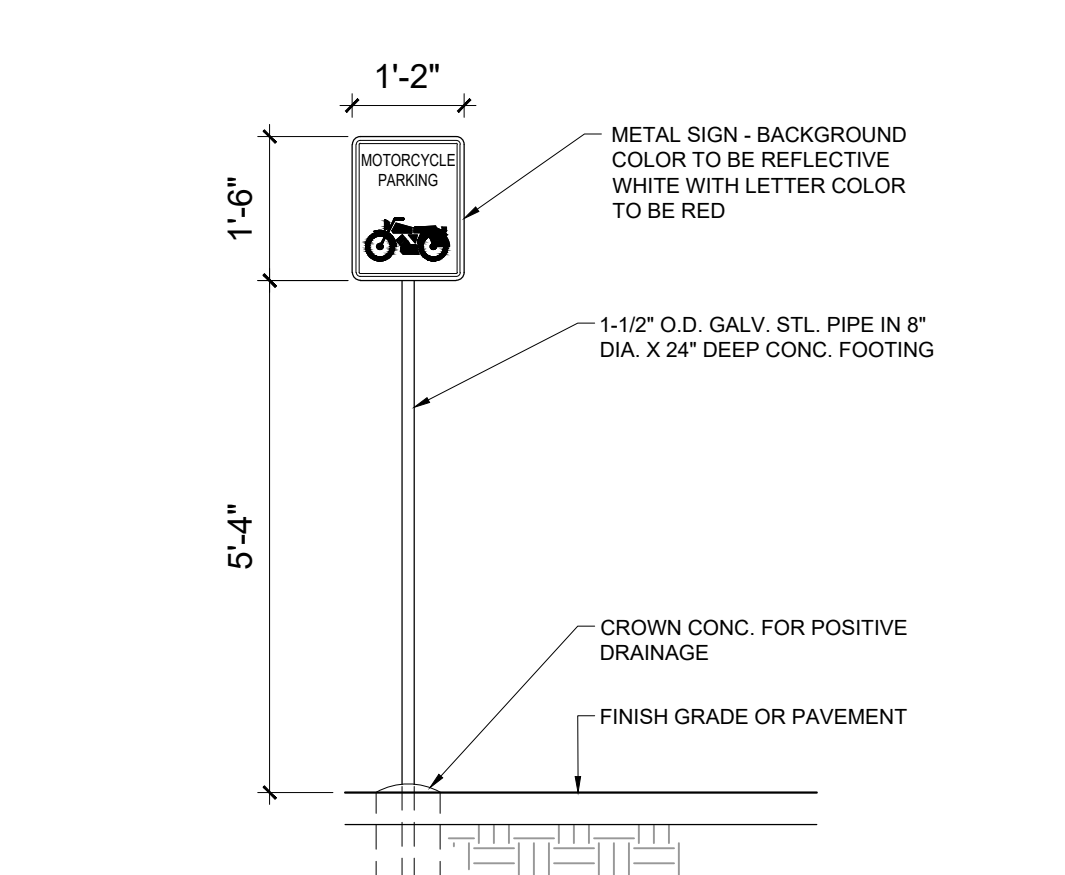
**HC SIGN**  
SCALE: NTS



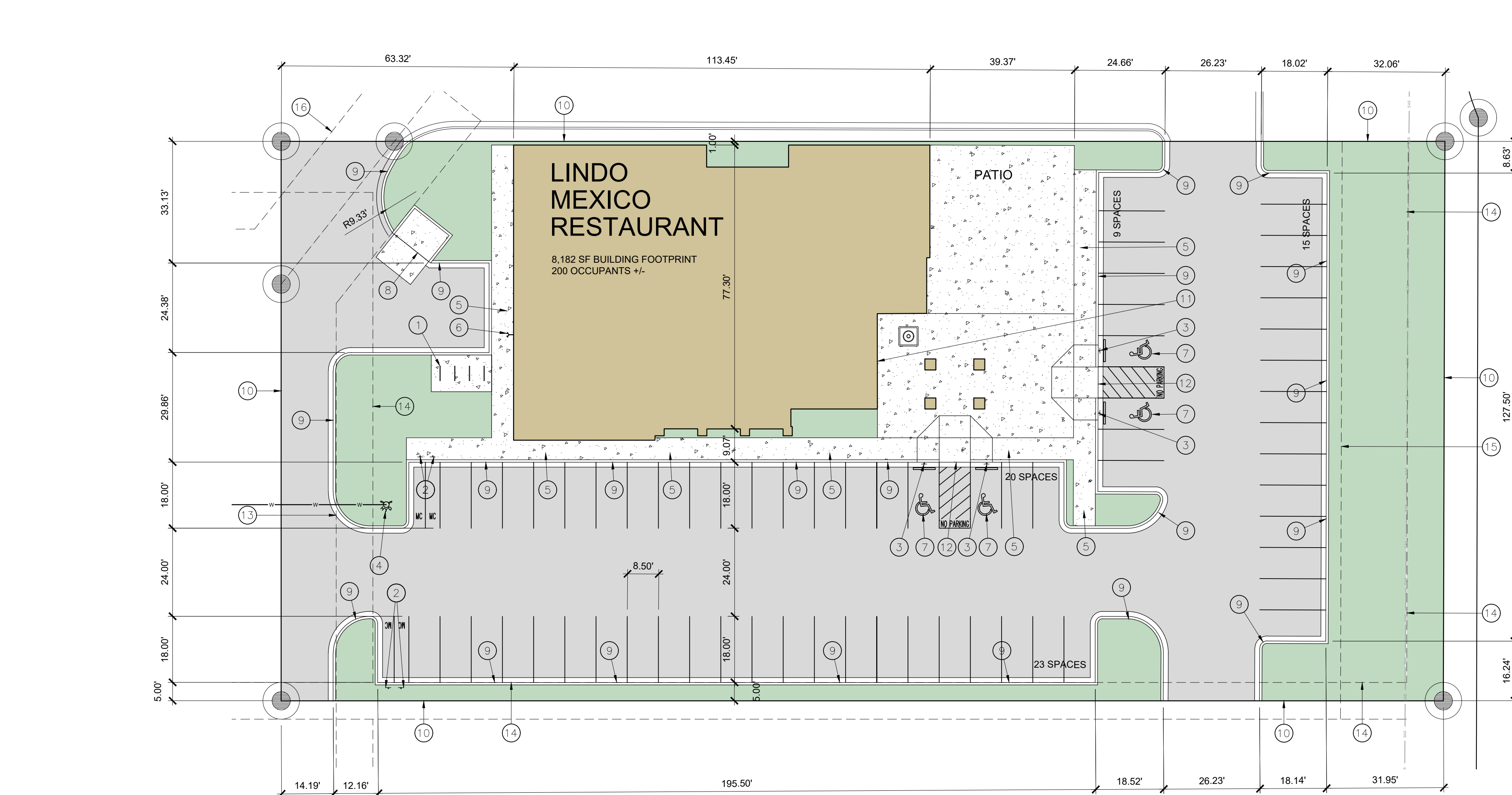
**ADA PARKING**  
SCALE: 3/8" = 1'-0"



**BIKE PARKING**  
SCALE: 1/4" = 1'-0"

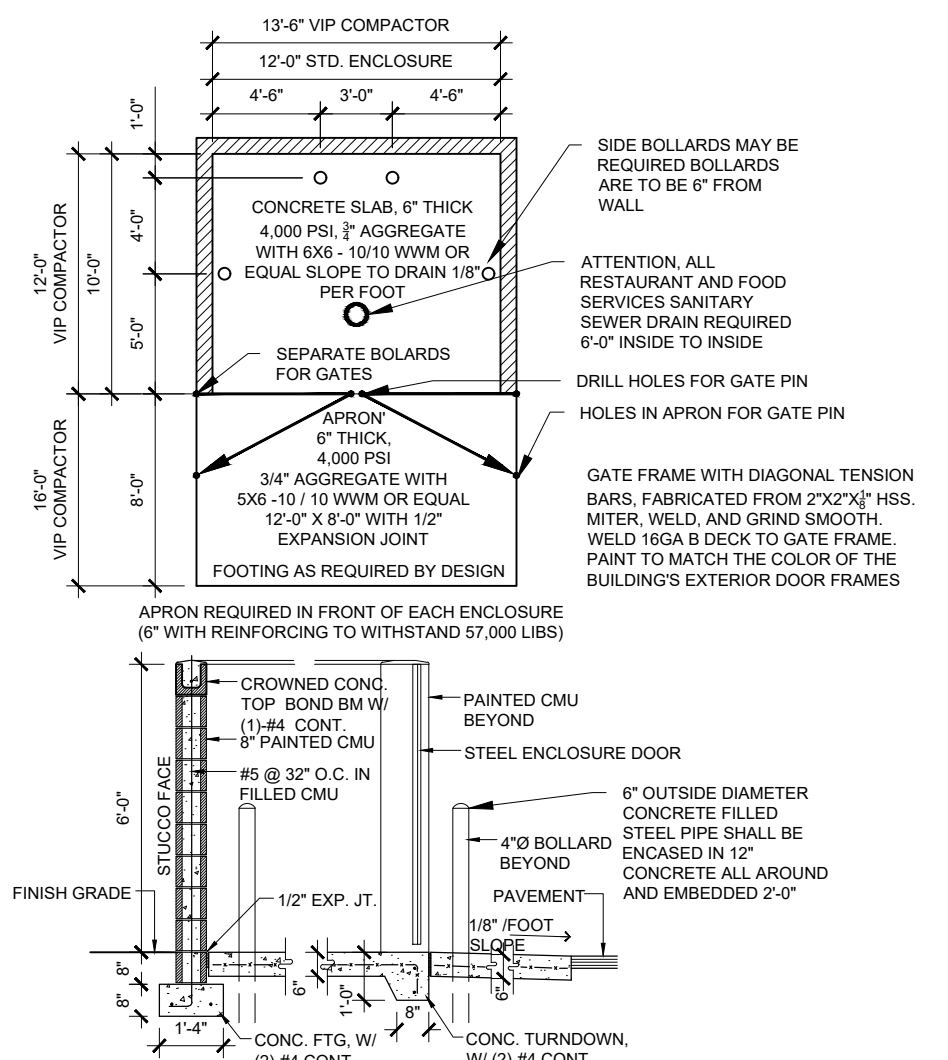


**MOTORCYCLE SIGN**  
SCALE: 1/2" = 1'-0"

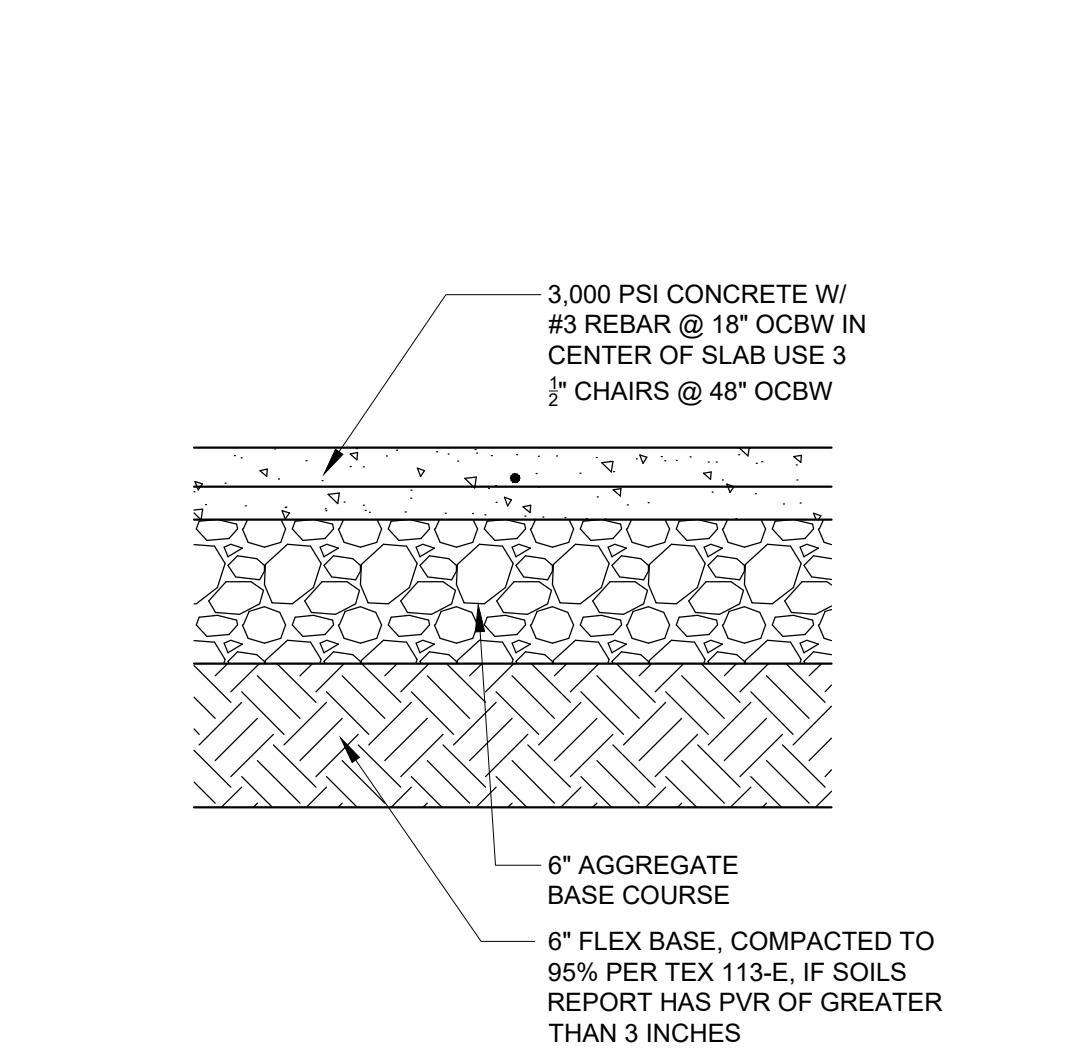


**SITE PLAN**  
SCALE: 1" = 20'-0"

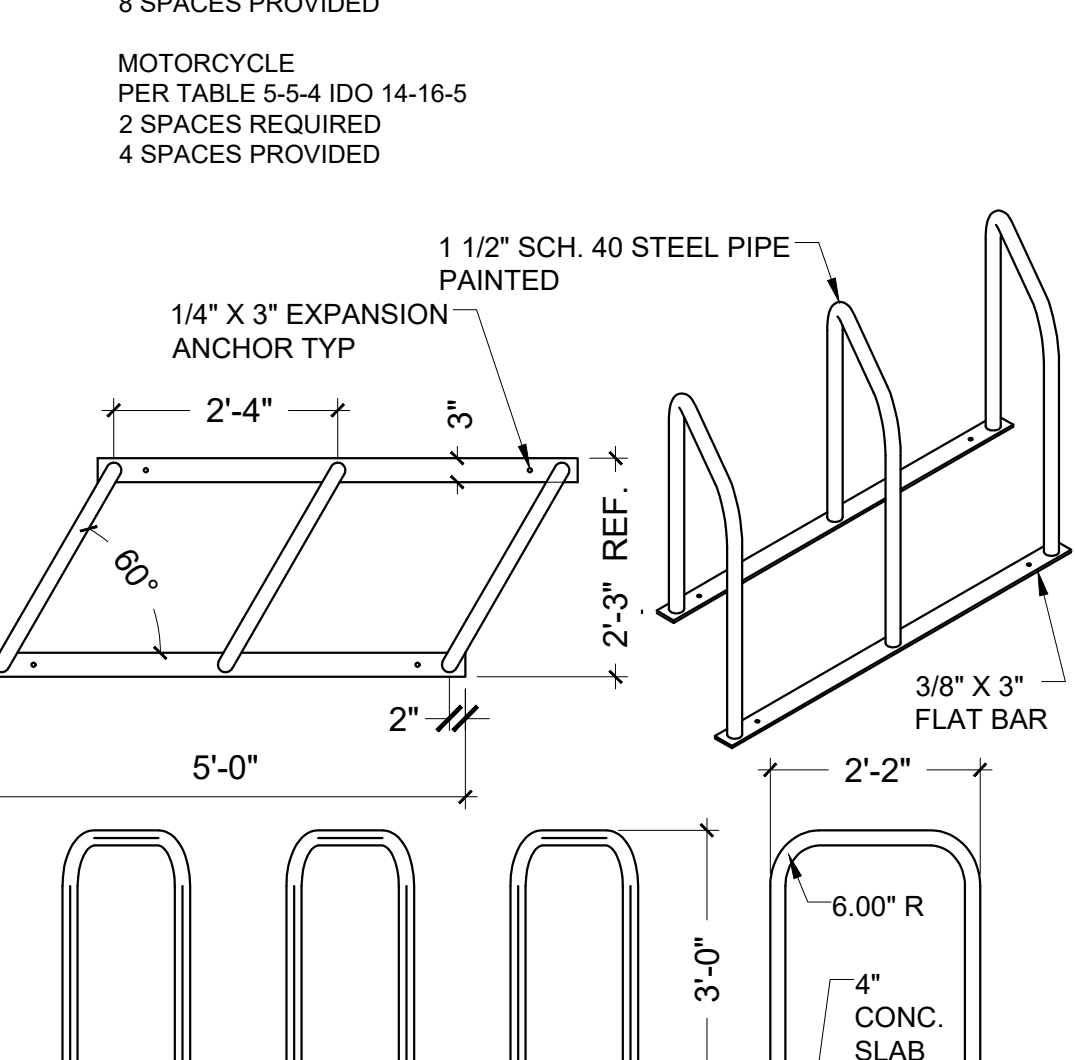
- UPC: 101106023239421406  
LEGAL: LOT 6 UNIVERSITY OF ALBUQUERQUE URBAN CENTER  
ZONING: NR-C (CPO 2)  
ZONE ATLAS PAGE: G-11
- GROSS LOT AREA = 1.1084 AC = 48,282 SF  
BUILDING FOOTPRINT = 8,182 SF  
NET LOT AREA = 40,100 SF  
REQUIRED LANDSCAPE AREA @ 15% = 6,150 SF
- PARKING:**  
RESTAURANT  
8,182 X 0.0056 = 45 SPACES  
67 SPACES PROVIDED
- ADA PARKING:**  
PER 2010 ADA STANDARDS  
2 REQUIRED  
4 PROVIDED
- BYCYCLE**  
45 X 10% = 4 SPACES  
8 SPACES PROVIDED
- MOTORCYCLE**  
PER TABLE 5-5-4 IDO 14-16-5  
2 SPACES REQUIRED  
4 SPACES PROVIDED
- KEYED NOTES**
- 8 SPACE BIKE RACK, REF DETAIL THIS SHEET
  - MOTORCYCLE PARKING SIGN REF DETAIL THIS SHEET
  - H.C. PARKING SIGN, REF DETAIL ON THIS SHEET
  - NEW FIRE HYDRANT
  - NEW 6" SIDEWALK, 2% MAX CROSS SLOPE, 1.5% PREFERRED CROSS SLOPE, REFERENCE CITY OF ALBUQUERQUE STANDARD DETAIL 2430
  - FIRE DEPT. CONNECTION
  - HC PARKING SYMBOL
  - REFUSE ENCLOSURE, REF DETAIL THIS SHEET
  - CURB, REF DETAIL THIS SHEET
  - EXISTING PROPERTY LINE
  - BUILDING ENTRANCE
  - CURB RAMP, REFERENCE CITY OF ALBUQUERQUE STANDARD DETAIL 2443, DRAWING A
  - 30' PUBLIC ACCESS, PUBLIC WATER & SANITARY SEWER EASEMENT
  - 10' PUBLIC UTILITY EASEMENT
  - 28' PRIVATE STORM DRAINAGE EASEMENT
  - 30' PUBLIC UTILITY EASEMENT



**REFUSE ENCLOSURE**  
SCALE: 1/8" = 1'-0"



**LOW ALBEDO PAVING SECTION**  
SCALE: NTS



**BIKE CORRAL**  
SCALE: NTS

GENERAL NOTES:

ALL IMPROVEMENTS LOCATED IN THE RIGHT OF WAY MUST BE INCLUDED IN ON A PUBLIC WORK ORDER.

LANDSCAPING, FENCING AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.

ALL PAVING SHALL BE SHALL BE ASPHALT UNLESS NOTED OTHERWISE, REF. DETAIL THIS SHEET.

ALL MECHANICAL EQUIPMENT SHALL BE SCREENED IN ACCORDANCE WITH IDO SECTION 5-5 (G).

ALL OUTDOOR LIGHT FIXTURES SHALL BE LED. FIXTURES 70 WATTS OR GREATER SHALL BE SHIELDED USING FULL CUTOFF LIGHT FIXTURES.

BUILDING MOUNTED SIGNS SHALL BE EXTERNALLY ILLUMINATED AND SHALL NOT EXTEND MORE THAN 2 FEET ABOVE THE EXTERIOR WALLS OF THE BUILDING.

WORK WITHIN THE PUBLIC RIGHT OF WAY REQUIRES A WORK ORDER.

SITE LIGHTING WILL BE PROVIDED BY LIGHT BOLLARDS AND WALL MOUNTED FIXTURES AND SHALL COMPLY WITH 5-8 OF THE IDO

ROOFTOP SHALL BE BUILT WITH NECESSARY SOLAR INFRASTRUCTURE INCLUDING BUT NOT LIMITED TO ELECTRICAL CONDUIT AND GEAR AND STRUCTURAL SUPPORT

ALL PARKING LOT PAVING SHALL BE COOL SURFACE TREATMENT

ALL EXISTING ADA CURB RAMPS SHALL BE UPDATED TO CURRENT STANDARDS AND HAVE TRUNCATED DOMES INSTALLED

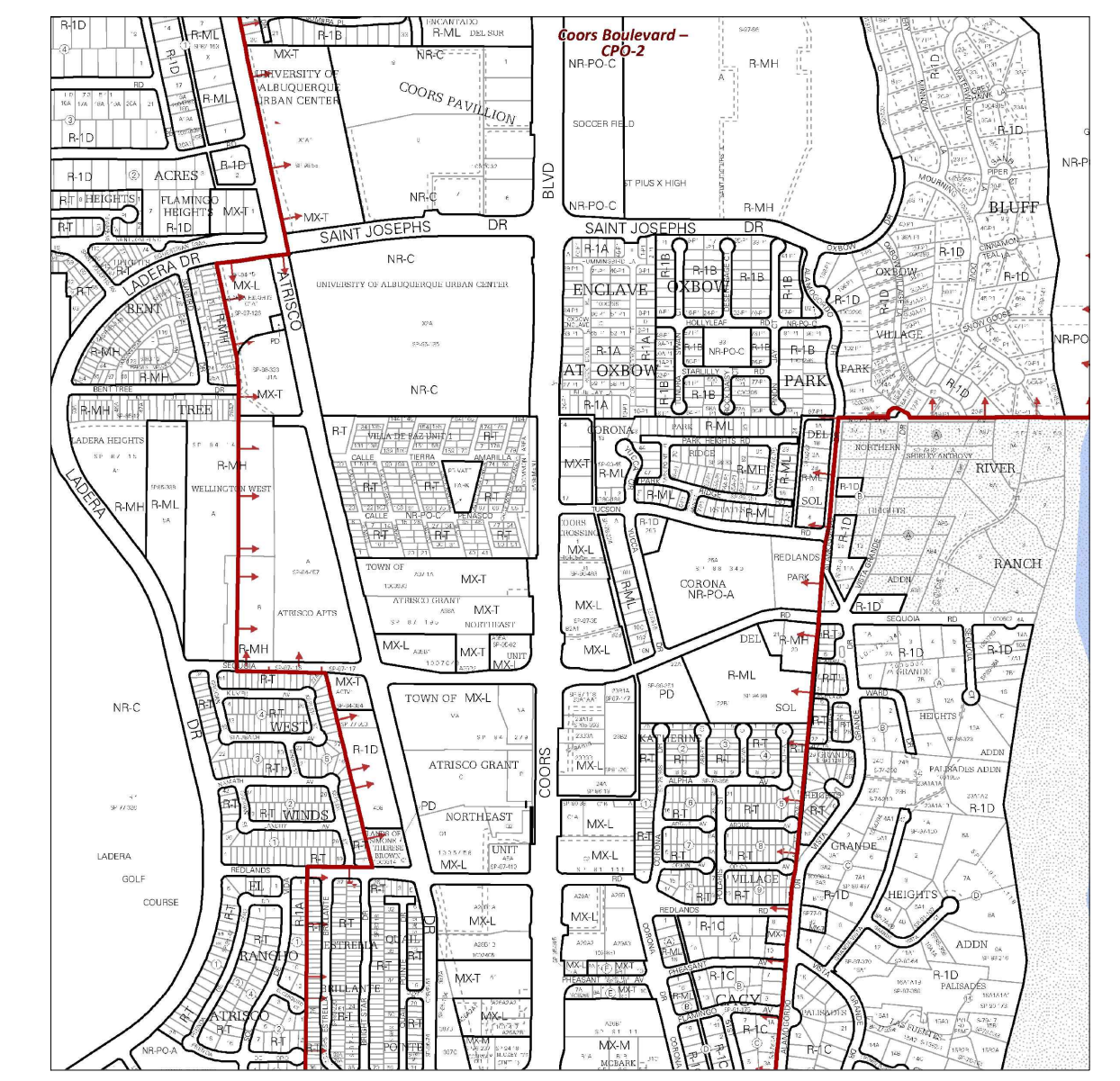
ALL BROKEN OR CRACKED SIDEWALK MUST BE REPLACED WITH SIDEWALK AND CURB & GUTTER.

LEGEND

- BUILDING
- CONCRETE
- ASPHALT PAVING
- LANDSCAPE
- CLEAR SIGHT TRIANGLE

**TRAFFIC CIRCULATION LAYOUT APPROVED**  
Sertil A. Kanbar 1/13/2024  
Signed Date

**ALL IMPROVEMENTS LOCATED IN THE RIGHT OF WAY MUST BE INCLUDED ON A PUBLIC WORK ORDER**



**AREA MAP**  
SCALE: NTS

No	Revision Item	Date

**SCOTT C. ANDERSON & associates architects**  
2818 4th St NW, Suite C Albuquerque NM 87107  
scott@scottarchitects.com  
505.401.7575

**LINDO MEXICO RESTAURANT**  
3937 COORS BLVD NW  
ALBUQUERQUE, NM 87120

**DRAWING TITLE**  
**SITE PLAN**

DESIGNED	PROJECT NO
DRAWN	SCALE
CHECKED	DRAWING NO
REVIEWED	DATE

**A-100**  
12/19/2025

**PLAT OF  
LOTS 1-A THRU 10-A  
UNIVERSITY OF ALBUQUERQUE URBAN CENTER**  
(BEING A REPLAT OF LOTS 1 THRU 10, THE UNIVERSITY OF ALBUQUERQUE URBAN CENTER)  
SITUATE WITHIN  
**THE TOWN OF ALBUQUERQUE GRANT**  
IN  
**PROJECTED SECTION 2, TOWNSHIP 10 NORTH, RANGE 2 EAST  
NEW MEXICO PRINCIPAL MERIDIAN  
CITY OF ALBUQUERQUE  
BERNALILLO COUNTY, NEW MEXICO**  
NOVEMBER, 2024

**EXISTING EASEMENTS**

Granted by Plat filed July 11, 2023 in Plat Book 2023C, Page 55

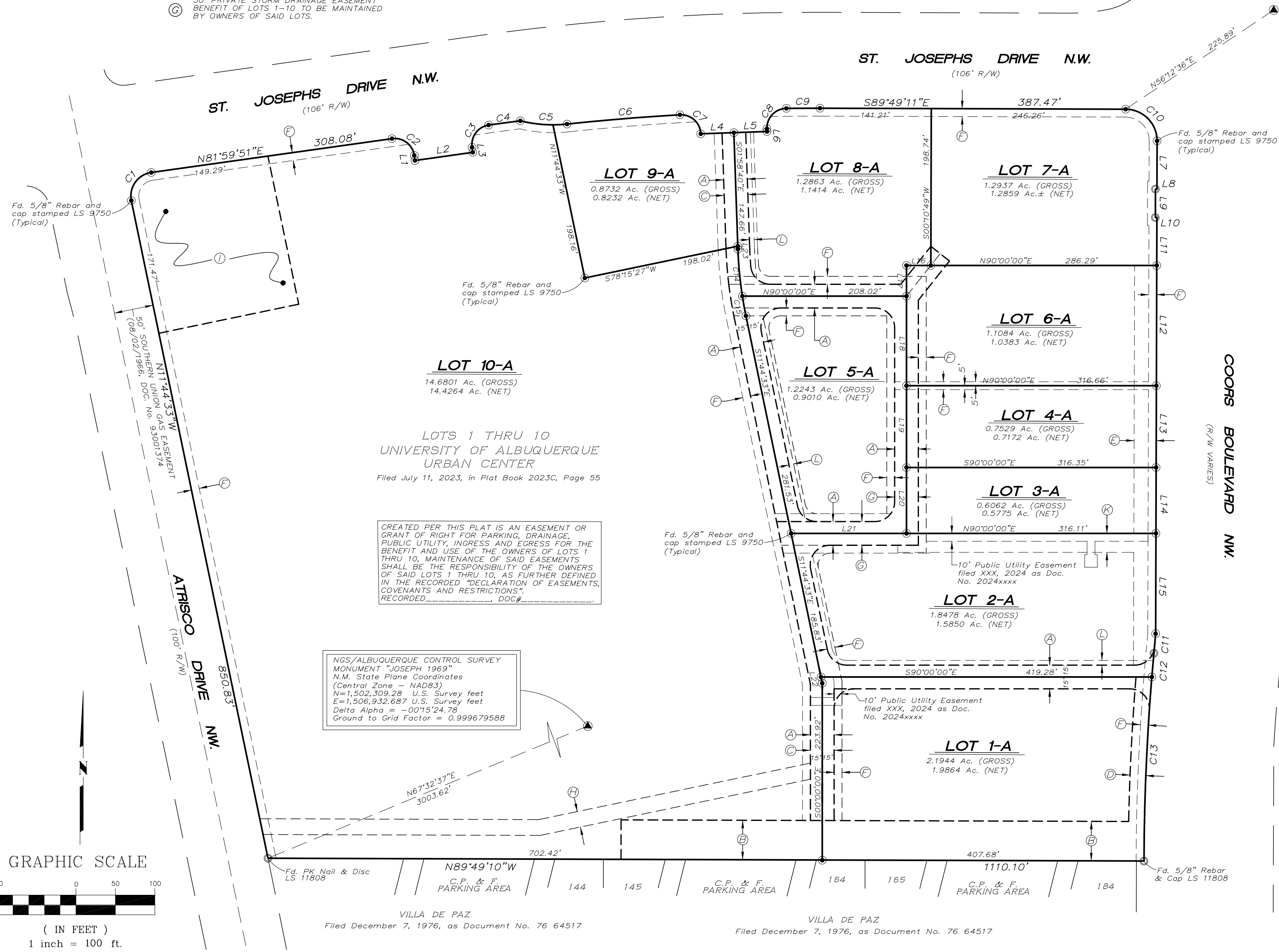
- (A) 30' PUBLIC ACCESS, PUBLIC WATER & SANITARY SEWER EASEMENT FOR THE BENEFIT OF LOTS 1-10 TO BE MAINTAINED BY OWNERS OF SAID LOTS.
- (B) PRIVATE STORM DRAINAGE EASEMENT BENEFIT OF LOTS 1-10 TO BE MAINTAINED BY OWNERS OF SAID LOTS.
- (C) 30' PRIVATE STORM DRAINAGE EASEMENT BENEFIT OF LOTS 1-10 TO BE MAINTAINED BY OWNERS OF SAID LOTS.
- (D) 20' PRIVATE STORM DRAINAGE EASEMENT BENEFIT OF LOTS 1-10 TO BE MAINTAINED BY OWNERS OF SAID LOTS.
- (E) 28' PRIVATE STORM DRAINAGE EASEMENT BENEFIT OF LOTS 1-10 TO BE MAINTAINED BY OWNERS OF SAID LOTS.
- (F) 10' Public Utility Easement
- (G) 30' PRIVATE STORM DRAINAGE EASEMENT BENEFIT OF LOTS 1-10 TO BE MAINTAINED BY OWNERS OF SAID LOTS.
- (H) 20' PUBLIC WATER & SANITARY SEWER EASEMENT BENEFIT OF LOT 10 TO BE MAINTAINED BY OWNERS OF SAID LOT.
- (I) PUBLIC DRAINAGE EASEMENT TO BE MAINTAINED BY OWNERS OF LOT 10.
- (K) 24' PRIVATE STORM DRAINAGE EASEMENT BENEFIT OF LOTS 1-10 TO BE MAINTAINED BY OWNERS OF SAID LOTS.
- (L) 6' PUBLIC ACCESS, PUBLIC WATER & SANITARY SEWER EASEMENT FOR THE BENEFIT OF LOTS 1-10 TO BE MAINTAINED BY OWNERS OF SAID LOTS.

**EASEMENT NOTE CORRECTIONS:**

**EXISTING EASEMENT (A)**  
THIS EASEMENT WAS INCORRECTLY NOTED ON THE PRIOR PLAT AS A "30' PUBLIC ACCESS, PUBLIC WATER & SANITARY SEWER EASEMENT FOR THE BENEFIT OF LOTS 1 THRU 10 TO BE MAINTAINED BY THE OWNERS OF SAID LOTS". THIS PLAT HEREBY REVISES THE EASEMENT DESIGNATION TO A "30' PRIVATE ACCESS, PUBLIC WATER & SANITARY SEWER EASEMENT FOR THE BENEFIT AND USE OF THE OWNERS OF LOTS 1 THRU 10 TO BE MAINTAINED BY SAID OWNERS."

**EXISTING EASEMENT (L)**  
THIS EASEMENT WAS INCORRECTLY NOTED ON THE PRIOR PLAT AS A "6' PUBLIC ACCESS, PUBLIC WATER & SANITARY SEWER EASEMENT FOR THE BENEFIT AND USE OF THE OWNERS OF LOTS 1 THRU 10 TO BE MAINTAINED BY SAID OWNERS." THIS PLAT HEREBY REVISES THE EASEMENT DESIGNATION TO A "6' PRIVATE ACCESS EASEMENT FOR THE BENEFIT OF LOTS 1-10 TO BE MAINTAINED BY OWNERS OF SAID LOTS."

ALBUQUERQUE CONTROL SURVEY  
MONUMENT "8-611"  
N.M. State Plane Coordinates  
(Central Zone - NAD 83)  
N=1,502,336.625 U.S. Survey feet  
E=1,505,431.887 U.S. Survey feet  
Delta Alpha = -00°15'35.17"  
Ground to Grid Factor = 0.999680082  
Elevation = 5116.009 (NAVD88) U.S. Survey feet



**LINE TABLE**

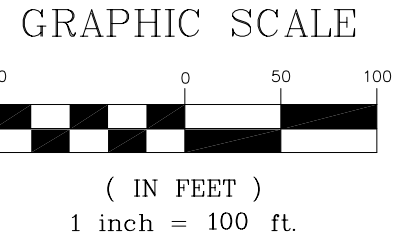
LINE	LENGTH	BEARING
L1	6.47	S08°00'09"E
L2	74.00	N81°59'51"E
L3	6.47	N08°00'09"W
L4	42.00	N88°01'20"E
L5	42.00	N88°01'20"E
L6	3.48	N01°58'40"W
L7	60.97	S00°10'12"W
L8	1.92	N89°49'48"W
L9	36.00	S00°10'12"W
L10	1.92	S89°49'48"E
L11	60.88	S00°10'12"W
L12	152.37	S00°10'12"W
L13	103.62	S00°10'12"W
L14	83.51	S00°10'12"W
L15	127.13	S00°10'12"W
L16	30.83	S90°00'00"E
L17	38.88	S00°00'00"E
L18	113.49	S00°00'00"E
L19	103.62	S00°00'00"E
L20	83.51	S00°00'00"W
L21	146.19	N90°00'00"E
L22	8.10	S11°44'33"E
L23	3.80	S01°58'40"E

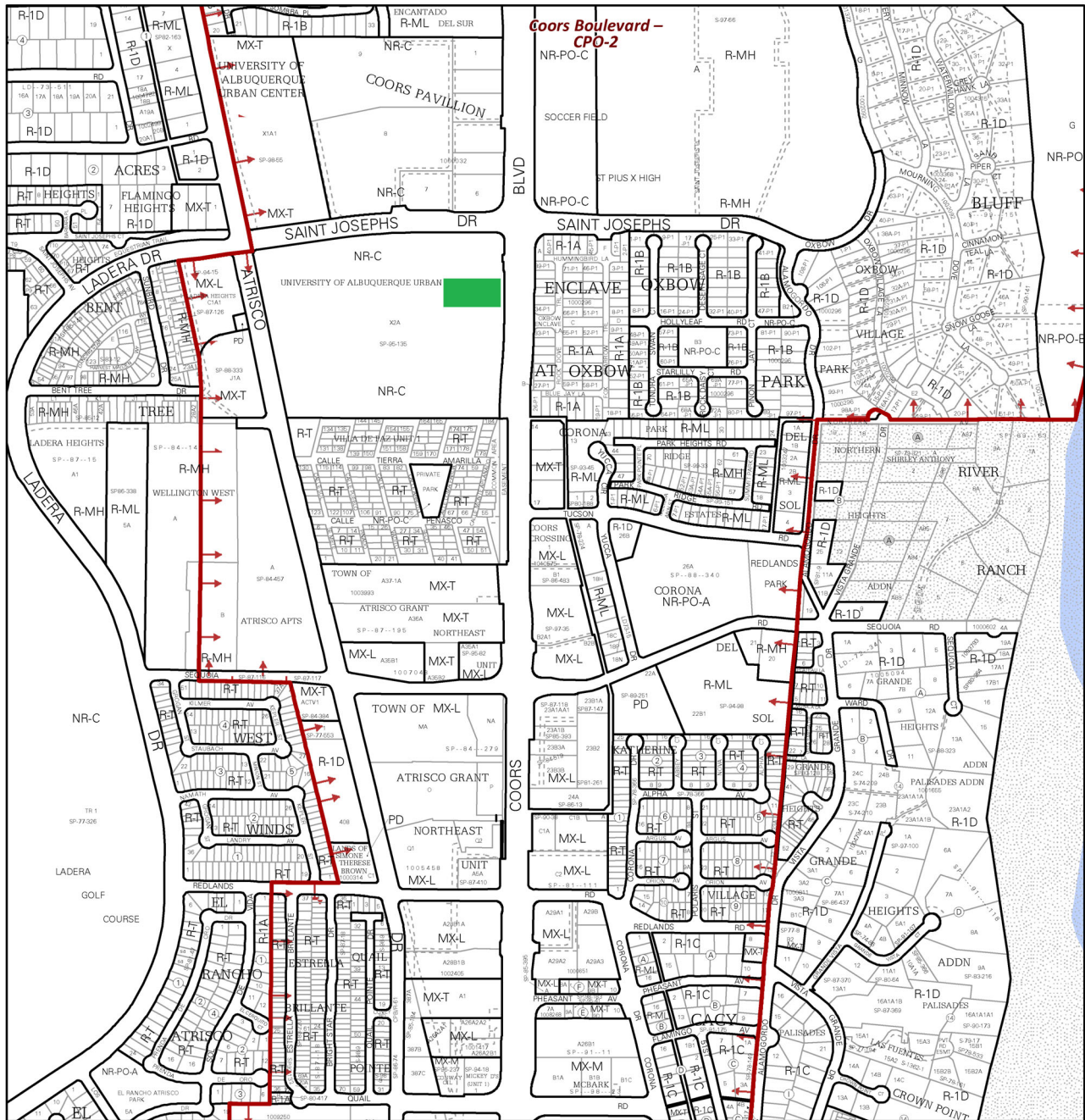
**CURVE TABLE**

CURVE	LENGTH	RADIUS	TANGENT	CHORD	CHORD BEARING	DELTA
C1	49.08'	30.00'	32.03'	43.79'	S35°07'39"W	93°44'24"
C2	39.27'	25.00'	25.00'	35.36'	N53°00'09"W	90°00'00"
C3	39.26'	25.00'	24.99'	35.35'	S36°59'12"W	89°58'42"
C4	40.18'	2939.00'	20.09'	40.18'	S82°22'03"W	0°47'00"
C5	59.67'	169.10'	30.15'	59.36'	S85°59'33"E	2°01'30"
C6	143.56'	2928.00'	71.79'	143.54'	S85°18'11"W	2°48'33"
C7	39.84'	25.00'	25.58'	35.76'	N47°38'06"W	91°18'52"
C8	39.85'	25.00'	25.59'	35.76'	S43°41'12"W	91°19'44"
C9	42.43'	2931.50'	21.22'	42.43'	S89°45'56"W	0°49'45"
C10	62.82'	40.00'	39.99'	56.56'	N44°49'30"W	89°59'23"
C11	24.70'	2786.79'	12.35'	24.70'	N05°03'06"E	0°30'28"
C12	30.31'	2942.79'	15.16'	30.31'	S05°00'42"W	0°35'25"
C13	233.40'	2942.79'	116.76'	233.34'	S02°26'40"W	4°32'40"
C14	59.83'	500.00'	29.95'	59.80'	S05°24'21"E	6°51'23"
C15	25.38'	500.00'	12.69'	25.38'	S10°17'18"E	2°54'30"

CREATED PER THIS PLAT IS AN EASEMENT OR GRANT OF RIGHT FOR PARKING, DRAINAGE, PUBLIC UTILITY, INGRESS AND EGRESS FOR THE BENEFIT AND USE OF THE OWNERS OF LOTS 1 THRU 10, MAINTENANCE OF SAID EASEMENTS SHALL BE THE RESPONSIBILITY OF THE OWNERS OF SAID LOTS 1 THRU 10, AS FURTHER DEFINED IN THE RECORDED "DECLARATION OF EASEMENTS, COVENANTS AND RESTRICTIONS", RECORDED \_\_\_\_\_, DOC# \_\_\_\_\_

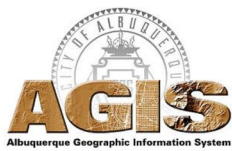
NGS/ALBUQUERQUE CONTROL SURVEY  
MONUMENT "JOSEPH 1969"  
N.M. State Plane Coordinates  
(Central Zone - NAD83)  
N=1,502,309.28 U.S. Survey feet  
E=1,506,932.687 U.S. Survey feet  
Delta Alpha = -00°15'24.78"  
Ground to Grid Factor = 0.999679588



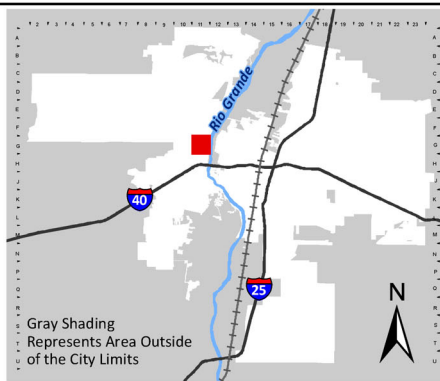


For more details about the Integrated Development Ordinance visit: <http://www.cabq.gov/planning/codes-policies-regulations/integrated-development-ordinance>

# IDO Zone Atlas May 2018



IDO Zoning information as of May 17, 2018  
The Zone Districts and Overlay Zones  
are established by the  
Integrated Development Ordinance (IDO).



Zone Atlas Page:  
**G-11-Z**

- Easement
- Escarpment
- Petroglyph National Monument
- Areas Outside of City Limits
- Airport Protection Overlay (APO) Zone
- Character Protection Overlay (CPO) Zone
- Historic Protection Overlay (HPO) Zone
- View Protection Overlay (VPO) Zone

