

LOCATION MAP NOT TO SCALE ZONE MAP G-11-Z

UNLESS OTHERWISE NOTED, CORNERS ARE SET 5/8" REBAR WITH CAP MARKED 13979

FOUND CITY OF ALBUQUERQUE CONTROL MONUMENT STAMPED "NM 448-N4A 1984" X=1505370.3964 Y=1499797.4518 GROUND TO GRID FACTOR: 0.999679506 DELTA ALPHA: -0°15'20.29" CENTRAL ZONE NAD 83

FREE CONSENT STATEMENT

THE PLATTING HEREON DESCRIBED IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNER(S), SAID OWNER(S) WARRANTS THAT THEY HOLD COMPLETE AND INDEFEASIBLE TITLE IN FEE SIMPLE TO THE LAND SUBDIVIDED.

ESTRELLA VISTA DEV. INC.

ACKNOWLEDGMENT

STATE OF NEW MEXICO } SS
COUNTY OF BERNALILLO }

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME
THIS _____ DAY OF _____, 2008, BY:

ESTRELLA VISTA DEV. INC. DATE

NOTARY PUBLIC
MY COMMISSION EXPIRES _____

PURPOSE OF PLAT

THE PURPOSE OF THIS PLAT IS TO CREATE TWO LOTS OUT OF LOT 7, BLOCK A, GRANDE HEIGHTS ADDITION

REFERENCES

1. SURVEY OF LOT 7, BLOCK A, GRANDE HEIGHTS ADDITION BY J. ROBERT MARTINEZ, PLS NO. 4076, DATED JULY 26, 2007
2. WARRANTY DEED FILED 8/29/07 REC. NO. 2007124802

SUBDIVISION DATA

1. Plat Case No's _____ Project # 1005094 Case # _____
2. Zone Atlas No. _____ G-11-Z
3. Gross Subdivision Acreage _____
4. Original Number of Lots _____ 1
5. Number of Lots Created _____ 2
6. TALOS LOG _____
7. Miles of full width street created _____ 0.00 MILE±

THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND PAID ON UPC #:

PROPERTY OWNER OF RECORD:

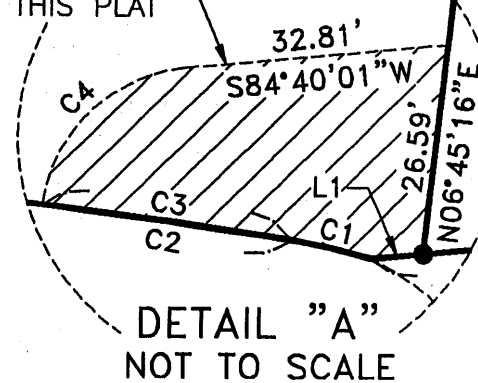
BERNALILLO COUNTY TREASURER'S OFFICE:

SITE

LINE TABLE		
#	BEARING	LENGTH
L1	S84°40'01"W	6.50'

CURVE TABLE			
#	RADIUS	LENGTH	DELTA
C1	100.82'	10.38'	05°53'52"
C2	693.15'	70.40'	05°49'10"
C3	693.15'	31.24'	02°34'57"
C4	20.00'	27.06'	77°30'41"

NEW EASEMENT GRANTED BY THIS PLAT



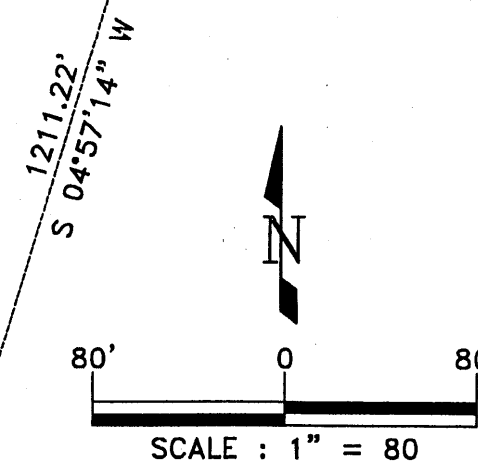
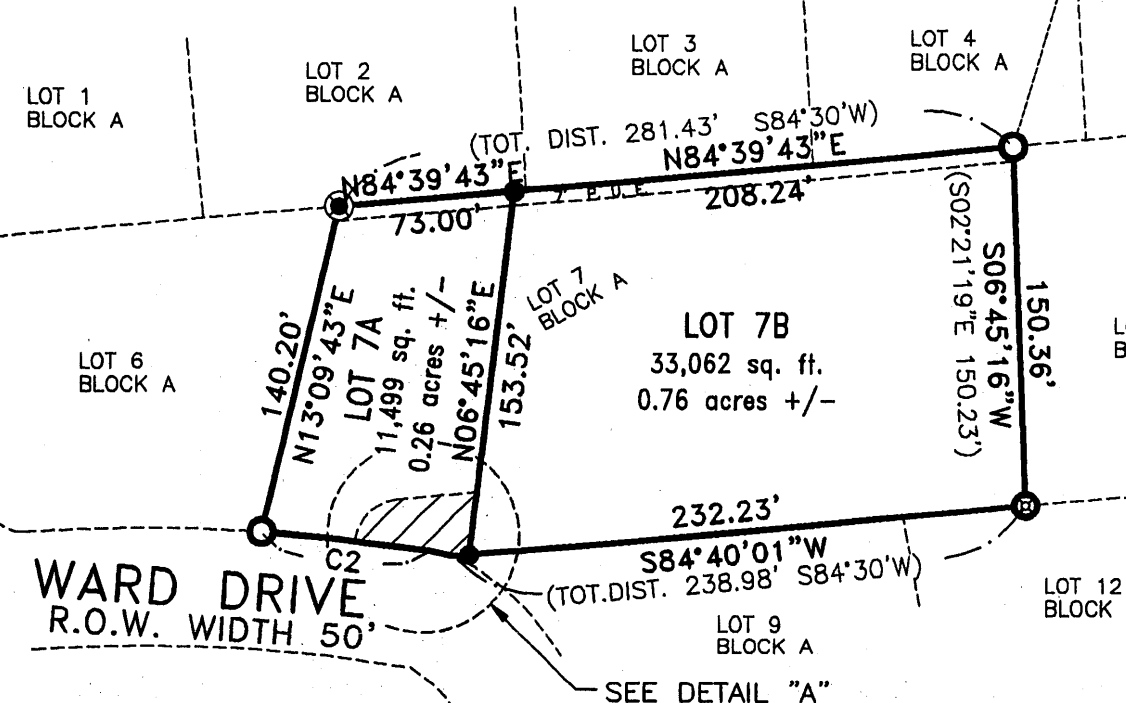
DETAIL "A" NOT TO SCALE

FOUND U.S.G.S. SURVEY CONTROL MONUMENT MARKED "VABM 5108 NOSE RG 1950" X=1507563.8610 Y=1501069.2930 GROUND TO GRID FACTOR: 0.999679506 DELTA ALPHA: -0°15'20.29" CENTRAL ZONE NAD 83

LEGEND

- FOUND 1/2" REBAR AND CAP LS 4076
 - FOUND 1/2" REBAR WITH TAG LS 4076
 - SET NAIL WITH WASHER AS NOTED LS 13979
 - SET 5/8" REBAR AND PLASTIC CAP LS 13979
- NOTE: (RECORD DIMENSIONS IN PARENTHESES)

VISTA GRANDE DRIVE
RIGHT-OF-WAY WIDTH 60'

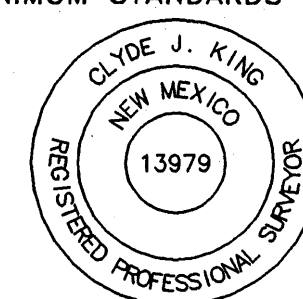


SEQUOIA COURT
RIGHT-OF-WAY WIDTH 50'

SURVEYOR'S CERTIFICATION:

I, CLYDE L. KING, A DULY QUALIFIED LAND SURVEYOR REGISTERED UNDER THE LAWS OF THE STATE OF NEW MEXICO, DO HEREBY CERTIFY THAT THIS PLAT WAS PREPARED FROM FIELD NOTES OF A SURVEY CONDUCTED UNDER MY SUPERVISION; THAT SAID PLAT SHOWS ACCURATE DIMENSIONS AND LAND AREAS, ALL EASEMENTS OF PUBLIC RECORD OR MADE KNOWN TO ME BY THE LAND OWNER, UTILITY COMPANIES OR AGENCIES EXPRESSING AN INTEREST; THAT THIS SURVEY MEETS THE MINIMUM REQUIREMENTS FOR MONUMENTATION AND SURVEY OF THE BERNALILLO COUNTY SUBDIVISION ORDINANCE; THAT THE SURVEY MEETS THE MINIMUM STANDARDS FOR SURVEYING IN NEW MEXICO; AND THAT THE SURVEY IS TRUE AND CORRECT.

CLYDE J. KING, NMPS #13979 DATE



CITY APPROVALS:

CITY SURVEYOR	Date
REAL PROPERTY DIVISION	Date
ENVIRONMENTAL HEALTH DEPARTMENT	Date
TRAFFIC ENGINEERING, TRANSPORTATION DIVISION	Date
ABCWUA	Date
PARKS AND RECREATION DEPARTMENT	Date
AMAFCA	Date
CITY ENGINEER	Date
DRB CHAIRPERSON, PLANNING DEPARTMENT	Date

UTILITY COMPANY APPROVALS

PNM ELECTRIC SERVICES	Date
PNM GAS SERVICES	Date
QWEST TELECOMMUNICATIONS	Date
COMCAST	Date
NEW MEXICO UTILITIES	Date

PNM AND ELECTRIC GAS SERVICES:

In approving this plat, PNM Electric and Gas Services (PNM) did not conduct a title search of the properties shown hereon. Consequently, PNM does not waive nor release easement or easement rights to which it may be entitled.

PLAT OF SUBDIVISION OF LOT 7, BLOCK A, GRANDE HEIGHTS ADDITION

WITHIN THE ATRISCO GRANT BOUNDARY
ALBUQUERQUE, BERNALILLO COUNTY
OCTOBER, 2008

LEGAL DESCRIPTIONS

KNOW ALL MEN BY THESE PRESENTS THAT ESTRELLA VISTA DEV. INC. BEING THE OWNERS OF A CERTAIN TRACT OF LAND WITHIN THE ATRISCO GRANT BOUNDARY, BERNALILLO COUNTY, NEW MEXICO, COMPRISING OF LOT 7, BLOCK A, GRANDE HEIGHTS ADDITION, AS THE SAME ARE SHOWN AND DESIGNATED ON THE REPLATS OF SAID SUBDIVISION, FILED JANUARY 31, 1966, MAP BOOK D3, PAGE 132, RESPECTIVELY, IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, AND NOW COMPRISING LOT 7A, AND 7B, BLOCK A, GRANDE HEIGHTS, BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

COMMENCING AT THE U.S.G.S. SURVEY CONTROL MONUMENT "NOSE" MONUMENTED WITH 3 INCH BRASS CAP, FROM WHENCE A CITY OF ALBUQUERQUE SURVEY CONTROL MONUMENT STAMPED "NM 448-N4A 1984" MONUMENTED WITH A 3.25 INCH ALUMINUM CAP BEARS S 59°53'36" W, A DISTANCE OF 2535.52 FEET; THENCE S 04°57'14" W, A DISTANCE OF 1211.22 FEET TO THE POINT OF BEGINNING; THENCE S 06°45'16" W, A DISTANCE OF 150.36 FEET; THENCE S 84°40'01" W, A DISTANCE OF 238.73 FEET TO A NON-TANGENT CURVE WITH A RADIUS OF 100.82 FEET, AND A CHORD OF 10.37 FEET BEARING N 76°39'22" W; THENCE ALONG SAID CURVE A DISTANCE OF 10.38 FEET TO A NON-TANGENT CURVE WITH A RADIUS OF 693.15 FEET, AND A CHORD OF 70.37 FEET, BEARING N 83°59'53" W; THENCE ALONG SAID CURVE A DISTANCE OF 70.40 FEET; THENCE N 13°09'43" E, A DISTANCE OF 140.20 FEET; THENCE N 84°39'43" E, A DISTANCE OF 281.24 FEET TO THE POINT OF BEGINNING.

AN EASEMENT FOR THE PURPOSES OF INGRESS, EGRESS, DRAINAGE, SEWER, WATER, AND DRY UTILITIES COMMENCING AT THE U.S.G.S. SURVEY CONTROL MONUMENT "NOSE" MONUMENTED WITH 3 INCH BRASS CAP, FROM WHENCE A CITY OF ALBUQUERQUE SURVEY CONTROL MONUMENT STAMPED "NM 448-N4A 1984" MONUMENTED WITH A 3.25 INCH ALUMINUM CAP BEARS S 59°53'36" W, A DISTANCE OF 2535.52 FEET; THENCE S 04°57'14" W, A DISTANCE OF 1211.22 FEET; THENCE S 06°45'16" W, A DISTANCE OF 150.36 FEET; THENCE S 84°40'01" W, A DISTANCE OF 232.23 FEET TO THE POINT OF BEGINNING; THENCE N 06°45'16" E, A DISTANCE OF 26.59 FEET; THENCE S 84°40'01" W, A DISTANCE OF 32.81 FEET TO A TANGENT CURVE WITH A RADIUS OF 20.00 FEET, AND A CHORD OF 25.04 FEET, BEARING S 45°54'41" W; THENCE ALONG SAID CURVE 27.06 FEET TO A NON-TANGENT CURVE WITH A RADIUS OF 693.15 FEET, AND A CHORD OF 31.24 FEET, BEARING S 82°22'47" E; THENCE ALONG SAID CURVE 31.24 FEET TO A NON-TANGENT CURVE WITH A RADIUS OF 100.82 FEET, AND A CHORD OF 10.37 FEET, BEARING S 76°39'22" E; THENCE ALONG SAID CURVE 10.38 FEET; THENCE N 84°40'01" E, A DISTANCE OF 6.50 FEET TO THE POINT OF BEGINNING.

RHOMBUS P.A., INC.
FACILITIES ENGINEERS • ENVIRONMENTAL CONSULTANTS

e-mail: rhombus@nmia.com
web site: www.RHOMBUSPA.COM

2620 San Mateo NE Suite B Albuquerque, NM 87110
TEL. (505) 881-6690 FAX (505) 881-6896

SHEET 1 OF 1

INDEXING INFORMATION FOR
COUNTY OF BERNALILLO
LOT 7, BLOCK A
WITHIN THE ATRISCO GRANT BOUNDARY
OWNERS: ESTRELLA VISTA DEV. INC.

SUBDIVISION: GRANDE HEIGHTS ADDITION

LINE TABLE		
#	BEARING	LENGTH
L1	N83°30'02"E	30.76'

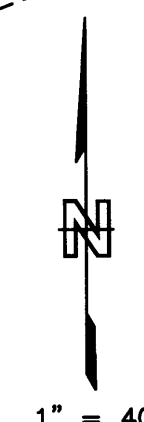
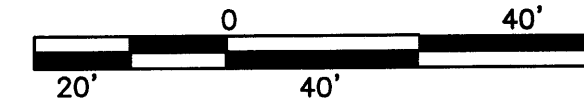
FOUND U.S.G.S. SURVEY CONTROL MONUMENT
MARKED "VABM 5108 NOSE RG 1950"
(CENTRAL ZONE NAD 83)
NORTHING=1501069.293
EASTING=1507563.861
GROUND TO GRID FACTOR=0.999679506
DELTA ALPHA ANGLE= -0°15'20.29"

PRELIMINARY

PLAT
OF
LOT 7-B & 8, BLOCK A
GRANDE HEIGHTS ADDITION
WITHIN THE ATRISCO GRANT BOUNDARY
PROJECTED SECTION 2, T. 10 N., R. 2 E.
ALBUQUERQUE, BERNALILLO COUNTY
NOVEMBER, 2008

FOUND CITY OF ALBUQUERQUE
CONTROL MONUMENT STAMPED
"NM 448-N4A 1984"
(CENTRAL ZONE NAD 83)
NORTHING=1499797.854
EASTING=1505371.09
GROUND TO GRID FACTOR=0.999680524
DELTA ALPHA ANGLE= -0°15'35.36"

S 59°53'36" W (BASIS OF BEARING) 2535.52'



VISTA GRANDE DRIVE
60' RIGHT-OF-WAY

LOT 2-A
BLOCK A
GRANDE HEIGHTS ADDITION
08/09/1972
BOOK B7, PAGE 7

LOT 6
BLOCK A
GRANDE HEIGHTS ADDITION
01/31/1966
BOOK D3, PAGE 132

LOT 7-A
BLOCK A

LOT 3
BLOCK A
GRANDE HEIGHTS ADDITION
01/31/1966
BOOK D3, PAGE 132

LOT 4
BLOCK A
GRANDE HEIGHTS ADDITION
01/31/1966
BOOK D3, PAGE 132

LOT 5
BLOCK A
GRANDE HEIGHTS ADDITION
01/31/1966
BOOK D3, PAGE 132

116.18'
N85°00'00"E

SEQUOIA COURT
50' RIGHT-OF-WAY

75.63' N84°39'16"E

LOT 8A
11,151 sq. ft.
0.2560 acres

LOT 8
BLOCK A
GRANDE HEIGHTS ADDITION
01/31/1966
BOOK D3, PAGE 132

LOT 8B
11,156 sq. ft.
0.2561 acres

LOT 12-A
BLOCK A
GRANDE HEIGHTS ADDITION
11/03/1988
BOOK C37, PAGE 159

LOT 9
BLOCK A
GRANDE HEIGHTS ADDITION
01/31/1966
BOOK D3, PAGE 132

LOT 7C
12,843 sq. ft.
0.2948 acres

LOT 7-B
BLOCK A

LOT 7E
10,032 sq. ft.
0.2303 acres

LOT 7D
10,169 sq. ft.
0.2334 acres

PRIVATE INGRESS, EGRESS, WATER AND
SEWER, DRAINAGE AND UTILITY EASEMENT

PRIVATE INGRESS, EGRESS, WATER AND
SEWER, DRAINAGE AND UTILITY EASEMENT

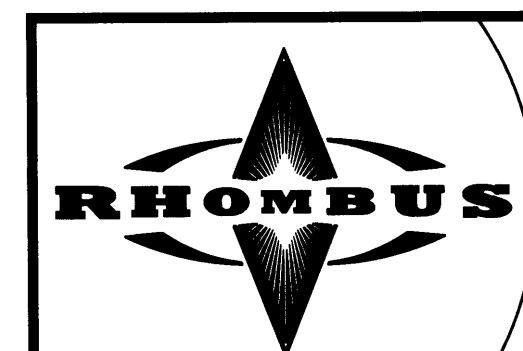
WARD DRIVE
50' RIGHT-OF-WAY

NOTES

1. DEVELOPMENT OF LOT 7-B WILL BE SUBJECT TO AN ENGINEERED DEVELOPMENT PLAN AND APPROPRIATE EASEMENTS ON THE ADJOINING, DOWNSTREAM LOT 8.

2. NO PROPERTY WITHIN THE AREA OF THIS PLAT SHALL AT ANY TIME BE SUBJECT TO A DEED RESTRICTION, COVENANT, OR BINDING AGREEMENT PROHIBITING SOLAR COLLECTORS FROM BEING INSTALLED ON BUILDINGS OR ERECTED ON THE LOTS OR PARCELS WITHIN THE AREA OF PROPOSED PLAT. THE FOREGOING REQUIREMENT SHALL BE A CONDITION TO APPROVAL OF THE PLAT.

3. THE PRIVATE INGRESS, EGRESS, WATER AND SEWER, DRAINAGE AND UTILITY EASEMENT ARE FOR THE BENEFIT AND USE BY THE OWNER(S) OF LOT 7-B AND IS TO BE MAINTAINED BY THE SAID OWNER(S).



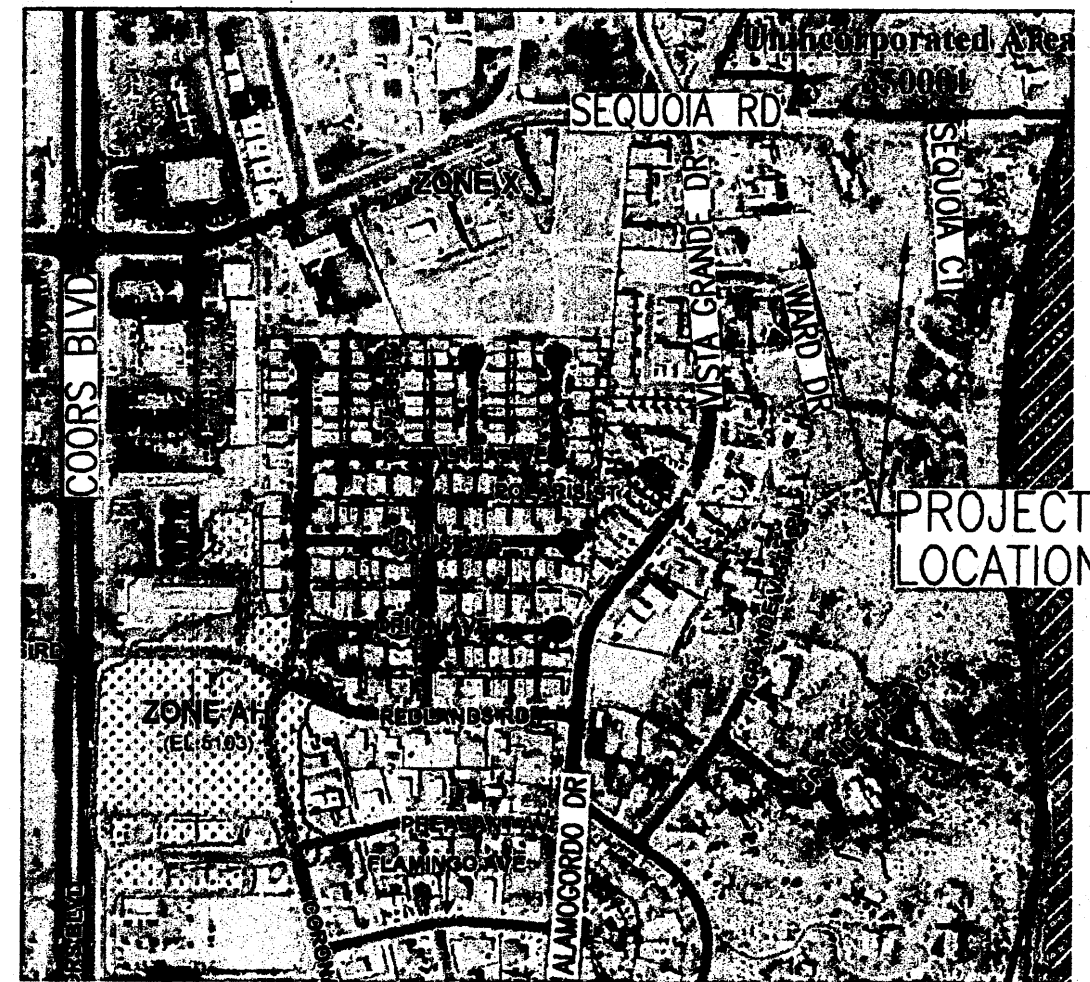
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SHEET
1 OF 1

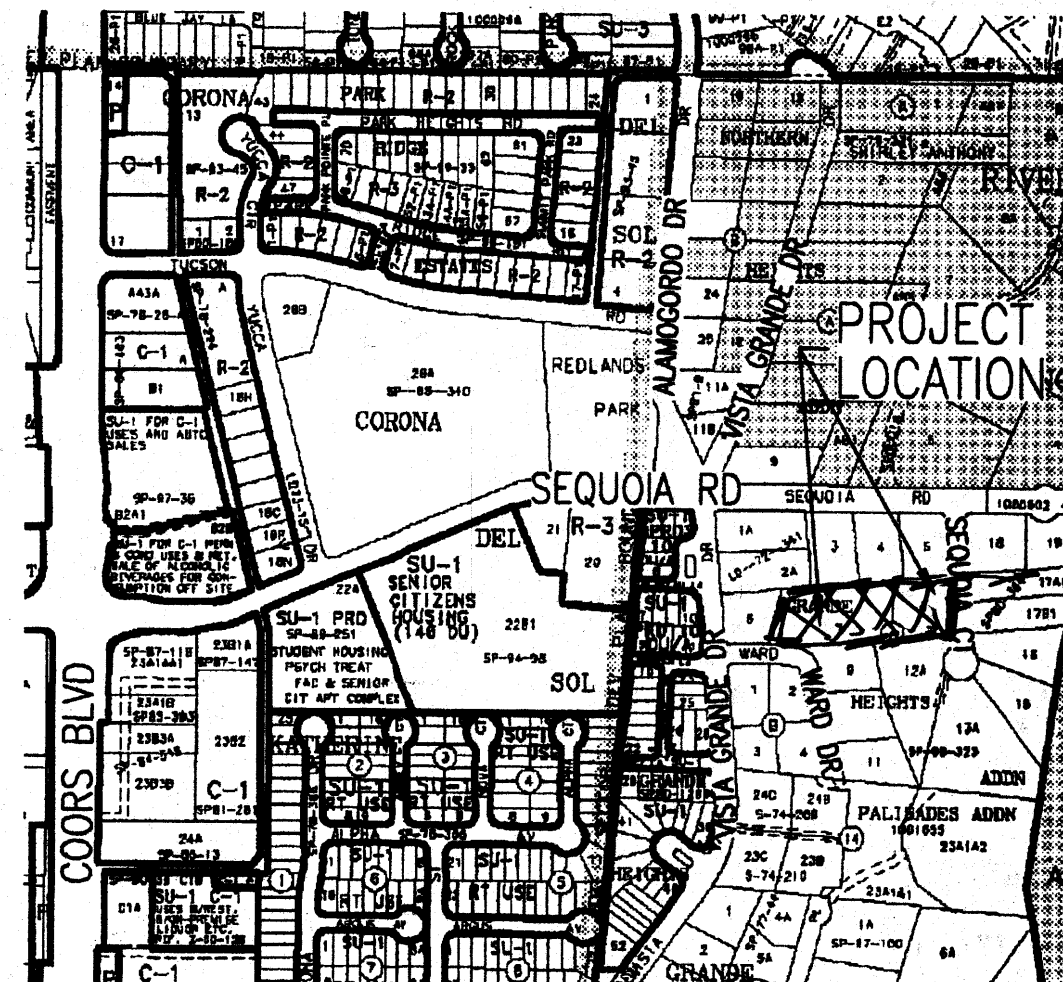
C.O.A. NOTICE TO CONTRACTOR

1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
2. ALL WORK DETAILED ON THESE PLANS IS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1986, UPDATED THROUGH LATEST REVISION.
3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 260-1990 FOR LOCATION OF EXISTING UTILITIES. (NM ONE CALL = "811")
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL EXISTING UTILITIES. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
5. BACKFILL COMPACTION IN THE RIGHT-OF-WAY SHALL BE ACCORDING TO TRAFFIC/STREET USE.



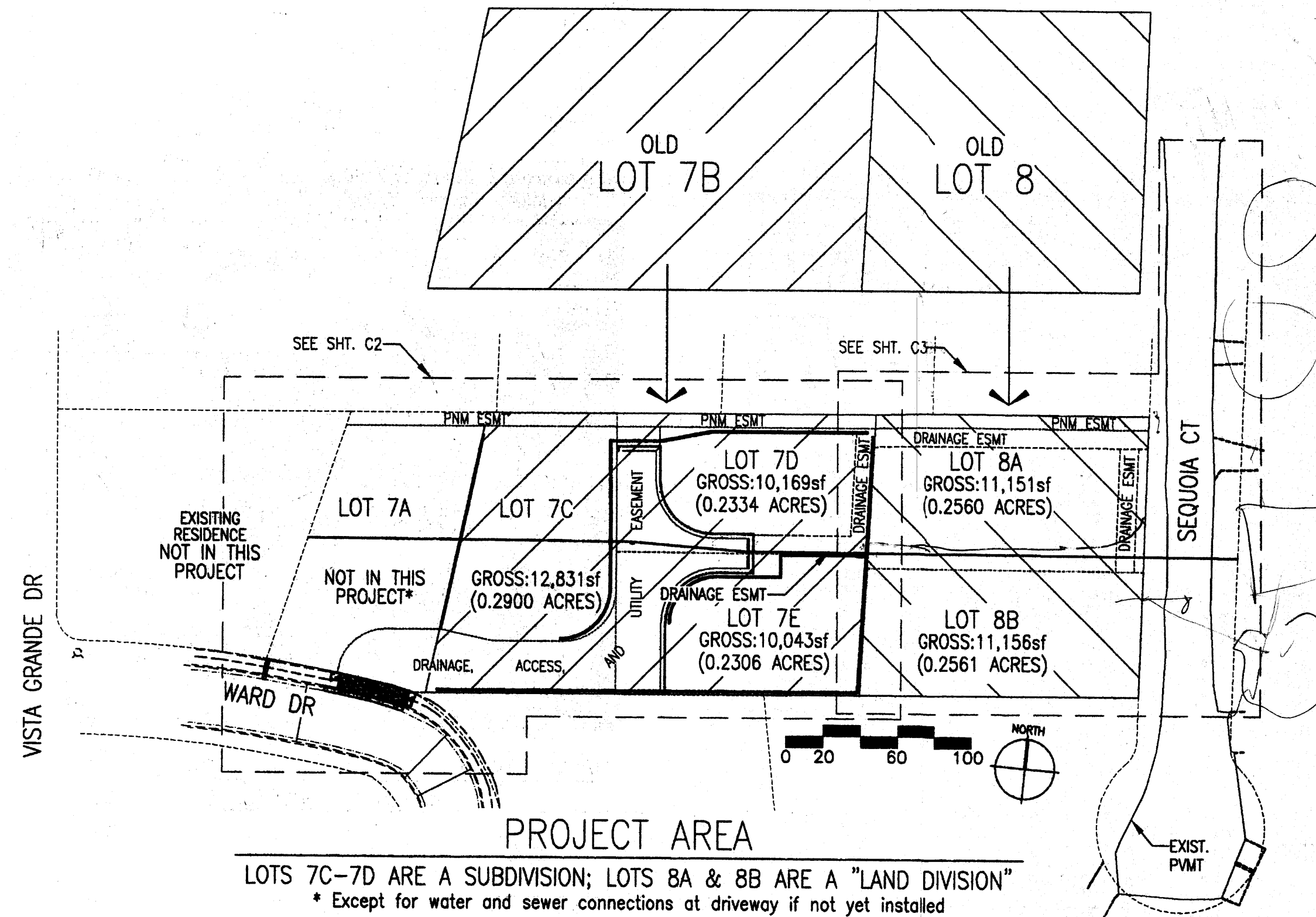
VICINITY MAP & FLOOD ZONE MAP

FEMA PANEL: 35001C0327G (2008) nts



VICINITY MAP

C.O.A. MAP G-11-Z nts



PROJECT AREA

LOTS 7C-7D ARE A SUBDIVISION; LOTS 8A & 8B ARE A "LAND DIVISION"
* Except for water and sewer connections at driveway if not yet installed

SURVEY CITATION

BOUNDARY & TOPOGRAPHIC SURVEYS BY: RHOMBUS, PA, ALBUQUERQUE NM, 505/881-6690, IN CONJUNCTION WITH ABSOLUTE SURVEYING & MAPPING, INC, 829 W. 7TH STREET, CORTEZ COLORADO, 81321; 970/564-0220.

PROJECT BENCH MARK: MANHOLE IN WARD DRIVE RIM OPPOSITE LOT 7A, RIM EL.=4999.59

DRAWING INDEX

- C1: GENERAL INFORMATION
C2: GRADING, DRAINAGE AND PAVING PLAN, WEST PART OF SITE:
(A) CONSTRUCTION ITEMS, AND (B) CONTOURS AND SPOT ELEVATIONS
C3: GRADING, DRAINAGE PLAN, EAST PART OF SITE (NO PAVING THERE)
C4: UTILITY PLANS & DETAILS
C5: OTHER DETAILS
C6: EROSION CONTROL PLAN
C7: TRAFFIC CIRCULATION LAYOUT; FIRE TRUCK PATH; EAST-WEST CROSS-SECTION
C8: DRAINAGE REPORT AND CALCULATIONS

GENERAL NOTES:

CONTRACTOR, PAY ATTENTION! THESE ARE NOT YOUR GRANDFATHERS'S GENERAL NOTES.

1. ALL WORK IS TO BE PERFORMED IN A WORKMANLIKE MANNER.
2. EXCEPT AS OTHERWISE STATED OR PROVIDED FOR BY THESE PLANS, ALL WORK IS TO BE PERFORMED IN ACCORDANCE WITH CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1986 EDITION, UPDATED THROUGH AMENDMENT 1 TO REVISION 7.
3. THERE MAY BE UTILITIES AND OTHER ITEMS THAT ARE NOT SHOWN, AND SOME ITEMS SHOWN MAY NOT BE SHOWN IN THE CORRECT LOCATION. FIELD VERIFY, PHONE 811 FOR UTILITIES SPOTTING AT LEAST 3 WORKING DAYS PRIOR TO THE START OF CONSTRUCTION.
4. CONTRACTOR'S GOOD SENSE: THE CONTRACTOR IS REQUIRED TO USE HIS GOOD SENSE, EXPERIENCE, AND JUDGMENT.
5. IF UNUSUAL, CONFLICTING, OR EVEN APPARENTLY ODD CIRCUMSTANCES ARISE, THE CONTRACTOR IS TO CONSULT WITH THE ENGINEER FOR A RESOLUTION BEFORE PROCEEDING WITH FINAL LAYOUT OR CONSTRUCTION.
6. IF THE CONTRACTOR IS UNCLEAR AS TO THE MEANING OR INTENT OF A FEATURE OR NOTE THE CONTRACTOR IS TO CONSULT WITH THE ENGINEER FOR A RESOLUTION BEFORE PROCEEDING WITH FINAL LAYOUT OR CONSTRUCTION.
7. IF A NOTE SAYS TO NOT DO SOMETHING, DON'T DO IT. IF A NOTE SAYS TO DO SOMETHING CAREFULLY, DO IT CAREFULLY.
8. THE ENGINEER INTENDS AND EXPECTS THAT ITEMS WHOSE DETAILS WERE DRAWN FOR THIS PROJECT WILL BE CONSTRUCTED PER THOSE DETAILS, WHETHER THE FIRST TIME OR A SUBSEQUENT TIME. SEE ALSO THE GENERAL NOTES REGARDING "GOOD SENSE" (#4), "CIRCUMSTANCES" (#5), "UNCLEAR" (#6), AND "CHANGES" (#9).
9. CHANGES & DEVIATIONS ARE TO BE APPROVED IN WRITING IN ADVANCE OF CONSTRUCTION. CONTRACTOR IS TO KEEP A MARKUP COPY OF THE PLANS AND TO NOTE THEREON ALL CHANGES AND DEVIATIONS FROM THE PLANS.
10. VERIFICATION / PHOTO VERIFICATION: THESE PLANS, ESPECIALLY THE UTILITIES PLAN, MAY CALL FOR VERIFICATION OF CONSTRUCTED ITEMS, ESPECIALLY ITEMS NOT VISIBLE AT THE END OF CONSTRUCTION. VERIFICATION MAY NEED CERTIFICATION BY A PROPERLY LICENSED SURVEYOR, OR PHOTOS, OR BOTH.
11. ENGINEER IS WILLING TO SUPPLY AN ELECTRONIC COPY OF THIS DRAWING (AUTOCAD 2005) FOR THE CONTRACTOR'S USE ON THIS PROJECT.
12. IF THE CONTRACTOR FEELS THERE IS A CONSTRUCTION ITEM NOT COVERED WITH A DETAIL OR SPECIFICATION, THE ENGINEER SHALL BE CONTACTED AND A DETAIL OR SPECIFICATION SHALL BE SELECTED, PROBABLY FROM THE CITY OF ALBUQUERQUE SPECIFICATIONS.
13. SOILS REPORT: PRIOR TO THE START OF CONSTRUCTION, THE OWNER OR THE CONTRACTOR SHALL OBTAIN A SOILS REPORT (GEOTECHNICAL REPORT) FOR THE PROJECT PREPARED BY A PROPERLY LICENSED ENGINEER. CONSTRUCTION SHALL FOLLOW THE RECOMMENDATIONS OF THAT REPORT, ESPECIALLY IN REGARD TO BACKFILL AND COMPACTION, INCLUDING OVEREXCAVATION AND BENCHING FOR COMPACTION ON SLOPES AND UNDER RETAINING WALLS, ESPECIALLY ON SLOPES.
14. BACKFILL AND COMPACTION IN THE CITY RIGHT OF WAY SHALL BE ACCORDING TO TRAFFIC/STREET USE.
15. THE CONTRACTOR IS RESPONSIBLE FOR EARTHWORK QUANTITIES
16. CITY PERMITS NEEDED FOR STREET AND UTILITY CONSTRUCTION ARE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR. PERMITS WILL BE NEEDED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT OF WAY.
17. PAVEMENT CUTS FOR ALL UTILITIES SHALL BE PER CITY OF ALBUQUERQUE STD DWG 2465
18. WATER AND SEWER SERVICES FOR LOTS 8A & 8B WILL BE PROVIDED BY THE INDIVIDUAL OWNERS WHEN THOSE LOTS ARE DEVELOPED. SEWER SERVICE TO 8A & 8B WILL BE VIA SEWER EJECTOR PUMP DISCHARGING AGAINST ROUGHLY 80 FT TO 100 FT OF HEAD.
19. MAINTENANCE OF ONSITE SEWER & WATER FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNERS OF THE PROPERTY SERVED.
20. RETAINING WALL DESIGN IS BY OTHERS.

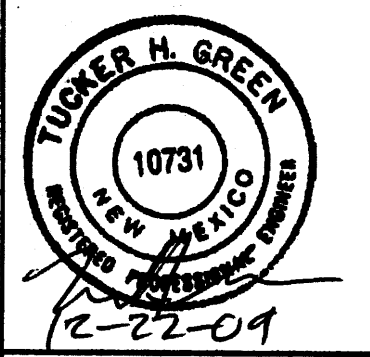
LEGEND & ABBREVIATIONS

APWA	AM. PUBLIC WORKS ASSN.	FC	FACE OF CURB	RD	ROOF DRAIN
AWWA	AM. WATER WORKS ASSN.	F-F	FACE TO FACE	ROW,RW	RIGHT OF WAY
B	BACK (PREFIX)	FF	FINISHED FLOOR	S	SLOPE
BC	BACK OF CURB	FG	FINISHED GRADE	SAS	SANITARY SEWER
BDY.	BOUNDARY	FL	FLOW LINE	SD	STORM DRAIN
BSW	BACK OF SIDEWALK	FM	FORCE MAIN	SDR	STANDARD DESIGN RATIO
BT-CB	BOTTOM OF CURB	FP	FINISHED PAD	SDWK	SIDEWALK
CG	CURB AND GUTTER	FS	FINISHED SURFACE	SFM	SEWER FORCE MAIN/SERVICE
CF	CURB FACE	G	GAS	SFL	SANITARY SEWER LATERAL
CI	CAST IRON	GB	GRADE BREAK	SW	SIDEWALK
CI SP	CI SOIL PIPE (SAS)	HDPE	HIGH-DENSITY PE	T	TANGENT
CMU	CONCRETE MASONRY UNIT	HP	HIGH POINT	T	TELEPHONE
CO	CLEAN OUT	INV	INVERT	TA	TOP OF ASPHALT
COA	CITY OF ALBUQUERQUE	L	LENGTH	TBM	TEMPORARY BENCH MARK
E,EX,X	EXISTING (PREFIX)	LF	LINEAR FOOT	TF	TOP FOOTING
DIP	DUCTILE IRON	LS	LANDSCAPE, -ING	TG	TOP GRATE
DI	DROP INLET	LP	LOW POINT	TC	TOP OF CHANNEL or
DR	DESIGN RATIO	MH	MANHOLE		TOP OF CONCRETE or
DRWG	DRAWING	NM	NEW MEXICO		TOP OF CURB
DWG	DRAWING	OC	ON CENTER		TOP OF CLEANOUT
E	ELECTRIC, ELECTRICITY	OH	OVERHEAD	TCO	TOE OF SLOPE
EA	EDGE OF ASPHALT	PA	PLANTER AREA	TOE	TOE OF SLOPE
EDF	EXTRA-DEPTH FOOTING	PC	POINT OF CURVATURE	TOP	TOP OF SLOPE
EG	EXISTING GRADE, or	PE	POLYETHYLENE	TP	TOP OF PIPE
	EDGE OF GUTTER	PEX	CROSS-LINKED PE	TRW	TOP OF RETAINING WALL
	EDGE OF PAVEMENT	PP	POWER POLE	TS	TOP OF SIDEWALK
EP,EOP	EDGE OF PAVEMENT	PT	POINT OF TANGENCY	TW	TOP OF WALL
EOR	EDGE OF ROAD	PUE	PUBLIC UTILITY EASEMENT	UP,UT	UTILITY POLE
EW	EACH WAY	PVC	POLYVINYL CHLORIDE	W	WATER
		R	RADIUS, or	WSL	WATER SERVICE LINE
		R	RATE OF SLOPE	X	EXISTING (PREFIX)

---5030---	EXISTING CONTOUR	22 25	CONSTRUCTION ITEM / KEY NOTE
---90---	EXISTING CONTOUR	N=1499773.470 E=1507336.580	EXISTING SPOT ELEVATION
---GB---	GRADE BREAK OR RIDGE	EXAMPLE EL=1234.56	NEW SPOT ELEVATION
---	NEW FLOW LINE OR SWALE	35.36fs	NEW TOP OF CURB & BOTTOM OF CURB OR FIN. GRADE
---	FLOW DIRECTION	35.36 35.36	
---	NEW RETAINING WALL		
---	CONCRETE, CROSS-SECTION		PLANTER AREA / LANDSCAPING SECTION
---	CONCRETE, PLAN VIEW		COBBLES, FRACTURED ROCK, GRAVEL
---	ASPHALT PAVING		EROSION MAT (BLANKET)

FILE NAME: C:\Op\Waid\Waid09.dwg; LAYOUT TAB: C1-CEN;
IMAGES: C:\Op\Waid\Waid09.dwg; LAYOUT TAB: C1-CEN;
XREFS: None
REVISIONS:

PER SE ENGINEERING
Drainage, Utilities, and Site Design
2115 Lead Ave. SE, Albuquerque NM, 87106
(505) 232-9394



GENERAL INFORMATION

ESTRELLA VISTA DEVELOPMENT, INC.
JOE WAID
CONTACT PERSON

HYDROLOGY

GENERAL

SHEET

C1

VISTA GRANDE DR

EXIST. FH
APX LOCATION

WARD DR

TBM:
EX. MH RIM
EL=4999.59

LOT 7A
NOT IN THIS PROJECT
EXCEPT AT EASEMENT FOR
ACCESSES, UTILITIES, ETC.

ADJOINING
PROPERTY, TYP
THIS LINE TYPE

EXISTING FENCE

EXISTING
CMU WALL

GENERAL NOTES THIS SHEET

- SEE SHT. C4 FOR UTILITIES, INC. NOTES AND LAYOUT DIMENSIONS. UTILITIES SHOWN HERE FOR GENERAL INFORMATION ONLY.
- SEE SHT. C6 FOR SEEDING & EROSION CONTROL.
- REMOVE PREVIOUS GRADING AND TEMPORARY PONDING FROM PREVIOUS GRADING FOR LOT SPLIT FROM LOT 7 TO LOTS 7A & 7B.
- RETAINING WALL DESIGN IS BY OTHERS. TOP OF WALL ELEVATIONS SHOWN ARE NOMINAL MINIMUM ELEVATIONS AND ELEVATIONS MAY BE INCREASED IF DESIGN PROVIDES FOR THE INCREASE. WALL DESIGN MAY ALSO PROVIDE FOR FENCE NEAR OR ON TOP OF A WALL. IN SOME CASES, ENGINEER IS WILLING TO CONSIDER LOWER TOP OF WALL ELEVATIONS.
- BACKFILL AND COMPACTION ONSITE SHALL BE PER THE SOILS REPORT. PAY PARTICULAR ATTENTION TO OVEREXCAVATION AND BENCHING REQUIREMENTS.
- INSTALL ALL UTILITIES BEFORE CONSTRUCTING CURB AND GUTTER OR PAVING.
- ALL PIPE OR CONDUIT PASSING THROUGH OR BELOW A WALL OR FOOTING SHALL BE SLEEVED WITH PIPE OR CONDUIT AT LEAST 2" LARGER.

KEYED NOTES THIS SHEET

- CONCRETE BLOCK RETAINING WALL ENGINEERED BY OTHERS, TYP. THIS HATCH TYPE.
- LANDSCAPING, TYP. THIS HATCH TYPE.
- ASPHALT PAVING PER SOILS REPORT OR, ALTERNATIVELY, DETAIL H/C5
- PROTECT PROPERTY CORNER. IF DISTURBED, LICENSED SURVEYOR TO REPLACE.
- BEHIND WATER METERS, CONST. SIDEWALK PER COA DWG 2430.
- CONST. GUTTER AT DRIVEPAD PER COA DWG 2415-A
- CONST. DRIVE PAD PER C.O.A. DWG. 2425, SEC "E" (SIDEWALK AT PL). SAW CUT EXISTING CURBS.
- CONST. SIDEWALK CULVERT PER COA DWG 2236 (ONLY IF NOT DONE UNDER EARLIER PROJECT).
- CONST. RUNDOWN PER DETAILS B/C5 (STORM DRAIN OUTLET) AND OVERFLOW PER DETAILS I/C5.
- CONST. MOUNTABLE ROLL CURB PER COA DWG 2415-A
- EASEMENT LINE
- GUTTER FLOW LINE, TYP.
- TRANSITION FROM ROLL CURB TO STANDARD CURB
- CONST. STANDARD CURB & GUTTER PER COA DWG 2415-A
- INSTALL CONCRETE PARKING BUMPERS (2) JUST IN FRONT OF CURB & GUTTER
- NOTE DROP OFF (STEP DOWN) IN CHANNEL INVERT
- CONST. DRAINAGE CHANNEL PER DETAILS C/C5 AND I/C5
- CONST. WALL OPENING PER DETAIL F/C5
- CONST. DRAINAGE CHANNEL PER DETAIL D/C5
- SEE DETAILS G/C5
- CONST. DRAINAGE CHANNEL PER DETAILS E/C5 AND I/C5
- 2X6 EROSION STOP BOARD, TYP. SEE EROSION CONTROL PLAN
- GRADING LINE / CONTOUR LINE FROM DIVISION OF LOT 7 INTO 7A AND 7B

CITY INSPECTION FOR WORK IN THE R.O.W.

APPROVAL	NAME	DATE
INSPECTOR		

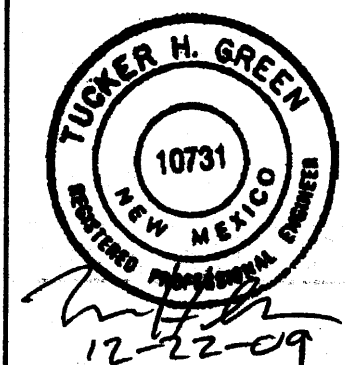
GRADING, DRAINAGE, AND PAVING,
LOTS 7C, 7D, & 7E
OWNER:
ESTRELLA VISTA DEVELOPMENT, INC.
CONTACT PERSON:
JOE WAID

G&D, PAV: 7C-7E

SHEET

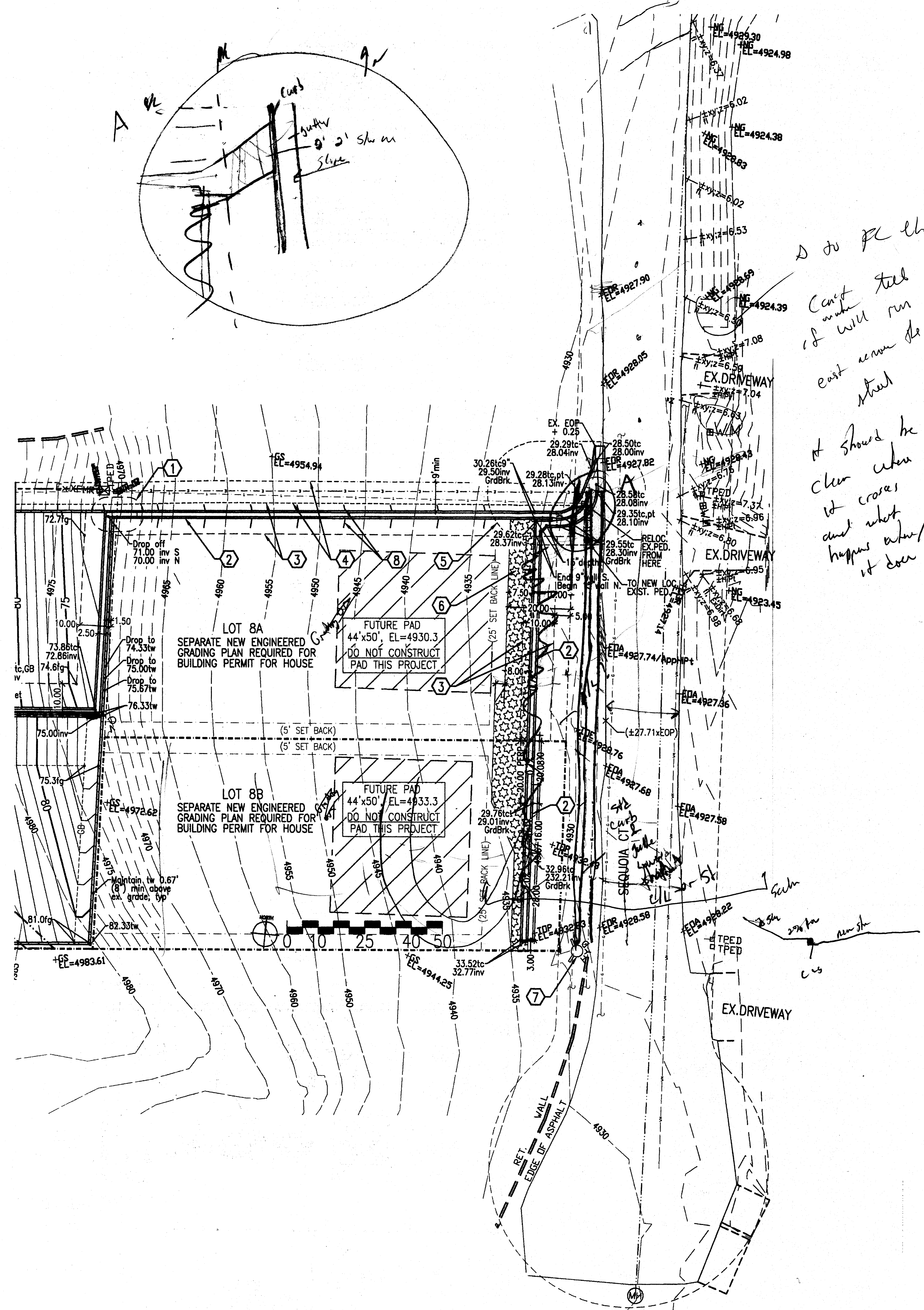
C2

WAID, WARD CT.



PER SE ENGINEERING
Drainage, Utilities, and Site Design
2116 Lead Ave. SE Albuquerque NM, 87106
(505) 232-9394

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XREFS: None
REVISIONS:



GENERAL NOTES THIS SHEET

- SEE SHT C4 FOR UTILITY NOTES AND LAYOUT.
- SEE SHT C6 FOR SEEDING AND EROSION CONTROL.
- WATER AND SAS SERVICES FOR LOTS 8A & 8B ARE TO BE INSTALLED BY THE OWNERS OF THOSE LOTS IN CONJUNCTION WITH BUILDING PERMITS. SAS SERVICES FOR 8A & 8B WILL HAVE TO PUMP AGAINST ROUGHLY 70-80 FT OF STATIC HEAD.
- THE ONLY UTILITY WORK ON THESE PLANS FOR LOTS 8A & 8B, EXCEPT FOR THE DRAINAGE CHANNELS, IS THE RELOCATION OF A PHONE (OR POWER?) PEDESTAL.
- OWNER MAY HAVE THE TELEPHONE COMPANY RELOCATE THE EXISTING PEDESTAL OR MAY HAVE A CONTRACTOR ACCEPTABLE TO THE PHONE COMPANY DO THE WORK. THE LATTER ROUTE IS LIKELY TO BE FASTER AND CHEAPER.
- ON THIS SHEET, NUMEROUS SPOT ELEVATIONS BEYOND THE PROJECT ARE SHOWN FOR THE BENEFIT OF REVIEWING AGENCIES ONLY. THEY ARE NOT NEEDED FOR CONSTRUCTION OF THE PROJECT.
- TOP OF EAST-WEST CHANNEL ON NORTH SIDE OF LOT 8A TO APPROXIMATELY MATCH EXISTING GRADES MINUS APX 0.1 TO 0.2 FT. THAT IS, CHANNEL TO BE JUST SLIGHTLY DEPRESSED BELOW EXISTING GRADES.

KEYED NOTES THIS SHEET

- SEE DETAIL G/C5 FOR GRADING THIS AREA
- CONCRETE CHANNEL PER DETAIL E/C5
- DRAINAGE EASEMENT PER PLAT THIS PROJECT
- EXISTING PUBLIC UTILITY EASEMENT
- SEE DETAILS A/C5 FOR CHANNEL THIS AREA
- **ANGULAR**** ROCK, 3"-6" SIZE, 10" MIN THICK, 2H:1V OR FLATTER. COMPACT ROCK INTO SCARIFIED SOIL: TIRES OF CONSTRUCTION VEHICLES OK. COVER LOOSELY W/ SOIL MIXED W/ SEED FOR NATIVE GRASSES AND WATER IN GENTLY. USE NATIVE SEED MIXTURE PER COA SPEC 1012, DOUBLING THE APPLICATION RATE. OK TO ADD WILDFLOWER SEED.
****DO NOT USE FILTER FABRIC / LANDSCAPE FABRIC.****
- EXISTING FIRE HYDRANT
- 2X6 EROSION STOP BOARD, TYP. SEE EROSION CONTROL PLAN

CITY INSPECTION FOR WORK IN THE R.O.W.

APPROVAL	NAME	DATE
INSPECTOR		

GRADING, DRAINAGE, AND PAVING PLAN

LOTS 8A & 8B

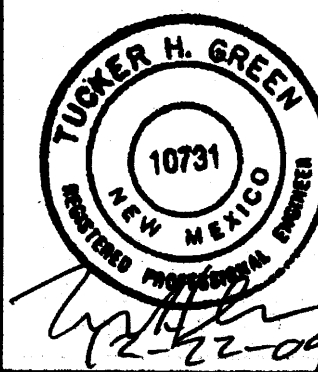
OWNER: ESTRELLA VISTA DEVELOPMENT, INC.

CONTACT PERSON: JOE WAID

G&D, PAV: 8A-8B

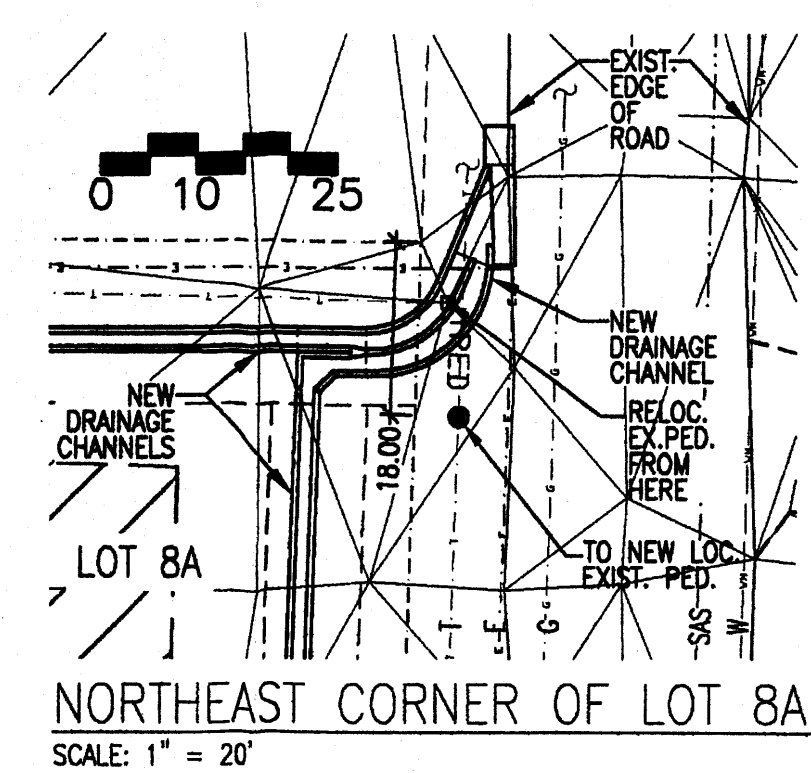
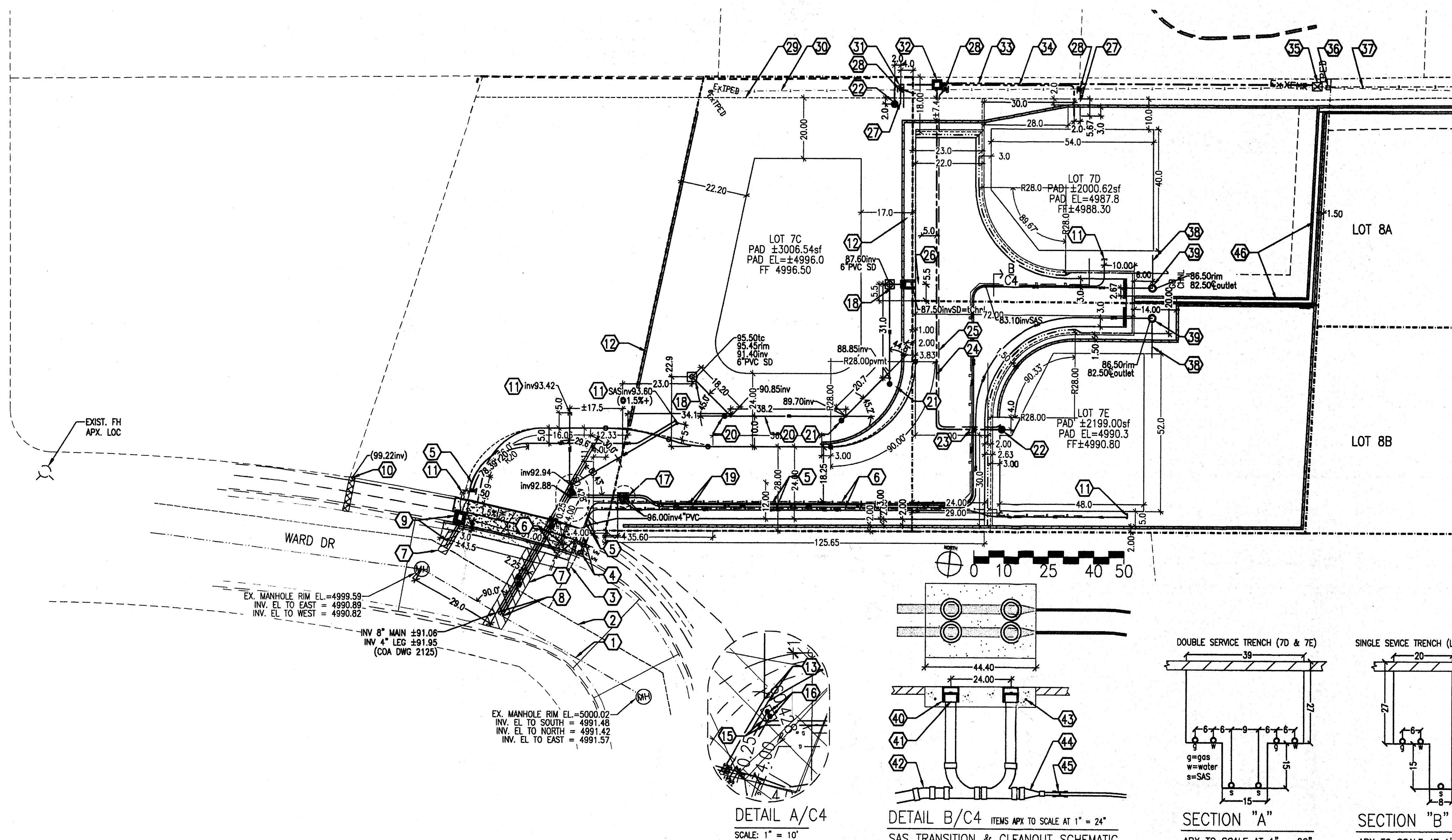
SHEET
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WAID, WARD CT.



PER SE ENGINEERING
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XREFS: None
REVISIONS:



GENERAL NOTES THIS SHEET

- IF AN APPLICABLE CODE CONFLICTS WITH ANY ITEM, DIMENSION, OR SPECIFICATION SHOWN OR SPECIFIED HEREIN, CONSULT THE ENGINEER IMMEDIATELY SO THAT ANY RAMIFICATIONS OR CONFLICTS CAN BE WORKED OUT.
- INSTALL UNDERGROUND UTILITIES BEFORE CONSTRUCTING NEARBY PAVING, CHANNEL, CURB & GUTTER, OR WALLS.
- IMMEDIATELY VERIFY THAT PEX (DR9) IS ACCEPTABLE PIPE MATERIAL FOR DOMESTIC WATER SERVICE LINES AND THAT HDPE DR11 (IPS) IS ACCEPTABLE PIPE MATERIAL FOR PRESSURE SEWER (PLUMBING CODE OR CITY REQUIREMENTS).
- IMMEDIATELY VERIFY THAT NO CLEANOUTS ARE NEEDED FOR HDPE PRESSURE SEWER (PLUMBING CODE OR CITY REQUIREMENTS).
- THE INTENT IS TO AVOID HIGH POINTS IN THE PRESSURE SEWER LINES (I.E., ALL UPHILL TO THE TRANSITION TO GRAVITY SEWER. CONSTRUCTION IS TO ACCOMPLISH THIS).
- VERIFICATION / PHOTO VERIFICATION: NOTES ON THIS PLAN MAY CALL FOR VERIFICATION OF CERTAIN CONSTRUCTED ITEMS, ESPECIALLY ITEMS NOT VISIBLE AT THE END OF CONSTRUCTION. VERIFICATION MAY NEED CERTIFICATION BY A PROPERLY LICENSED SURVEYOR, OR PHOTOS, OR BOTH. DO IT.
- LOTS 7D & 7E, AND LOTS 8A & 8B ALL NEED "FORCED" SEWAGE SYSTEMS, WHICH HAVE A GRINDER PUMP AND A SMALL-DIAMETER PRESSURIZED OUTLET PIPE. DEPENDING ON THE DESIGN OF THE HOUSE FOR LOT 7C (ESPECIALLY DISTANCE TO FARTHEST PLUMBING DRAIN) IT MAY BECOME NECESSARY FOR LOT 7C TO HAVE A SEWAGE PUMP ALSO.
- WATER AND SAS SERVICES FOR LOTS 8A & 8B WILL BE INSTALLED BY THE OWNERS OF THOSE LOTS IN CONJUNCTION WITH BUILDING PERMITS. SAS SERVICES FOR 8A & 8B WILL HAVE TO PUMP AGAINST 70-80 FT OF STATIC HEAD.
- OWNERS / PROSPECTIVE OWNERS: AN OWNER OR PROSPECTIVE OWNER OF LOT 7C, 7D, OR 7E WHO KNOWS, PRIOR TO CONSTRUCTION, THAT A BASEMENT LEVEL WILL BE DESIRED SHOULD CONSULT WITH THE ENGINEER AND THE CONTRACTOR FOR AN ADJUSTMENT OF THE END LOCATION AND DEPTH OF THE FORCED SEWER SERVICE LINE. ANY OWNER OR PROSPECTIVE OWNER WHO KNOWS, PRIOR TO CONSTRUCTION, THAT IT IS INTENDED TO HAVE A FIRE SPRINKLER SYSTEM, SHOULD CONSULT WITH THE ENGINEER ABOUT A LARGER WATER SERVICE, BOTH THE METER AND THE SERVICE LINES.
- SAS SERVICE LINES FOR LOTS 7D & 7E WERE SIZED BASED ON A PARTICULAR SEWAGE PUMP SYSTEM: HYDROMATIC HPG200 (2HP, 230V) WITH WET WELL (STORAGE TANK), WIRING, & CONTROL PANEL OWNERS' PLUMBERS ARE RESPONSIBLE FOR ENSURING THAT ALL APPURTENANCES REQUIRED BY CODE BE PROVIDED. CONTACT TONY GRANGER AT TP PUMP IN ALBUQUERQUE FOR FINAL ORDERING AND PRICING INFORMATION (505-247-4036 OR 280-5575). OTHER SYSTEMS, EQUAL TO OR BETTER THAN THE ABOVE, COULD ALSO WORK.
- WET-CELLS FOR FORCED SEWAGE SYSTEMS ARE TO BE INSTALLED FOR LOTS 7D & 7E UNDER THIS PROJECT. JUST THE WET CELLS, NOT THE APPURTENANCES AND CONTROLS. THE OUTLET AND RIM ELEVATIONS FOR THE WET CELLS (STORAGE TANKS) SHOULD BE SET TO MATCH ELEVATIONS GIVEN ON THE PLANS. THIS MAY REQUIRE SPECIAL ORDER. INSTALL WET CELLS BEFORE CONSTRUCTING NEARBY PAVING, CHANNEL, CURB & GUTTER, OR WALLS.
- ALL PLASTIC WATER AND SEWER LINES SHOWN ON THESE PLANS, INCLUDING SERVICE LINES ON SITE, SHALL HAVE METALLIC LINE LOCATOR TAPE PER COA SPEC 121.4.2 EXCEPT THAT DEPTH TO TAPE SHALL BE 0 TO 8 INCHES ABOVE TOP OF PIPE WHERE PIPE BURY IS LESS THAN 3 FEET (E.G., WATER SERVICE LINE, SAS PRESSURE LINE). PLASTIC INCLUDES PVC, PEX, HDPE, ABS.
- ALL SCHEDULE 40 PVC SHOWN SHALL BE SOLID WALL. DO NOT USE FOAM CORE (CELLAR CORE) PVC. PROVIDE PHOTO VERIFICATION.
- ALL SAS AND WATER SERVICE LINES SHOWN ARE TO BE CONSTRUCTED WITH THIS PROJECT. CAP AND MONUMENT ENDS UNTIL HOUSE CONNECTIONS ARE MADE.
- OK TO EXTEND WATER & SAS SERVICES BEYOND END POINTS SHOWN, IN ANTICIPATION OF FUTURE CONSTRUCTION, PROVIDED THAT ALL EXTENSIONS ARE CAPPED AND PROPERLY PROTECTED.
- EACH PEX WATER SERVICE LINE SHALL BE ONE CONTINUOUS PIECE, FROM CONNECTION TO TAIL-PIECE AT METER TO END. PEX PIPING SHALL BE UPONOR AQUAPEX (PEX-g, ENGEL METHOD), SIZED PER PLAN. (PER UPONOR WEB SITE NOMINAL 1-1/4" PIPE HAS OD=1.375" & ID=1.054"; NOMINAL 1" HAS OD=1.125", AND ID=0.882")
- EACH HDPE SAS PRESSURE SERVICE LINE SHALL BE ONE CONTINUOUS PIECE.
- MINIMUM BEND RADIUS = 24 OUTER DIAMETERS FOR PEX AND HDPE PIPE.
- CAUTION: RETAINING WALL AND FOOTING DESIGNERS: PER PLUMBING CODE, NO PIPES ARE ALLOWED BELOW A LINE EXTENDING 45° DOWNWARD FROM THE BOTTOM CORNER OF A FOOTING. IT MAY BE NECESSARY TO ADJUST THE DEPTHS OF FOOTINGS TO ACCOMMODATE THIS REQUIREMENT.
- ALL COMMUNICATION AND POWER CONNECTIONS AND CONSTRUCTION SHALL BE DONE ACCORDING TO APPROPRIATE CODES AND THE STANDARDS OF THE APPROPRIATE UTILITY. CONTACT AND COORDINATE WITH THE APPROPRIATE UTILITIES PRIOR TO THE START OF CONSTRUCTION. NOTE: BE SURE TO UPDATE RECORD DRAWINGS FOR THIS PROJECT TO REFLECT ANY CHANGES.
- OWNER MAY HAVE THE TELEPHONE COMPANY RELOCATE THE EXISTING PEDESTAL OR MAY HAVE A CONTRACTOR ACCEPTABLE TO THE PHONE COMPANY DO THE WORK. THE LATTER ROUTE MAY BE FASTER AND CHEAPER.
- AVOID HIGH POINTS IN WATER SERVICE LINES. "EXTRA DEPTH" MAY BE NEEDED NEAR WARD DRIVE IN ORDER TO ACCOMPLISH THIS. DO IT.

KEY NOTES THIS SHEET

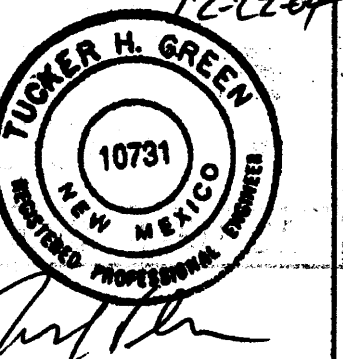
- EXISTING 8" SANITARY SEWER (SAS)
- EXISTING 6" WATERLINE
- EXISTING WATER SERVICE LINE TO EXISTING DOUBLE METER BOX
- INSTALL 2 1" METERS IN EXISTING DOUBLE METER BOX. EXTEND TAILPIECE 2' PAST SIDEWALK. SNAKE TAILPIECES TO CLEAR PROPERTY CORNER. PROTECT PROPERTY CORNER: HAVE LICENSED SURVEYOR RESET CORNER IF CORNER DISTURBED. VERIFY CLEARANCE FOR BOTH METERS IN EXISTING BOX.
- 1-1/4" AQUAPEX BRAND PEX (CROSS-LINKED POLYETHYLENE) WATER LINE. CONNECT TO TAILPIECE FROM METER BY CODE-APPROVED METHODS. SEE GENERAL NOTES THIS SHEET.
- NEW GAS SERVICES. CALL 811 FOR LINE SPOT EXISTING MAIN.
- PAVEMENT CUT & REPLACE PER COA DWG 2465
- FOUR (4) SANITARY SEWER TAPS (4" SCH 40 PVC) AT ANGLE SHOWN, PER COA DWG 2125
- 2 WATER SERVICES. TAPS PER COA DWG 2362 USING 1" LINE FROM MAIN TO METER. METER BOX PER COA DWG 2366 W/ HEAVYWEIGHT METER BOX COVER AND LID PER COA DWG 2369. MODIFY SERVICE TO HAVE TAIL PIECE EXTEND 2' PAST BACK OF SIDEWALK. INSTALL 1" METER ON EACH SERVICE.
- IF NOT ALREADY CONSTRUCTED, CONSTRUCT SIDEWALK CULVERT PER COA DWG 2236, 12" CLEAR CHANNEL WIDTH.
- OK TO EXTEND PAST PIPE END SHOWN, TYP, PER GENERAL NOTES THIS SHEET.
- RETAINING WALL, TYP THIS LINETYPE
- 30" ELL
- 30" ELL
- 45° WYE PLUS 15" ELL. (DEFLECTION APX 60.43° HORIZONTAL AND 11.6° VERTICAL FOR APX 60.8' TOTAL. TAKE ADDITIONAL DEFLECTION AT JOINTS. DO NOT EXCEED CODE TOLERANCES.
- TRAFFIC-RATED CLEANOUT COVERS FLUSH W/ PAVEMENT AND W/ 8"-THICK CONC PAD 6" MIN CLEAR ALL AROUND. TOP OF CLEANOUTS 1-1/2" - 3" CLEAR BELOW COVERS. ALSO SEE DETAIL "B" THIS SHEET. CLEANOUTS TO HAVE BRASS CAP W/ SQUARE NUT. USE PLUMBERS SILICONE GREASE ON THREADS.
- END 4" PVC GRAVITY SAS; BEGIN 1-1/4" HDPE PRESSURE SAS, TYP. OF 2. SEE DETAIL "B" THIS SHEET. PROVIDE PHOTO VERIFICATION OF THIS WORK IN THIS AREA. CLEANOUT COVERS FLUSH W/ FINISHED PAVEMENT. SEE DETAIL B/C4 & KEYNOTES 40 THIS SHEET.
- 12" NYLOPLAST INLINE DRAIN 2712AG06 W/ 6" SCH 40 PVC OUTLET AND CAST OR DUCTILE IRON DOMED (BEEHIVE) GRATE.
- 1-1/4" HDPE DR 11 PRESSURE SAS LINE
- 6" SCH 40 PVC STORM DRAIN
- CLEANOUT. 4" SCH 40 PVC. USE GENEKO STYLE 40 (GASKETED PVC, CAST IRON, & BRASS) W/ COUNTER-SUNK SQUARE NUT, SET IN CIRCULAR OR OCTAGONAL CONCRETE PAD, 18" ACROSS AND 6" THICK. SET FLUSH W/ FINISHED GRADE. USE PLUMBERS SILICONE GREASE ON CLEANOUT THREADS. USE LONG-SWEEP ELL FROM HORIZONTAL TO VERTICAL LEG.
- INSTALL PEDESTAL FOR PNM (PUBLIC SERVICE COMPANY OF NM) ELECTRIC POWER
- ELECTRIC AND COMMUNICATIONS LINES GO BELOW WATER & SAS SERVICE LINES. COORDINATE W/ PNM, QWEST, AND OTHER AFFECTED UTILITIES.
- INSTALL PNM SERVICE LINE FROM TRANSFORMER. PER PNM, USE 4" SCH 40 PVC ELECTRIC CONDUIT, 0000 GAGE LINE. VERIFY. 42" MIN COVER.
- INSTALL COMMUNICATIONS LINES PER QWEST (TELEPHONE) AND OTHER AFFECTED PARTIES, 36" MIN COVER.
- 14" WIDE CONCRETE CHANNEL PER DETAILS B/C5.
- INSTALL COMMUNICATIONS SERVICE LINE STUB. COORDINATE W/ QWEST AND ANY OTHER AFFECTED UTILITY.
- INSTALL COMMUNICATIONS PEDESTAL. COORDINATE WITH APPROPRIATE AGENCIES, INCLUDING WHETHER THE PEDESTAL IS NEEDED.
- EXISTING UTILITY EASEMENT
- EXISTING UNDERGROUND COMMUNICATIONS LINE(S), APX LOCATION
- INSTALL PNM UNDERGROUND SERVICE LINE FROM NEW TRANSFORMER. PER PNM, DIRECT BURY & 0000 GAGE LINE. 42" MIN COVER. VERIFY W/ PNM
- INSTALL NEW PNM ELECTRIC TRANSFORMER. COORDINATE W/ PNM
- INSTALL NEW UNDERGROUND POWER LINE FROM EXISTING TRANSFORMER TO NEW TRANSFORMER
- INSTALL UNDERGROUND PNM SERVICE LINE FROM TRANSFORMER. PER PNM, USE 3" PVC ELECTRIC CONDUIT, 0000 GAGE LINE, NO PEDESTAL REQUIRED. 42" MIN COVER. VERIFY W/ PNM.
- EXISTING PNM TRANSFORMER
- EXISTING COMMUNICATIONS PEDESTAL
- EXISTING PNM UNDERGROUND POWER LINE
- 4" SCH 40 PVC STUB-OUT, 10' LONG. OK TO EXTEND. CAP, PROTECT, AND MONUMENT.
- SEWAGE WET WELL. SEE GENERAL NOTES THIS SHEET.
- TRAFFIC-RATED CLEANOUT COVER. PER KEYNOTE 16 THIS SHEET. SPECIAL ORDER MAY BE NEEDED.
- CODE APPROVER CLEANOUT. USE RAISED NUT.
- 11-1/4" BEND
- #4 REBAR HOOP.
- 4" TO 1-1/4" PVC CONCENTRIC REDUCER
- CODE-APPROVED COMPRESSION COUPLER FROM 1-1/4" NOM PVC TO 1-1/4" NOM HDPE.
- CONCRETE DRAINAGE CHANNEL. SEE SHT C2, AND SHT C5 FOR DETAILS.

WAID, WARD CT.

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XREFS: None
REVISIONS:

PER SE ENGINEERING
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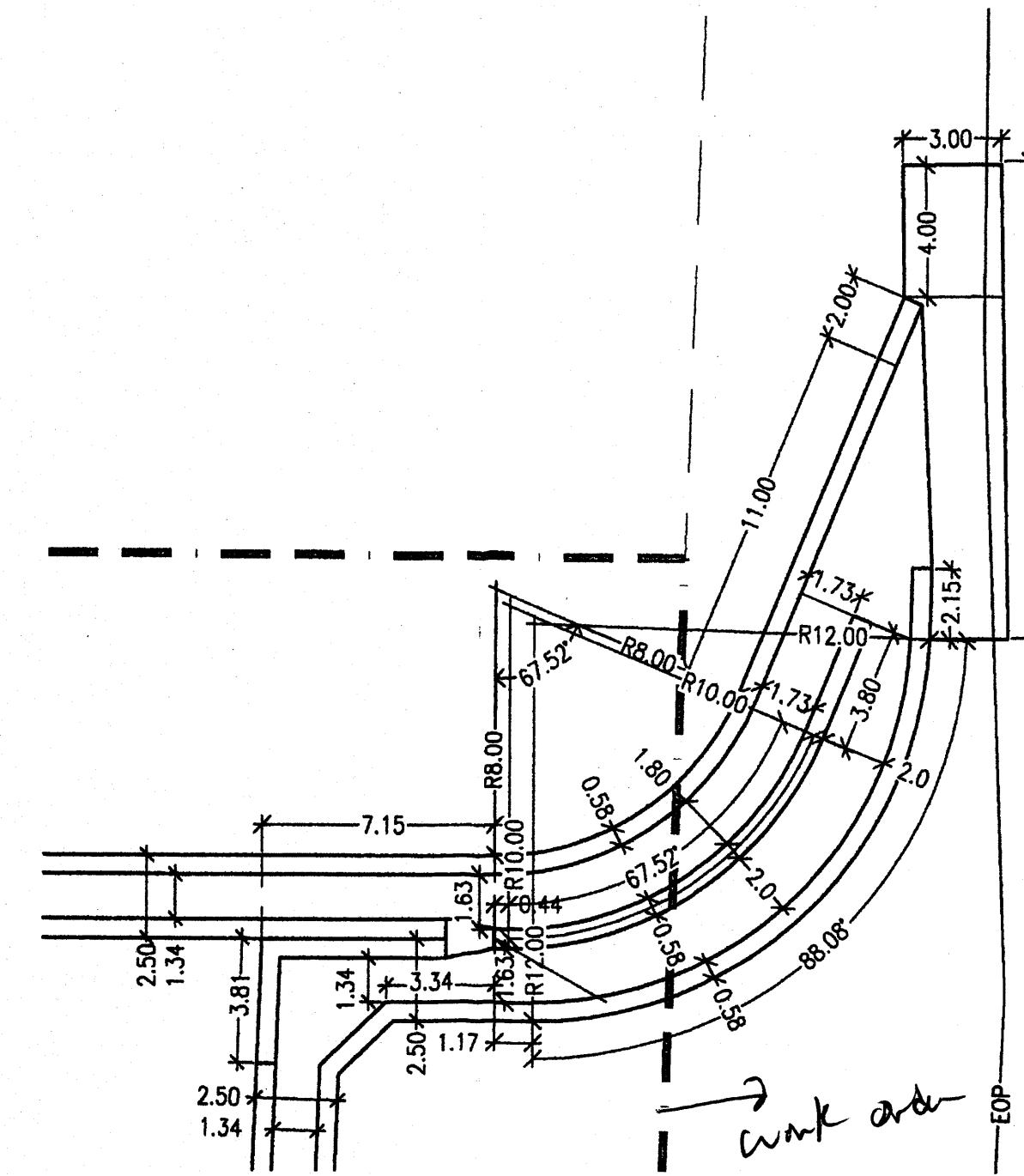
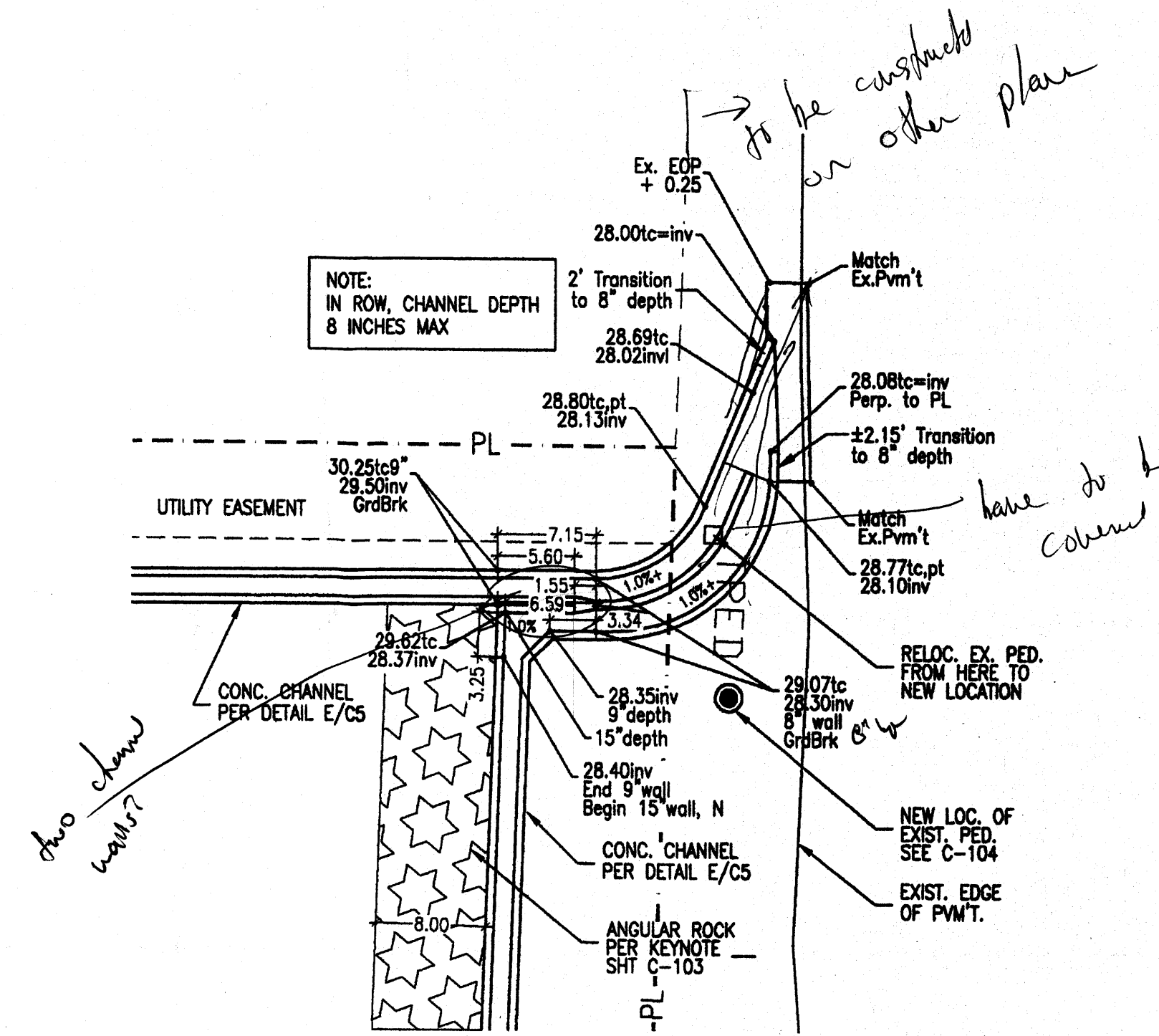
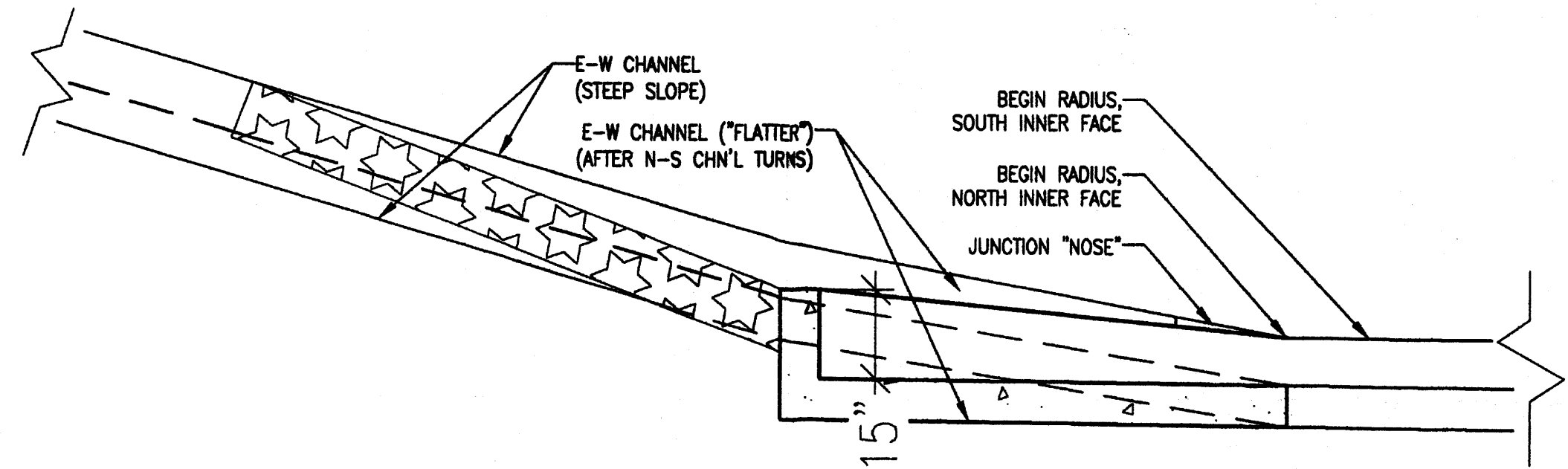
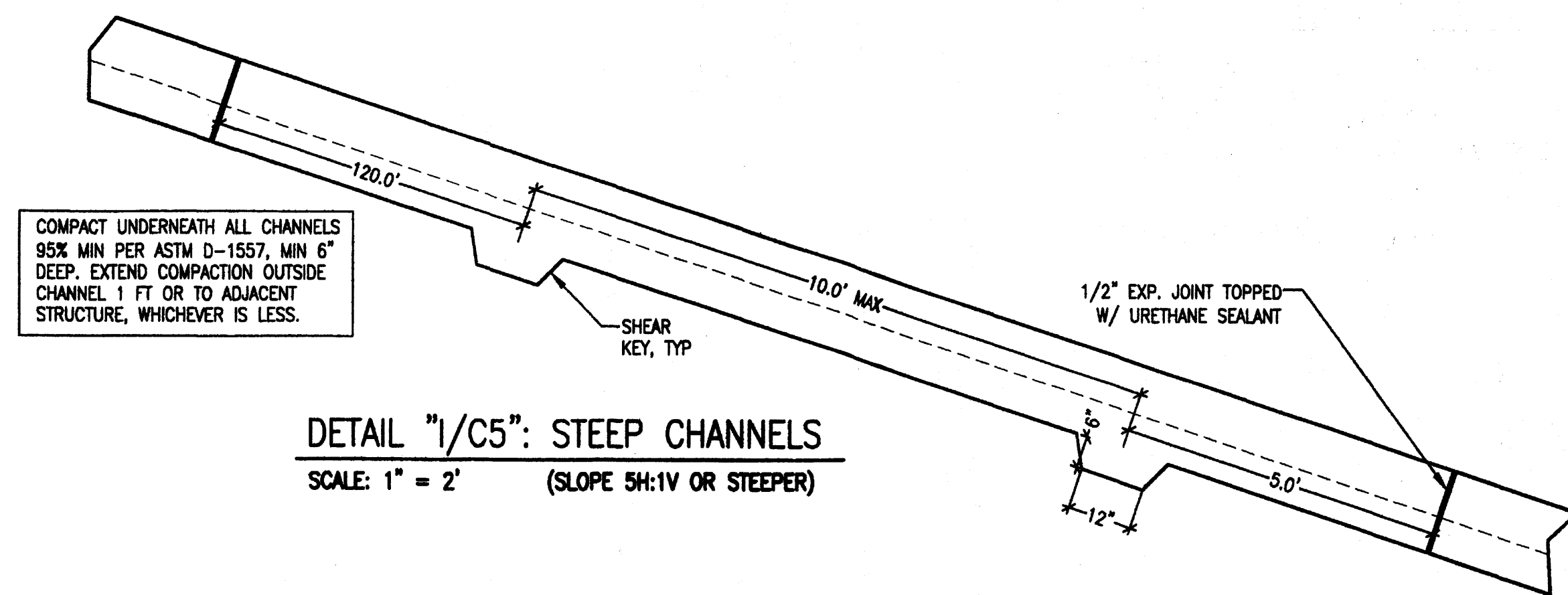


OWNER: ESTRELLA VISTA DEVELOPMENT, INC.
CONTACT PERSON: JOE WAID

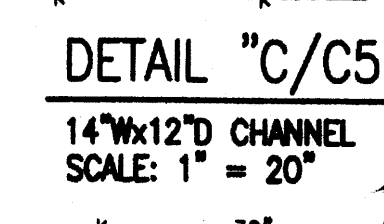
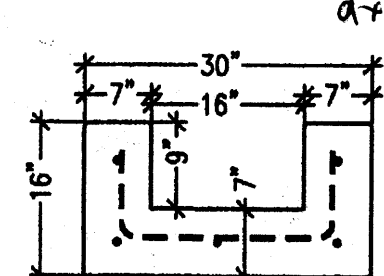
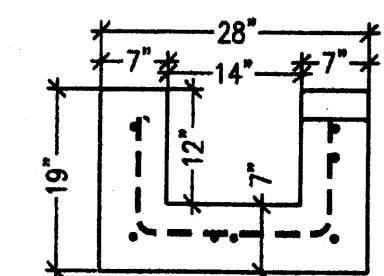
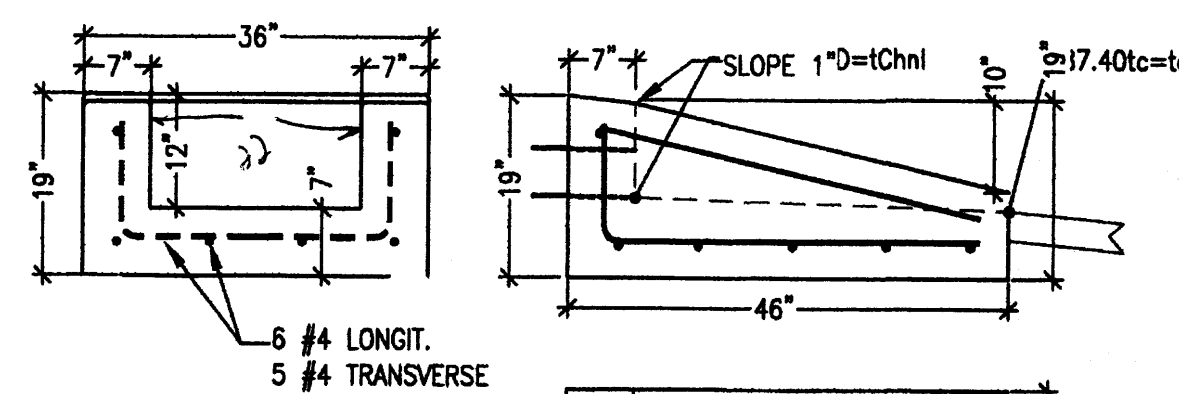
UTILITIES

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WAID, WARD CT.

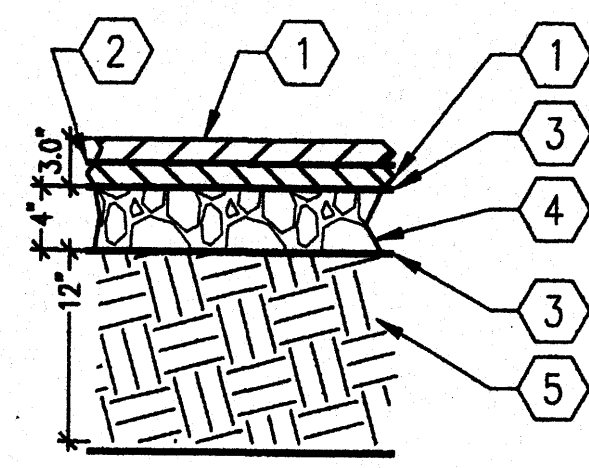
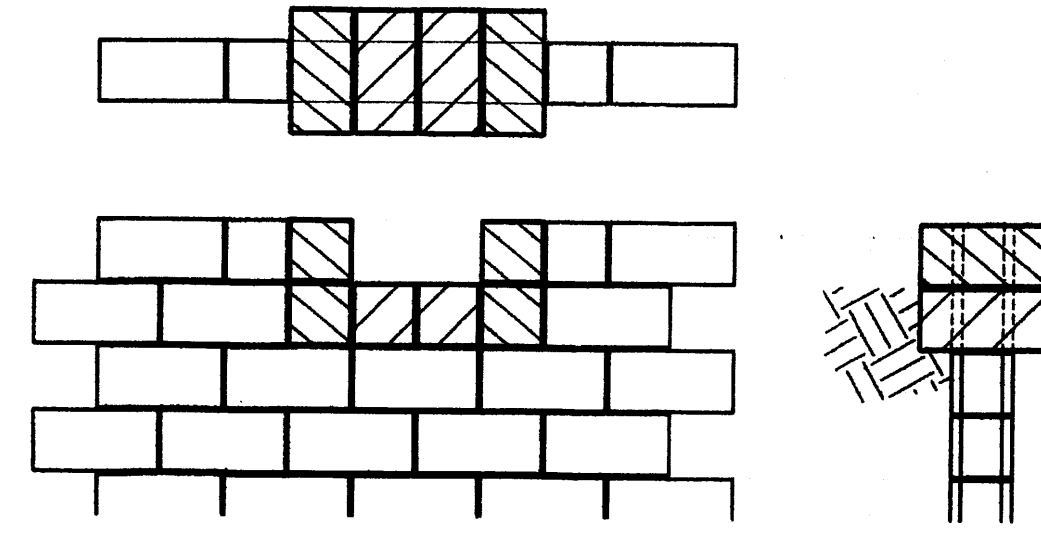
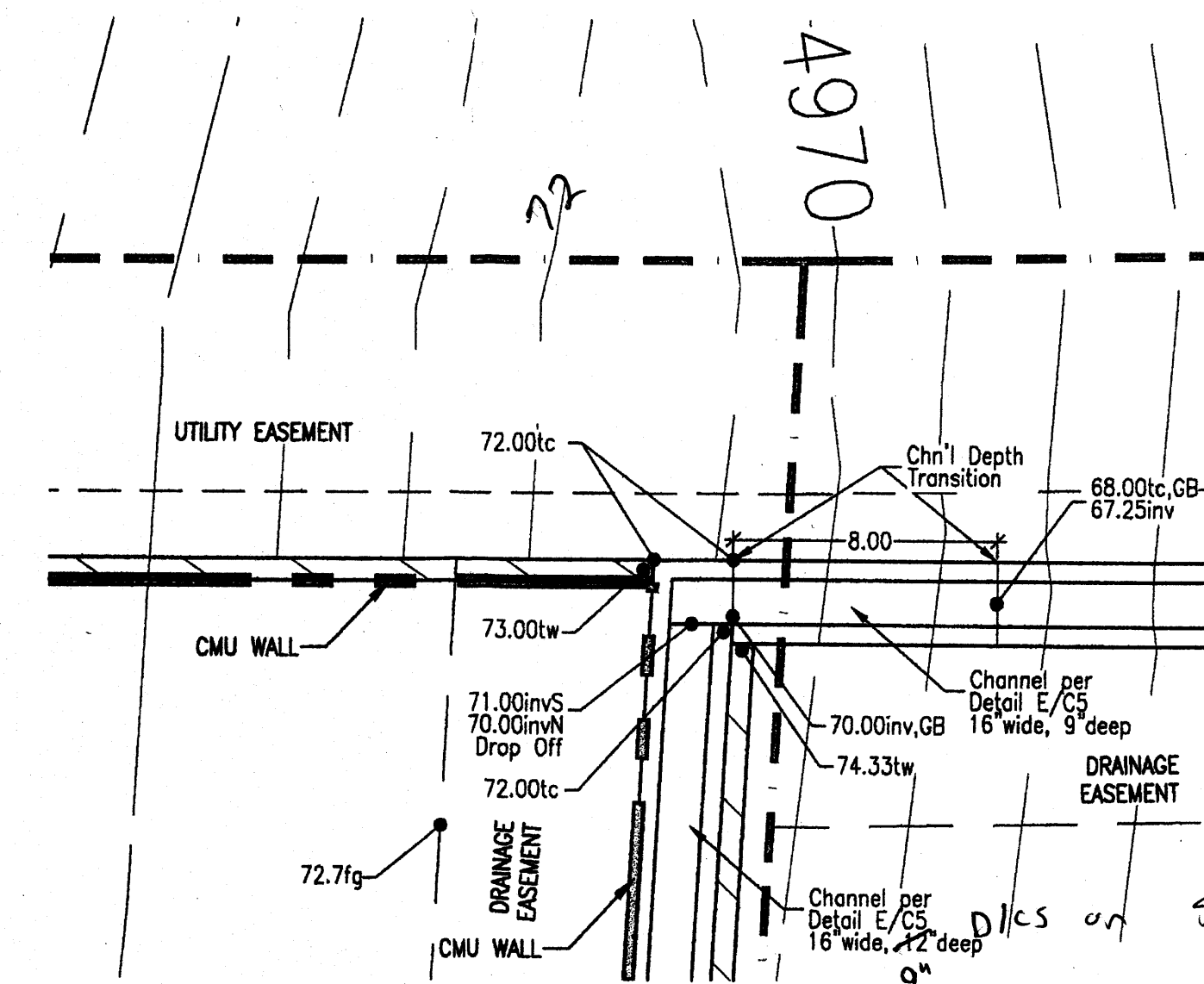
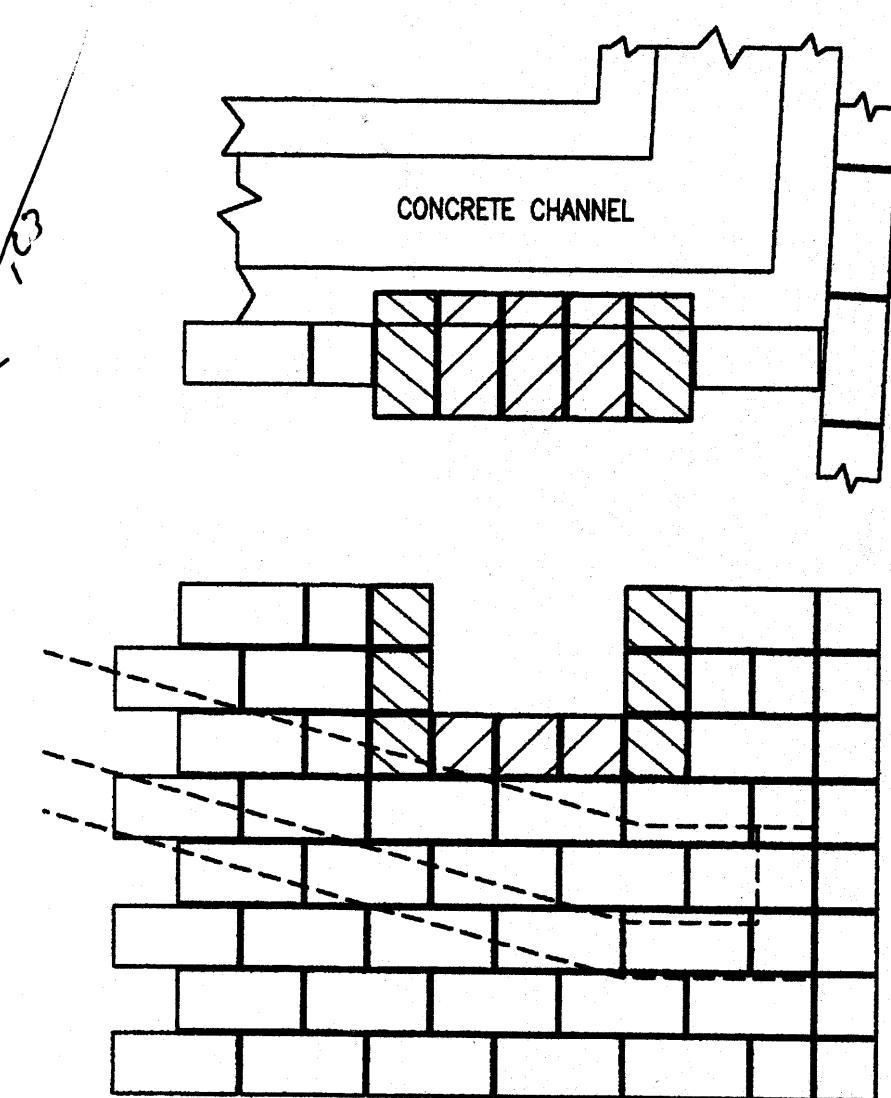


DETAILS "A/C5": CHANNEL JUNCTION & OUTLET DETAILS, NE CORNER LOT 8A

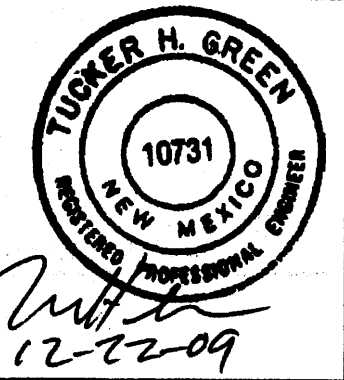


NOTE: ALL CHANNELS TO HAVE 1/2" EXPANSION JOINTS TOPPED W/ URETHANE SEALANT @ 20' OC MAX.

COMPACT UNDERNEATH ALL CHANNELS 95% MIN PER ASTM D-1557, MIN 6" DEEP. EXTEND COMPACTION OUTSIDE CHANNEL 1 FT OR TO ADJACENT STRUCTURE, WHICHEVER IS LESS.

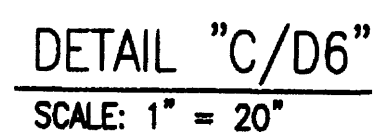
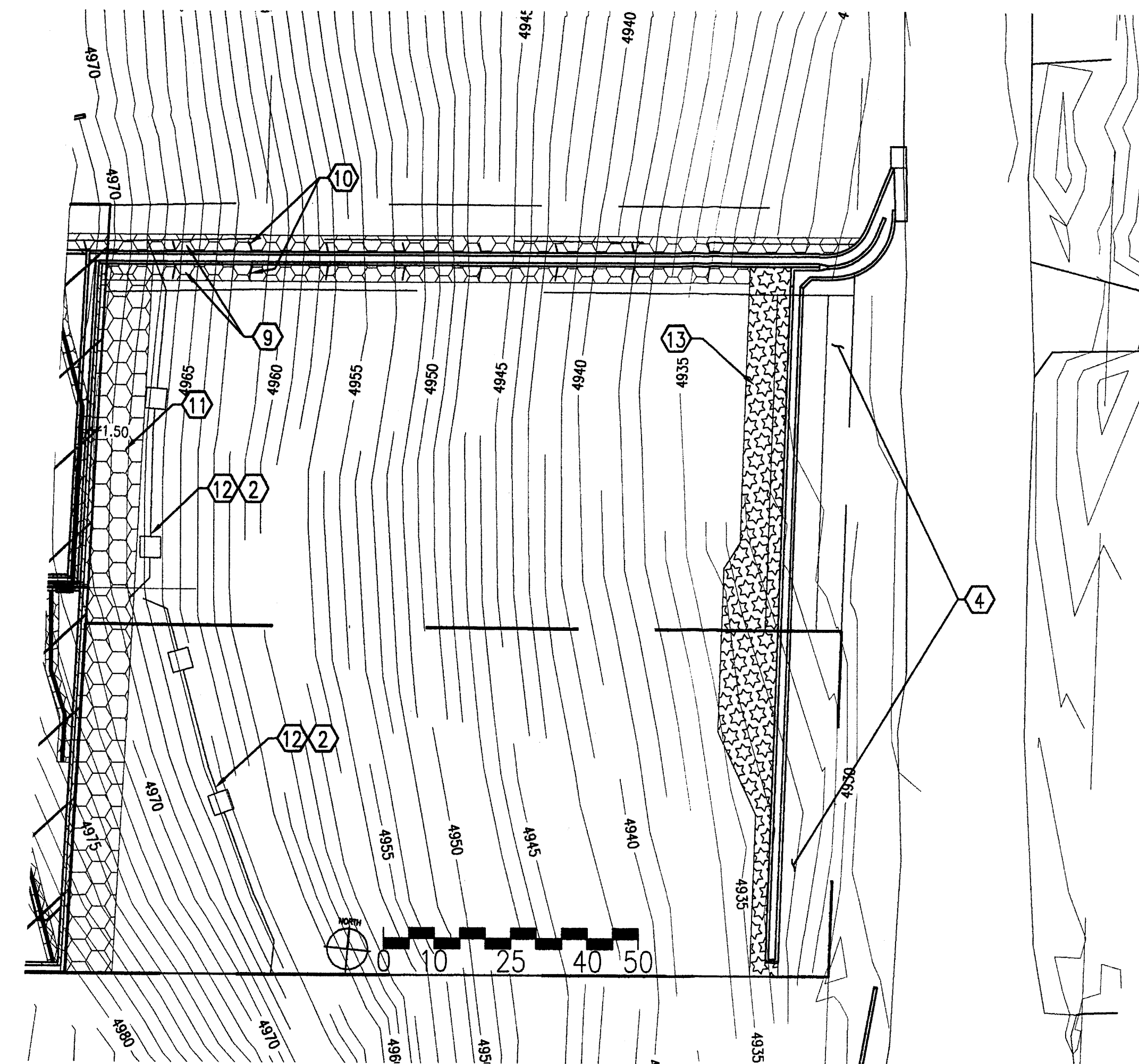


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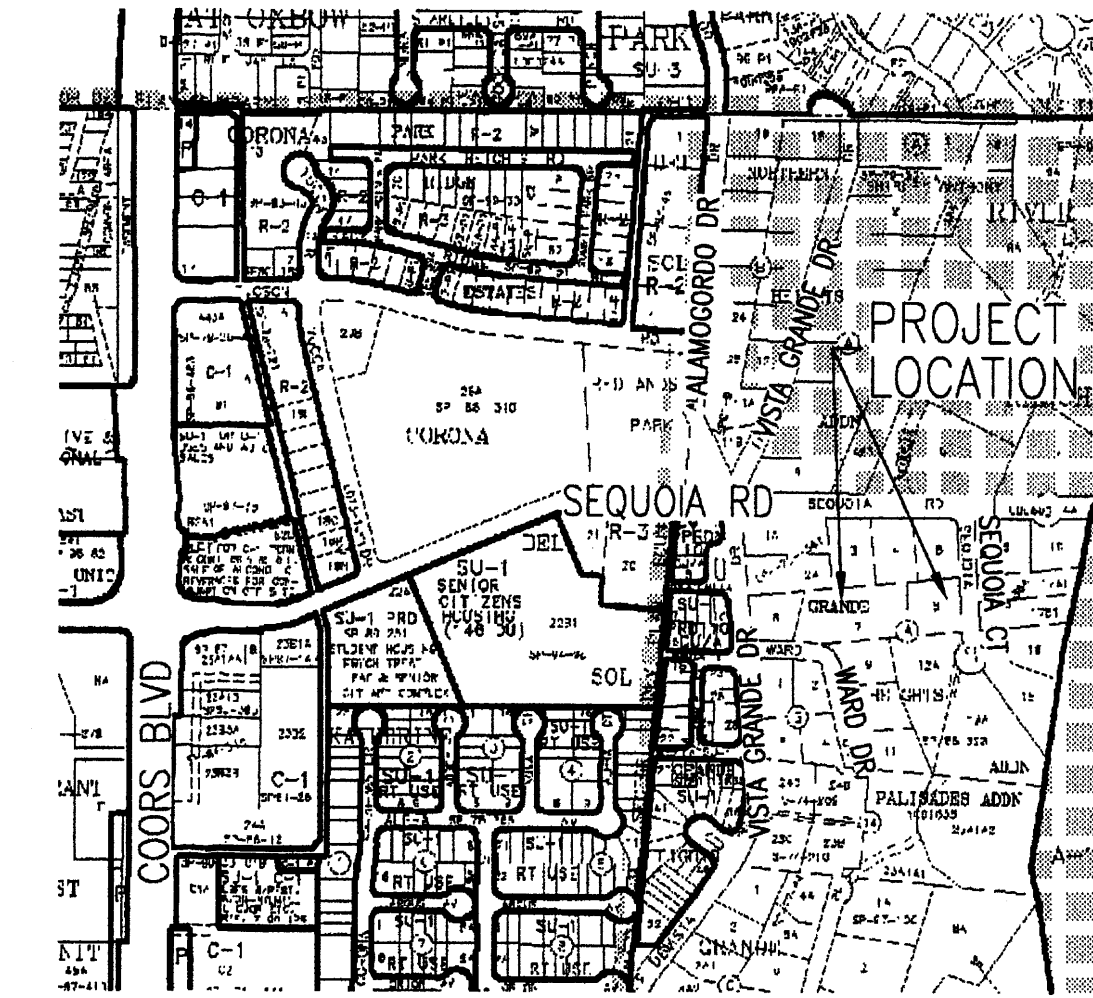
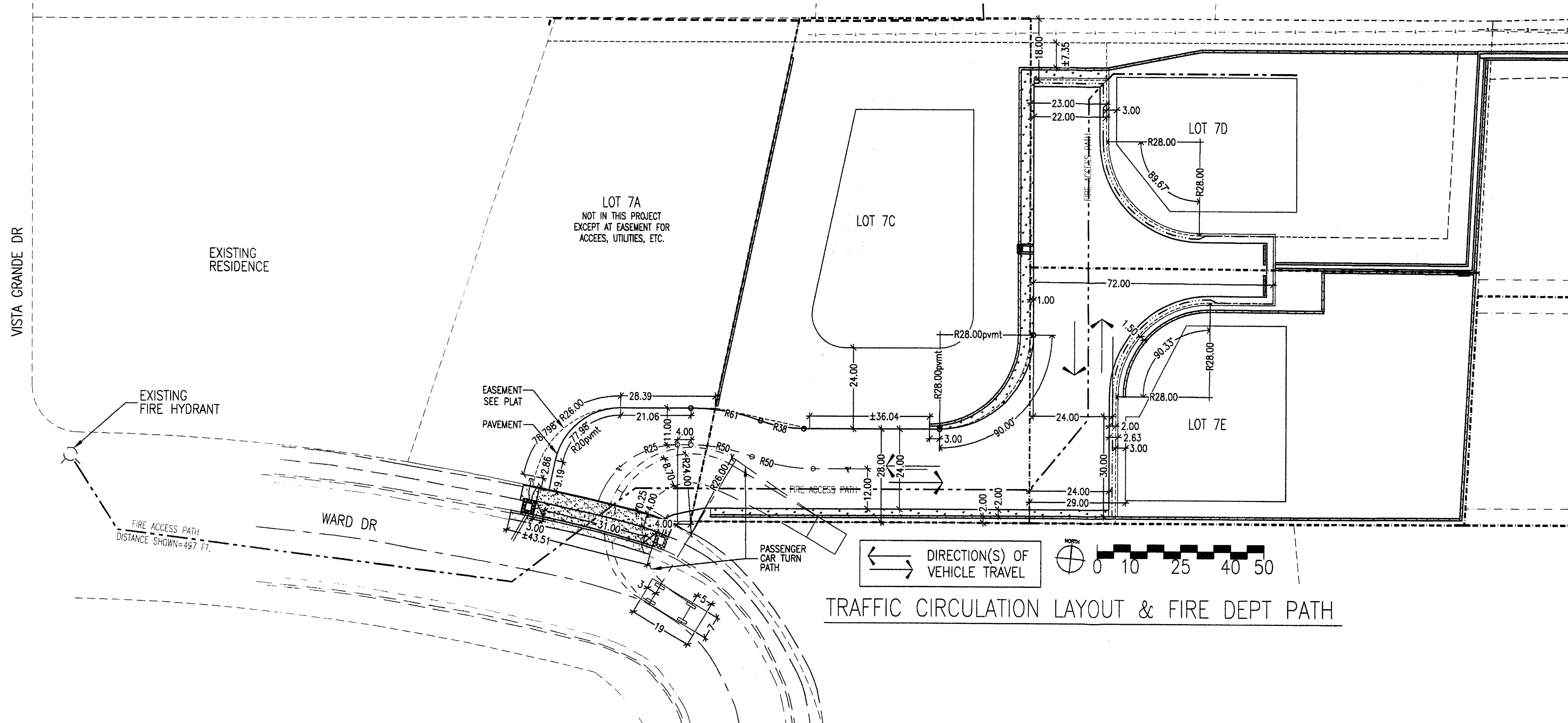
DETAILS
ESTRELLA VISTA DEVELOPMENT, INC.
JOE WAID
CONTACT PERSON:

DETAILS
SHEET
C5
WAID, WARD CT.

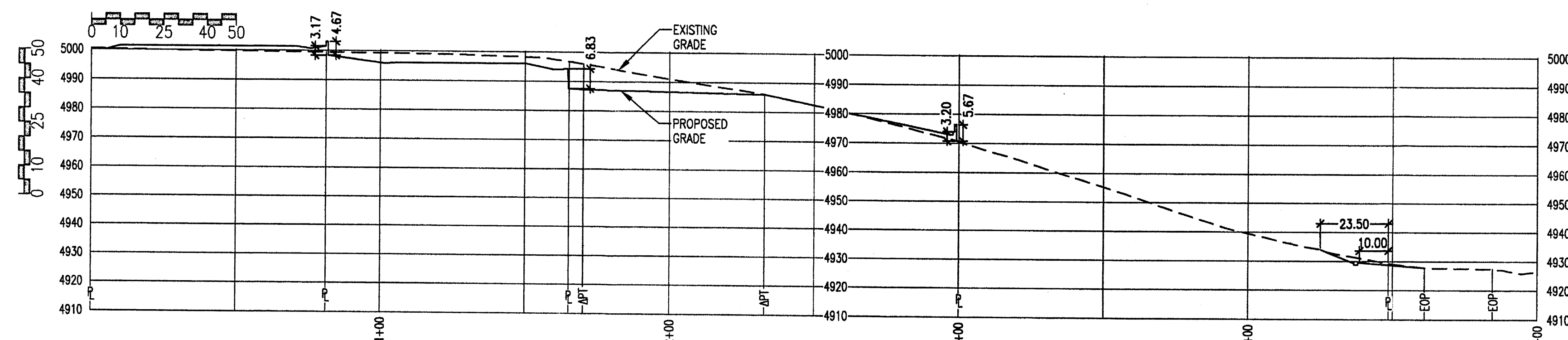
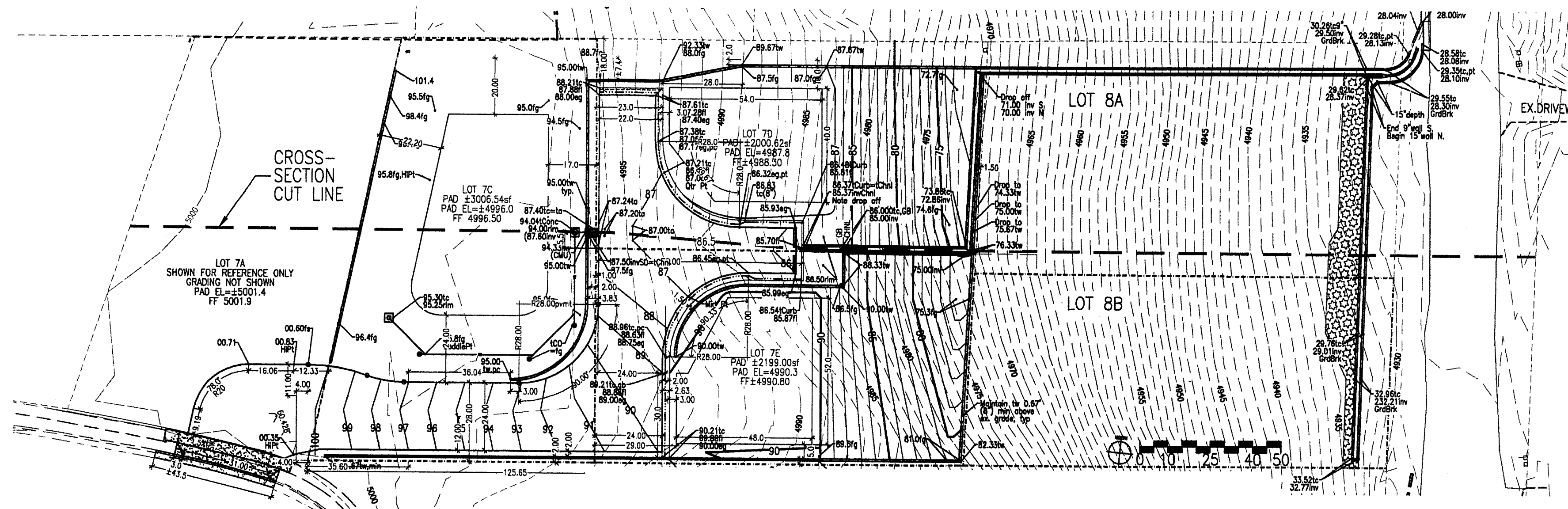


7. CONTRACTOR IS TO IMMEDIATELY CLEAN UP ANY ERODED DIRT THAT DOES LEAVE THE SITE.

WAID, WARD CT.



VICINITY MAP
C.O.A. MAP G-11-Z nts

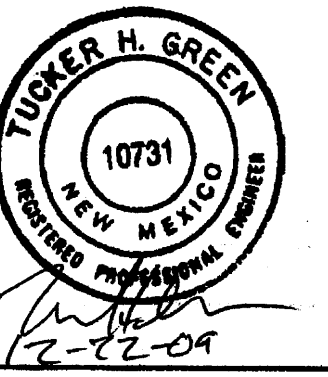


EXISTING & PROPOSED GRADES AT SECTION CUT LINE

WAID, WARD CT.

FILE NAME: C:\Proj\Ward\Ward09.dwg; LAYOUT TAB: C7-TL-XSect;
IMAGES: C:\Proj\Ward\FMS500103276.png; ...g-11.tif; ...Ward-Ward-XLS.TIF; ...WardHyd2-xls.TIF
XREFS: None
REVISIONS:

PER SE ENGINEERING
Drainage, Utilities, and Site Design
2116 Lead Ave. SE Albuquerque NM, 87106
(505) 232-9394

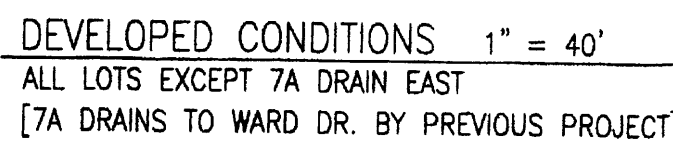
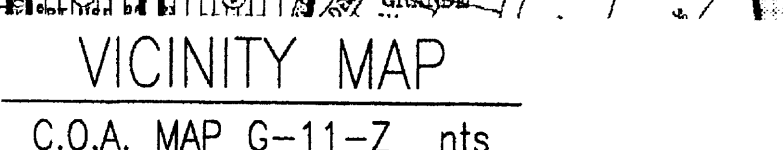
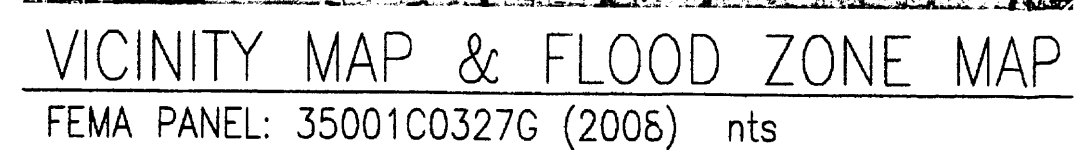


TRAFFIC CIRCULATION LOTS 7C, 7D, & 7E
& E-W CROSS-SECTION FULL SITE
OWNER: ESTRELLA VISTA DEVELOPMENT, INC.
CONTACT PERSON: JOE WAID

XSects n Entr

SHEET
C7

WAID, WARD CT.

[illegible][illegible][illegible][illegible]

9/16/2009 12:47 AM

Wald-MANTRAP XLS

Waid

Manning's equation for normal flow in trapezoidal channels
 b = bottom width (=0 for triangles), m = sideslope $H:V$ (=0 for rectangles)
 P = wetted perimeter, $R = A/P$; Q = flow (cfs); E_v = velocity energy; Fr = Froude no.
 E_s = specific energy = $y + v^2 / 2g$; M_s = specific momentum = $Q^2 / 2gA + A^2 ybar$
 (For M_s , see e.g. F.M. Henderson, Open Channel Flow, 1966, Eqns 3-8 & 3-9)
 τ_{bed} = (bed) shear stress (psf) = (γ water = 62.4pcf) "Slope" (Hydraulic Radius R)

Use $n=0.013$ for concrete bottom and side
Use $n=0.030$ for cobble bottom and concrete/CMU sides
Case 2 shows 16"-wide chan could convey total flow @ 2% slope

	Case 1	Case 1	Case 2
n	0.01300	0.01300	0.01300
S	0.00700	0.00700	0.02000
M1	0.00	0.00	0.00
M2	0.00	0.00	0.00
B	1.33	1.33	1.33
Y	0.370	0.400	0.490
T	1.33	1.33	1.33
A	0.49	0.53	0.65
P	2.07	2.13	2.31
R	0.24	0.25	0.28
Q	1.81	2.02	4.53
V	3.67	3.79	6.95
Ev	0.21	0.22	0.75
Es	0.58	0.62	1.24
Fr (Y)	1.06	1.06	1.75
Fr (AT)	1.06	1.06	1.75
Ms	0.30	0.34	1.14
Tau, psf	0.16	0.17	0.61

K _{ent} (culvert)	0.50	0.50	0.50
Es + 0.5Ev	0.68	0.74	1.62

Project and Drainage Discussion for:
 Lots 7C, 7D, & 7E, and Lots 8A & 8B,
 Block A, Grande Heights Subdivision, Albuquerque, NM (COA MAP G-11)

Project Address / Location: Between Sequoia Ct. and Ward Dr. NW (east of Coors & Sequoia Rd);
Lot 8 is 3511 Sequoia Ct. NW

Legal Description: Lots 7C, 7D, 7E, 8A & 8B, Block A, Grande Heights Subdivision, Albuquerque, Bernalillo County, NM (Formerly Lot 7B and Lot 8.)

Flood_Zone: None, per FEMA panel 35001-c037g, September 2008

Project Description:

Lot 7B will be split into 3 residential lots accessed from Ward Dr. Lot 7C, the upper, westerly, lot will contain about 0.29 acre and Lots 7D and 7E will each contain slightly over 0.23 acre. Lots 8A and 8B will each contain a little over 0.25 acre and will be accessed from Sequoia Ct, which is on the order of 80 feet lower than Ward Dr. Roughly half of 7C and 7D will be developed fairly level for house pads while the other half will slope at almost 3H:1V down to retaining walls at the property lines with Lots 8A and 8B. Lot 8 will be split into Lots 8A and 8B carry runoff from Lot 7C. The upper, this time EXCEPT FOR small drainage channels. One channel will carry runoff from Lot 7C, the upper, to the north side of the second channel will collect runoff from 8A and 8B and join the other channel. The combined channel will discharge onto Ward Ct. at the northeast corner of Lot 8A. The idea is to turn the flow while maintaining its velocity, to help runoff pass existing driveways in Sequoia Ct. Runoff will then flow north in Sequoia Ct and east down Sequoia Dr. to an existing dented sill control structure. Constructing the outlet channel will require relocating a utility pedestal.

Site Existing Conditions / History:

Grande Heights Subdivision was created in approximately 1960. In August 2007 the owners made a Sketch Plat submittal to the City and received comments. Since then there have been several discussions with City of Albuquerque staff (particularly Brad Bingham of Hydrology) about how to develop both Lots 7 and Lot 8 into an eventual total of 6 residential lots. Lot 7 was recently split into 7A and 7B, with 7A being available for sale as a residential lot and 7B being used to retain drainage until it could be developed into 3 lots (7C, 7D, 7E) by the present project. Lot 7A was graded so as to drain to Ward Drive although under pre-development conditions it drained down to Sequoia Ct.

The lower halves of 7D and 7E are steep. Lots 8A and 8B lie downhill from Lot 7, front on Sequoia Ct. (the 1st street west of the Rio Grande) and are steep and undeveloped. The land south of the project site is undeveloped. There is existing residential development directly west of the site, northwest of the site, and on 2 of the lots directly north of the site. The views, across the river and toward the mountains, are magnificent.

Grading and Drainage:

Appropriate easements and channels are provided. There will be free discharge of all 5 lots onto Sequoia Ct. Runoff will be directed northward from the northeast corner of Lot 6A without killing its velocity. This will get the runoff heading north in Sequoia Ct., in contrast to east across Sequoia Ct, which is the current condition. Hydrology calculations are per COA DPM (City of Albuquerque Development Process Manual) Chapter 22 methods for small watersheds. No credit is claimed for water harvesting or onsite ponding. The project will have no adverse drainage effect on neighboring or downstream properties.

The north-heading channel along the east side of Lots 8A and 8B directs runoff to the combined outlet on the northeast corner of 8A and then north in Sequoia Ct. The Owner of 8B may find some way other than the channel on 8B to get runoff to the channel on 8A BUT developed runoff from almost all of 8B is to be directed to 8A and then north past the site. On Lot 8A the channel is in a new easement. If the owner of 8A found some other way to convey water from the current location at 8B and get it properly to the combined outlet, that would be appropriate in terms of the present design BUT 8A must accept the runoff from 8B.

DEVELOPMENT OF LOTS 8A AND 8B WILL REQUIRE INDIVIDUAL ENGINEERED DRAINAGE PLANS.

END OF REPORT TEXT

9/15/2009

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Manning's equation for flow in circular pipes
 flowing just full or less, with sediment (crud) depth allowed
 $Q = (1.49n)^{-1} A^2 R^{2/3} S^{1/2}$ (1/2)
 Units are feet, seconds, radians; slope is ft/ft
 n=Manning's roughness; A=flow area; S=slope=bed slope for normal flow
 R=hydraulic radius=A/P where P=wetted perimeter=Pw; & Q=flow in cfs
 Theta=radial angle from a downward vertical to the water or crud level
 ** Original formulas in hidden column AA (approximate location)

Storm drain from Lot 7C to 7D: $\approx 60\%$ of ≈ 1.3 cfs (peak) = 0.78 cfs req'd
Use nominal diameters; actual diameters slightly larger
Friction slope = pipe slope for pipes less than full
Manning's n for PVC may be lower (smoother) than 0.012

n	PVC
Friction Slope ft/ft	0.012
Diameter ft	0.040000
Depth of water,ft	0.5
Depth of crud	0
Theta water,radians	1.772
Theta crud	0.00
Area,sl	0.12
Pwet,ft	0.89
R hyd	0.14
Velocity fps	6.64
Q cfs	0.82
	#
Hv= $v \sqrt{2/g}$	0.69
Specific Energy	0.99
Froude No.	2.14

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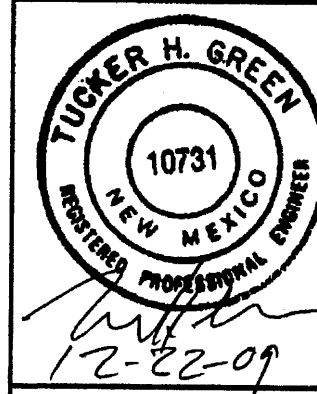
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WARD, WARD CT.

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FILE NAME: C:\Program Files\Microsoft Office\Office\Word\Word.doc
IMAGES: C:\Program Files\Microsoft Office\Office\Word\Word.doc
XREFS: None
REVISIONS:

PER SE ENGINEERING
Drainage, Utilities, and Site Design
21116 Lead Ave. SE, Albuquerque NM, 87106
(505) 232-9394



DRAINAGE REPORT

OWNER: ESTRELLA VISTA DEVELOPMENT, INC.
CONTACT PERSON: JOE WAID

EROSION CONTROL

SHEET
C8, Rept

WAID, WARD CT.

Drainage Report for:
Lots 7A & 7B, Block A, Grande Heights Subdivision, Albuquerque, NM (COA MAP G-11)
Project Address / Location: 3420 Ward Dr, between Sequoia Ct. and Ward Dr. NW (east of Coors & Sequoia Rd)

Legal Description: Lots 7A and 7B, Block A, Grande Heights Subdivision, Albuquerque, Bernalillo County, NM

Flood Zone: None, per FEMA panel 35001-c037g, September 2008

Project Description:

The owners propose to replat Lot 7 into 2 lots. The upper, westerly, lot will contain about 1/4 acre and will be developed as a residential lot. The remaining area, roughly 3/4 acre, is not proposed to be developed at this time except as needed to (1) develop the upper lot (borrow dirt to raise the upper lot); (2) prevent sediment and erosion problems; and (3) provide utility stubs to accommodate a future division of the remainder. In the near future, but not now, the owners will develop the rest of Lot 7 and Lot 8, which they also own

Site Existing Conditions / History:

The project site, accessed from a bend in Ward Ct, is currently undeveloped, contains slightly over 1 acre, and has 2 distinctly different parts roughly equal in size: a fairly level upper half and a steep lower half. Lot 8 lies downhill from Lot 7 and fronts on Sequoia Ct., which is the 1st street west of the Rio Grande. Lot 8, containing slightly over 0.5 acres, is also steep, is also currently undeveloped. The land south of the site is undeveloped. There is existing residential development directly west of the site, northwest of the site, and on 2 of the lots directly north of the site. The views, across the river and toward the mountains, are magnificent.

Project History:

Grande Heights Subdivision was created in approximately 1960. In August 2007 the owners made a Sketch Plat submittal to the City and received comments. Since then there have been several discussions with City of Albuquerque staff (particularly Brad Bingham of Hydrology) about how to develop both Lots 7 and Lot 8 into an eventual total of 6 residential lots. This submittal draws on those discussions.

Grading and Drainage:

The new residential lot will be raised and graded to drain to Ward Dr, with free discharge. Immediately east of this new lot is an area roughly equal in size with slopes under 3% and bounded downhill by a low chainlink fence. Borrow to raise the upper lot will be taken from this area. The borrow area will be left low to trap any sediment arising from construction operations, but hydrology design will not count on storage there. The east side of the borrow area will be graded, as to avoid concentrated flow. East of the fence the site steepens.

Hydrology calculations are per COA DPM (City of Albuquerque Development Process Manual) Chapter 22 methods for small watersheds. No credit is claimed for water harvesting or onsite ponding. The project will have no adverse drainage effect on neighboring or downstream properties.

END OF REPORT TEXT

See full report for calculations and maps.

NOTICE TO CONTRACTORS:

- AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
- ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
- TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 260-1990, FOR LOCATION OF EXISTING UTILITIES. (NM ONE CALL = "811")
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
- BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
- MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
- WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

APPROVAL	NAME	DATE
INSPECTOR		

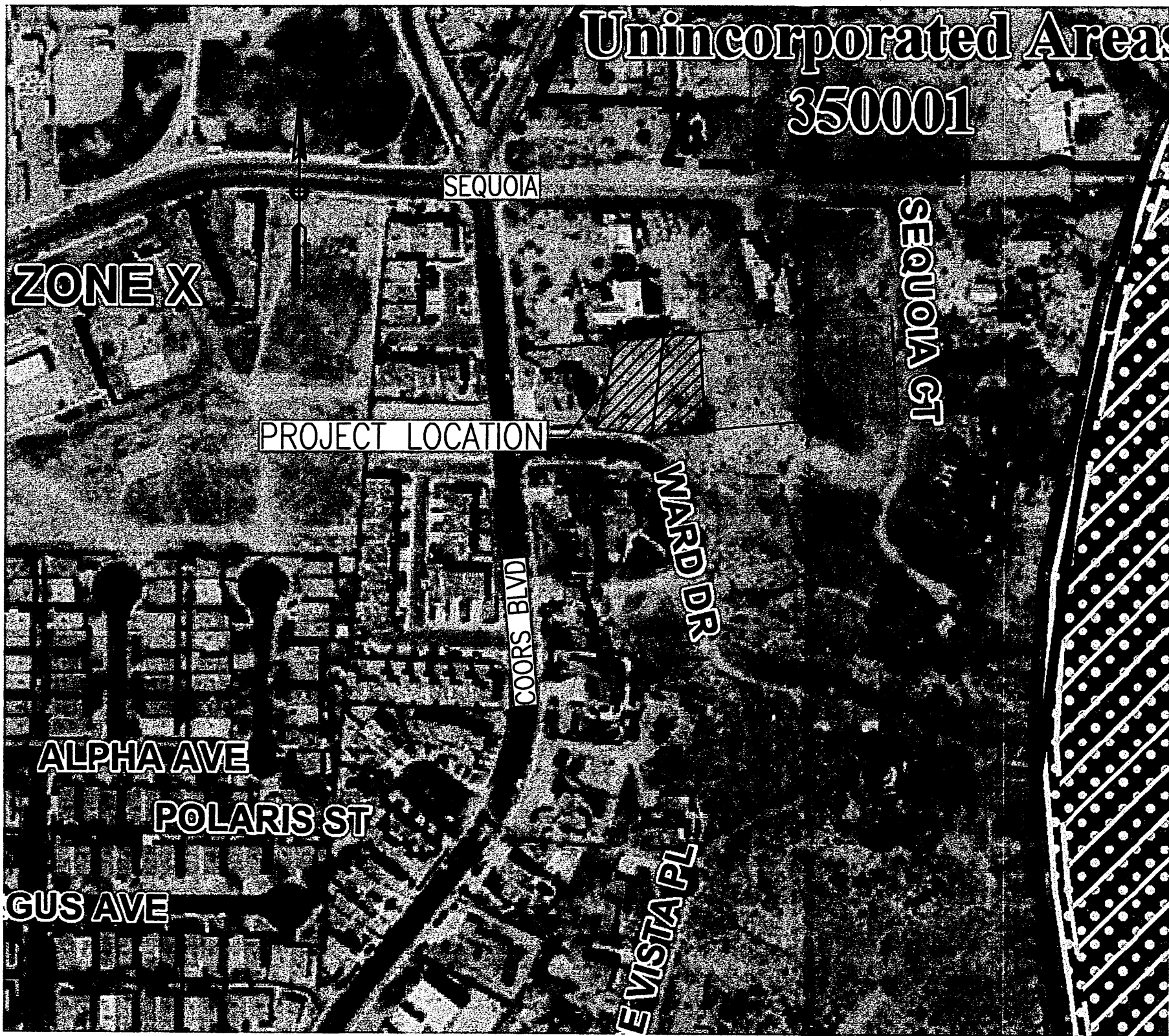
BOUNDARY SURVEY BY: Absolute Surveying & Mapping, Inc.
TOPOGRAPHICAL SURVEY BY: Absolute Surveying & Mapping, Inc.

NOTE: THE TOPOGRAPHICAL SURVEY STATES: "THE BASIS OF BEARINGS IS BASED ON GPS OBSERVATION COORDINATE SYSTEM."

DRAWING INDEX

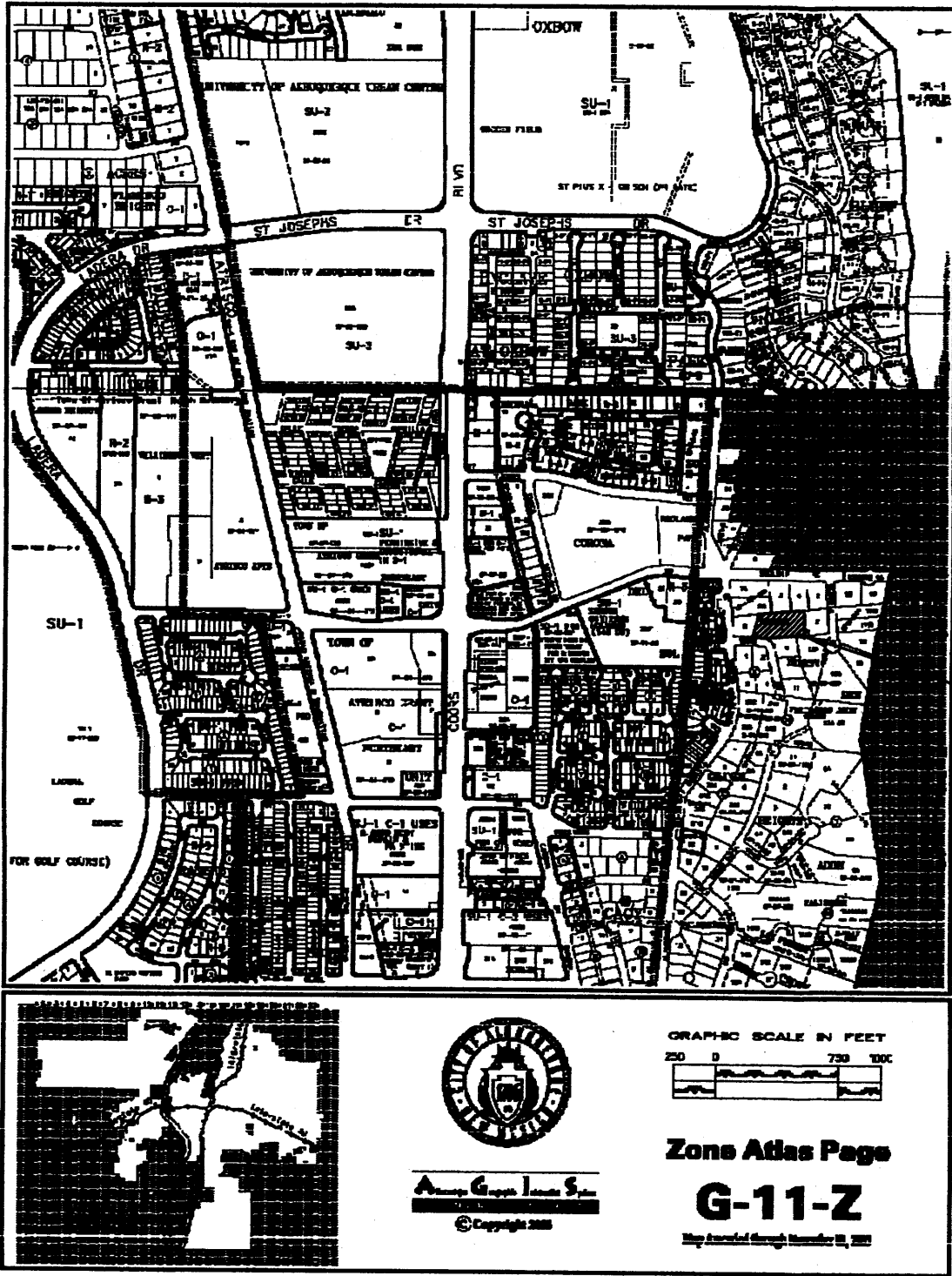
C-101: DRAWING INDEX, LEGEND & ABBREVIATIONS, GENERAL NOTES, PROJECT DESCRIPTION & DRAINAGE DISCUSSION.

C-102: GRADING, PAVING & DRAINAGE PLAN, & UTILITY PLAN



VICINITY MAP & FLOOD ZONE MAP

FEMA PANEL: 0327 (2008) C.O.A. MAP
SCALE: NTS



VICINITY MAP

C.O.A. MAP G-11-Z
SCALE: 1" = 1000'

GENERAL NOTES:

- ALL WORK TO BE PERFORMED IN ACCORDANCE WITH CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION. 1986 EDITION, UPDATED THROUGH AMENDMENT 1 TO REVISION 7.
- THERE MAY BE UTILITIES AND OTHER ITEMS THAT ARE NOT SHOWN. FIELD VERIFY. CALL NEW MEXICO ONE-CALL: FOR UTILITIES SPOTTING AT LEAST 3 WORKING DAYS PRIOR TO THE START OF CONSTRUCTION.
- CONTRACTOR'S GOOD SENSE: THE CONTRACTOR IS EXPECTED TO USE HIS GOOD SENSE, EXPERIENCE, AND JUDGEMENT.
- IF UNUSUAL, CONFLICTING, OR EVEN APPARENTLY ODD CIRCUMSTANCES ARISE, THE CONTRACTOR IS TO CONSULT WITH THE ENGINEER FOR A RESOLUTION BEFORE PROCEEDING WITH FINAL LAYOUT OR CONSTRUCTION.
- CHANGES & DEVIATIONS ARE TO BE APPROVED IN WRITING IN ADVANCE OF CONSTRUCTION. CONTRACTOR IS TO KEEP A MARKUP COPY OF THE PLANS AND TO NOTE THEREON ALL CHANGES AND DEVIATIONS FROM THE PLANS.
- ALL WORK IS TO BE PERFORMED IN A WORKMANLIKE MANNER.
- ENGINEER IS WILLING TO SUPPLY AN ELECTRONIC COPY OF THIS DRAWING (AUTOCAD 2005) FOR THE CONTRACTOR'S USE ON THIS PROJECT.
- IF THE CONTRACTOR FEELS THERE IS A CONSTRUCTION ITEM NOT COVERED WITH A DETAIL OR SPECIFICATION, THE ENGINEER SHALL BE CONTACTED AND A DETAIL OR SPECIFICATION SHALL BE SELECTED, PROBABLY FROM THE CITY OF ALBUQUERQUE SPECIFICATIONS.
- PAVEMENT CUTS FOR ALL UTILITIES SHALL BE PER CITY OF ALBUQUERQUE
- ALL ELEVATIONS SHOWN ON THIS PLAN ARE TO BE STAKED TO ASSURE CONSTRUCTION CONFORMANCE TO THE PLAN.
- CITY PERMITS NEEDED FOR STREET UTILITY CONSTRUCTION ARE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.
- THE CONTRACTOR IS RESPONSIBLE FOR EARTHWORK QUANTITIES

LEGEND & ABBREVIATIONS

APWA	AM. PUBLIC WORKS ASSN.	EOG	EDGE OF GUTTER	R	RADIUS & RATE OF SLOPE
B	BACK (PREFIX)	EP	EDGE OF PAVEMENT	RD	ROOF DRAIN
BT-CB	BOTTOM OF CURB	EW	EACH WAY	R.W.	RIGHT OF WAY
BC	BACK OF CURB	FC	FACE OF CURB	S	SLOPE
BSW	BACK OF SIDEWALK	F-F	FACE TO FACE	SAS	SANITARY SEWER
C&G	CURB AND GUTTER	FF	FINISHED FLOOR	SD	STORM DRAIN/SEWER
CG	CURB AND GUTTER	FG	FINISHED GRADE	SDWK	SIDEWALK
CF	CURB FACE	FL	FLOW LINE	S.L.	SEWER LATERAL
CI	CAST IRON	F.M.	FORCE MAIN	SW	SIDEWALK
CI SP	CI SOIL PIPE (SAS)	FP	FINISHED PAD	T	TANGENT
CO	CLEAN OUT	FS	FINISHED SURFACE	T	TELEPHONE
COA	CITY OF ALBUQUERQUE	G	GAS	TA	TOP OF ASPHALT
CRR	CITY OF RIO RANCHO	GB	GRADE BREAK	TBM	TEMPORARY BENCH MARK
CoRR	CITY OF RIO RANCHO	HP	HIGH POINT	TC	TOP OF CURB
E,EX,X	EXISTING (PREFIX)	INV	INVERT	TC	TOP OF CONCRETE
DI	DUCTILE IRON or DROP INLET	L	LENGTH	TCO	TOP OF CLEANOUT
DRWG	DRAWING	LF	LINEAR FOOT	TOE	TOE / BOTTOM OF SLOPE
DWG	DRAWING	LS	LANDSCAPE, -ING	TOP	TOP OF SLOPE
E	ELECTRIC, ELECTRICITY	LP	LOW POINT	TP	TOP OF PIPE
EA	EDGE OF ASPHALT	MH	MANHOLE	TRW	TOP OF RETAINING WALL
EDF	EXTRA-DEPTH FOOTING	NM	NEW MEXICO	TS	TOP OF SIDEWALK
EG	EXISTING GRADE	NMDOT	NEW MEXICO DEPT. OF TRANSPORTATION	TW	TOP OF WALL
		OC	ON CENTER	UP,UT	UTILITY POLE
		OH	OVERHEAD	W	WATER
		PA	PLANTER AREA	W.S.	WATER SERVICE
		PP	POWER POLE		

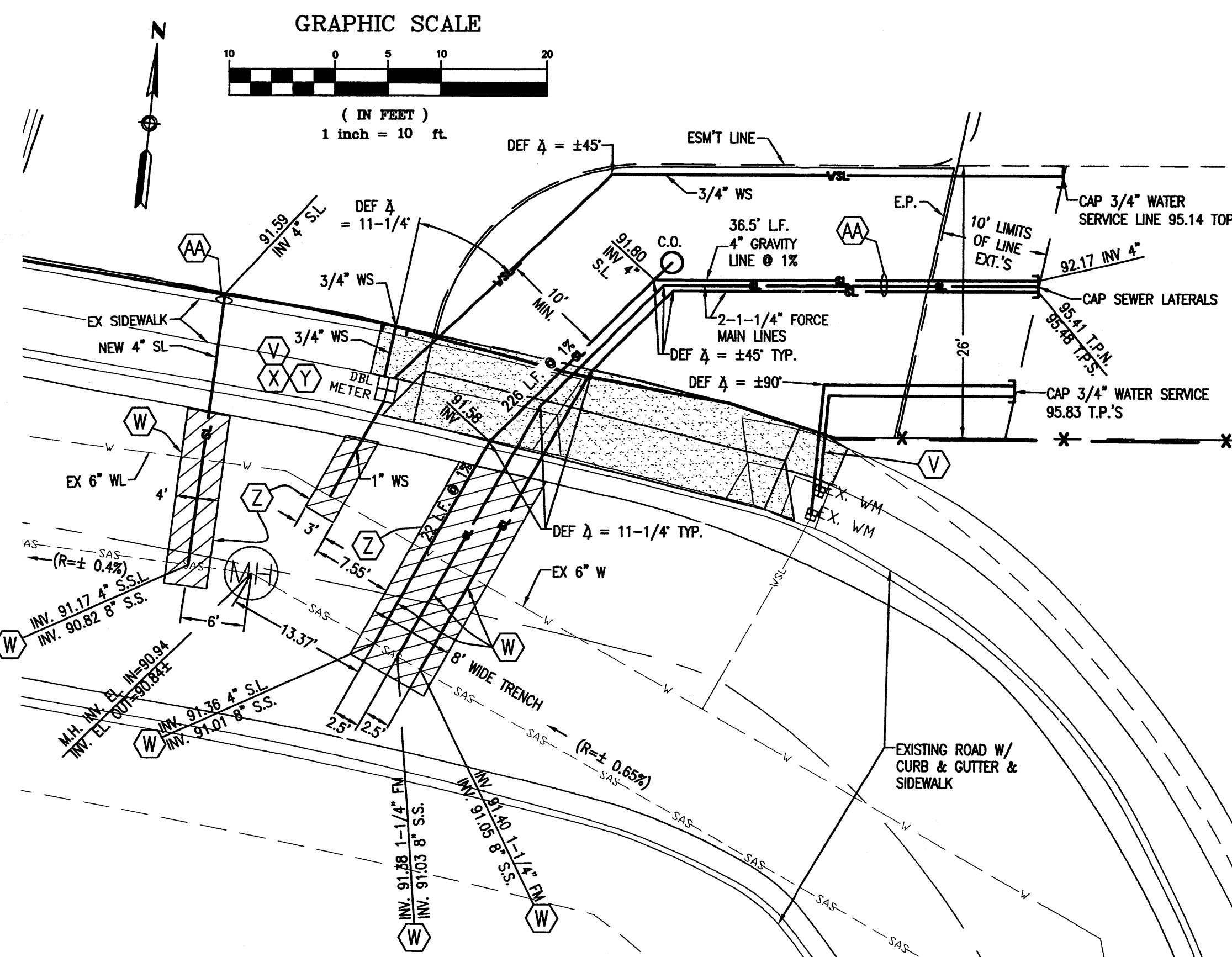
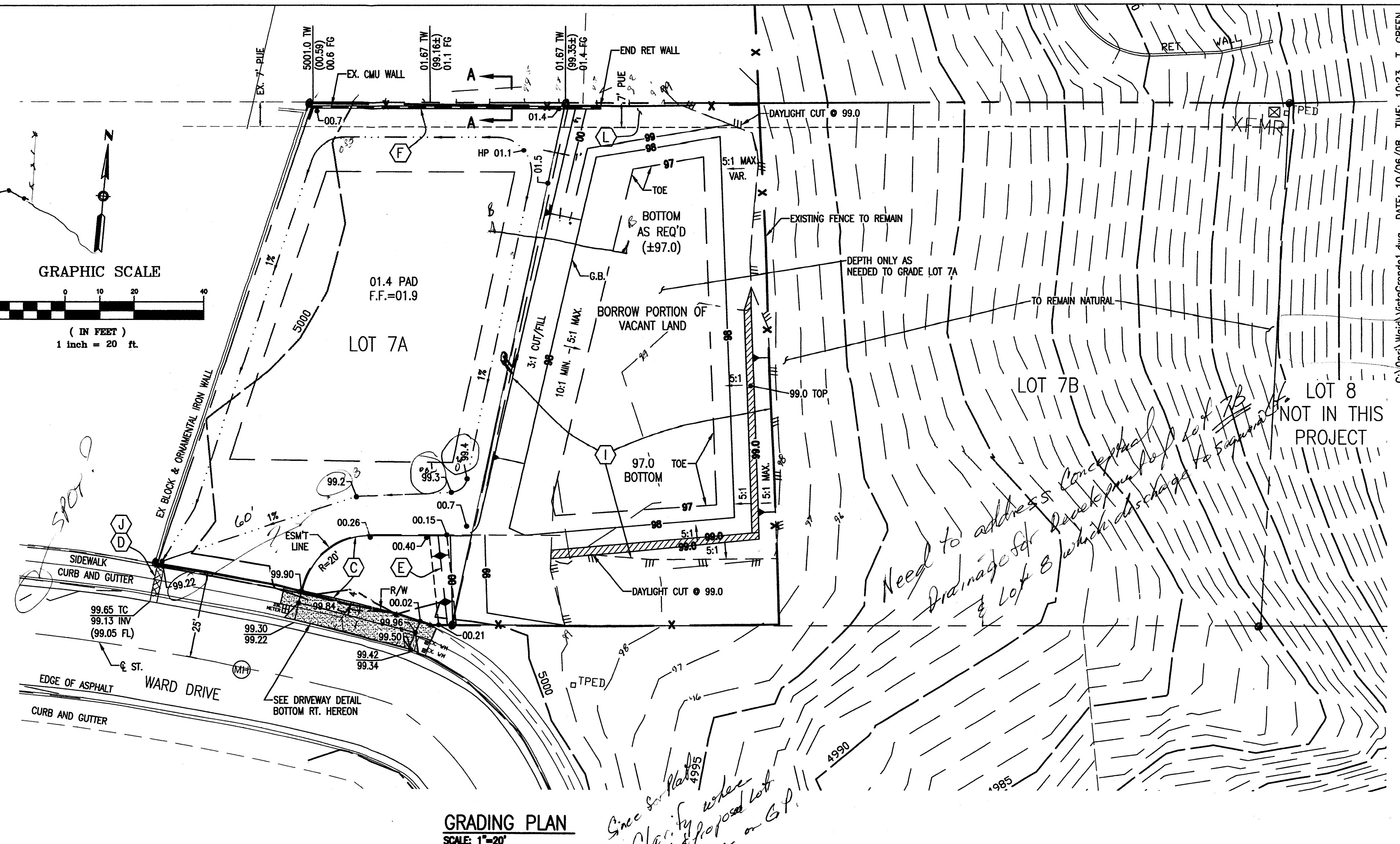
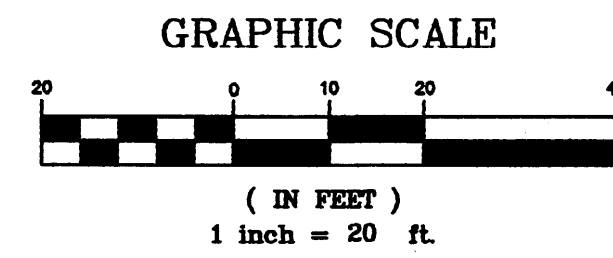
(X)	CONSTRUCTION ITEM / KEY NOTE	+X, X 35.36	EXISTING SPOT ELEVATION
-5030-	EXISTING CONTOUR	35.36fs	NEW SPOT ELEVATION
---GB---	GRADE BREAK OR RIDGE	35.36	NEW TOP OF CURB & BOTTOM OF CURB OR FIN. GRADE
----	PROPOSED DRAIN LINE	[XX.XX]	FUTURE ELEVATION
→	FLOW ARROW		
★ ★ ★	CHECKERED (NON-SLIP) STEEL OR ALUMINUM DRAINAGE COVER		
□	CONCRETE, CROSS-SECTION		
□	CONCRETE, PLAN VIEW		
□	REPLACEMENT SIDEWALK OR CURB & GUTTER		
---	NEW FLOW LINE		
█	NEW RETAINING WALL		

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C-101 COVER SHEET, INDEX, VICINITY MAP, AND LEGEND

OWNER: ESTRELLA VISTA DEVELOPMENT, INC.
CONTACT PERSON: JOE WAID

SHEET
C-101



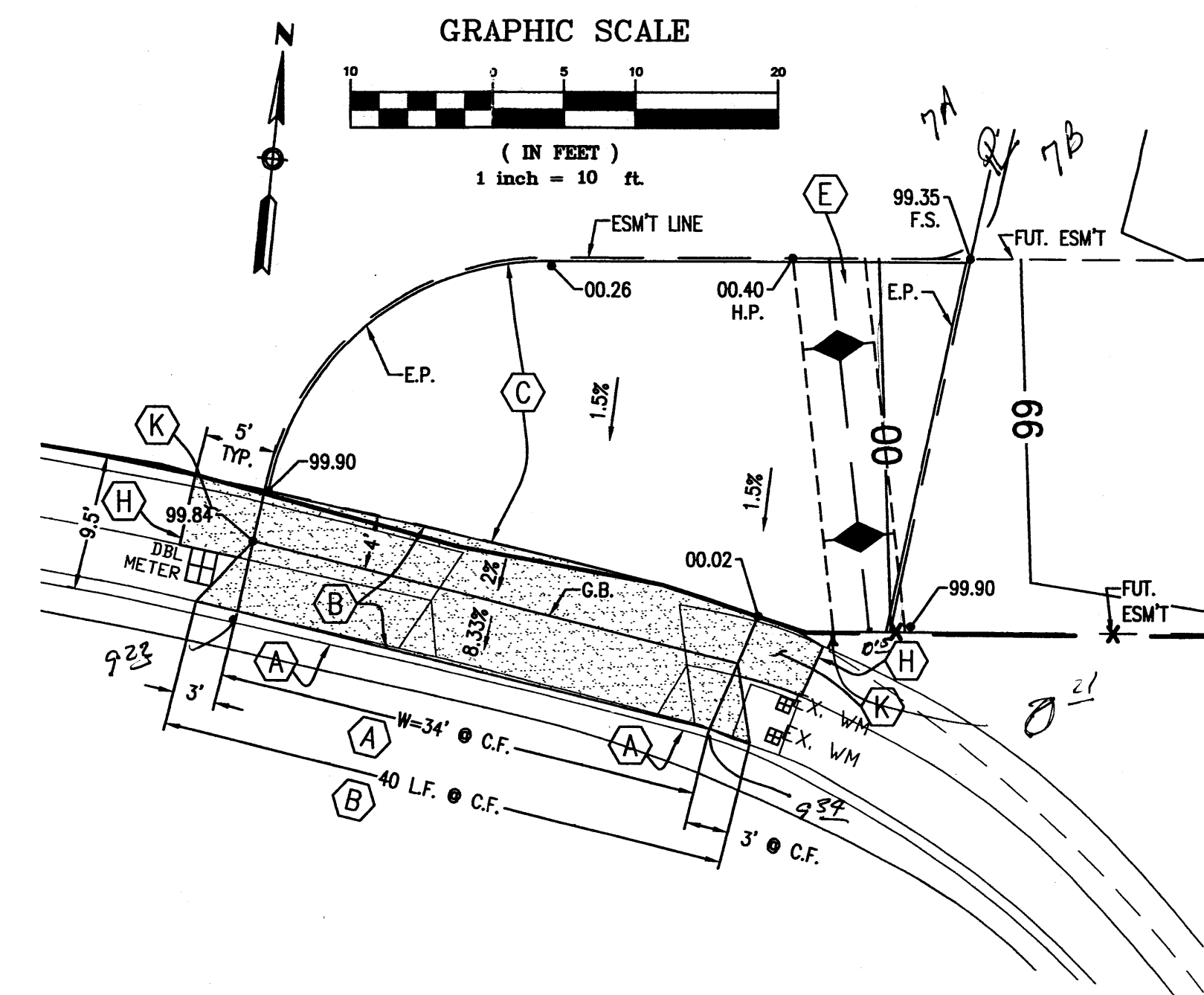
UTILITY PLAN
SCALE: 1"=10'

- CONSTRUCTION ITEMS - GRADING, PAVING & DRAINAGE

- (A) SAW CUT CONC. CURB 1" (0.08") ABOVE F.L.. LAST 3' EITHER SIDE OF APRON CUT VARIES. 0.08 TO 0.59
- (B) CONST. DRIVE PAD PER C.O.A. DWG. 2425, SEC "E" USE ALTERNATIVE DETAIL FOR SAW CUT EXISTING CURBS.
- (C) CONST. 4" AC ON 4" BASE (TO BE CONFIRMED BY SOILS ENGINEER.)
- (D) CONST. SIDEWALKS CULVERT PER C.O.A. STD DWG, 2236 W=12"
- (E) INSTALL AC SPEED BUMP, H=3", W=5'. ESSENTIAL FOR DRAINAGE
- (F) GARDEN RETAINING WALL - 2.5' HIGH MAX, SEE DETAIL THIS SHEET
- (G) REMOVE EXIST. DRIVEWAY PAD & SIDEWALK
- (H) SAW CUT @ NEAREST CONSTRUCTION JOINT OR REMOVE FROM NEAREST EXPANSION JOINT.
- (I) DOUBLE SEED BORROW AREA PER C.O.A. SPECIFICATIONS SECTION 1012 (NATIVE GRASS)
- (J) SAW CUT EXIST. CURB & SIDEWALK
- (K) CONST. SIDEWALK PER C.O.A. DWG. 2430
- (L) CALL FOR UTILITY LOCATION CHECK PRIOR TO GRADING IN THIS AREA

- ### CONSTRUCTION ITEMS – UTILITIES

- (V) STUB LINES INTO METER BOXES & CAP
- (W) CONSTRUCT SEWER SERVICE LINE PER C.O.A. DWG. 2125
- (X) WATER DOUBLE METER BOX PER C.O.A. DWG. 2366 & BOX COVER & LID PER C.O.A. DWG. 2368.
- (Y) WATER METER BOX LOCATION PER C.O.A. DWG. 2360, 2361 & 2362.
- (Z) PAVEMENT CUTS FOR UTILITIES PER C.O.A. DWG. 2465.
- (AA) 12 GAUGE TRACER WIRE OVER ALL PLASTIC SEWER & WATER LINES.

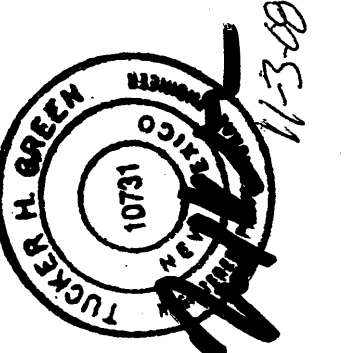


DRIVEWAY PLAN
SCALE: 1"=10'

LAYOUT TAB: C2
IMAGES:

XREFS:

PER SE ENGINEERING
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(505) 232-9394



C-102 GRADING, UTILITY AND DRIVEWAY PLANS

OWNER: ESTRELLA VISTA DEVELOPMENT, INC.
CONTACT PERSON: JOE WAID

SHEET

C-102