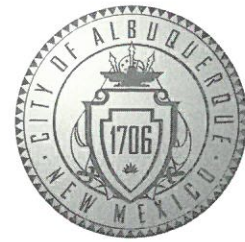


CITY OF ALBUQUERQUE



November 27, 2018

4G Development & Consulting Inc.
Nathan Lodico
P.O. Box 270571
San Diego, CA 92198

Re: Chick-fil-A
NWC of Coors & St. Joseph Dr. NW 87120
Traffic Circulation Layout
Engineer's/Architect's Stamp 10-16-18 (G11D069C)

Dear Mr. Lodico

Based upon the information provided in your submittal received 11-19-18, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

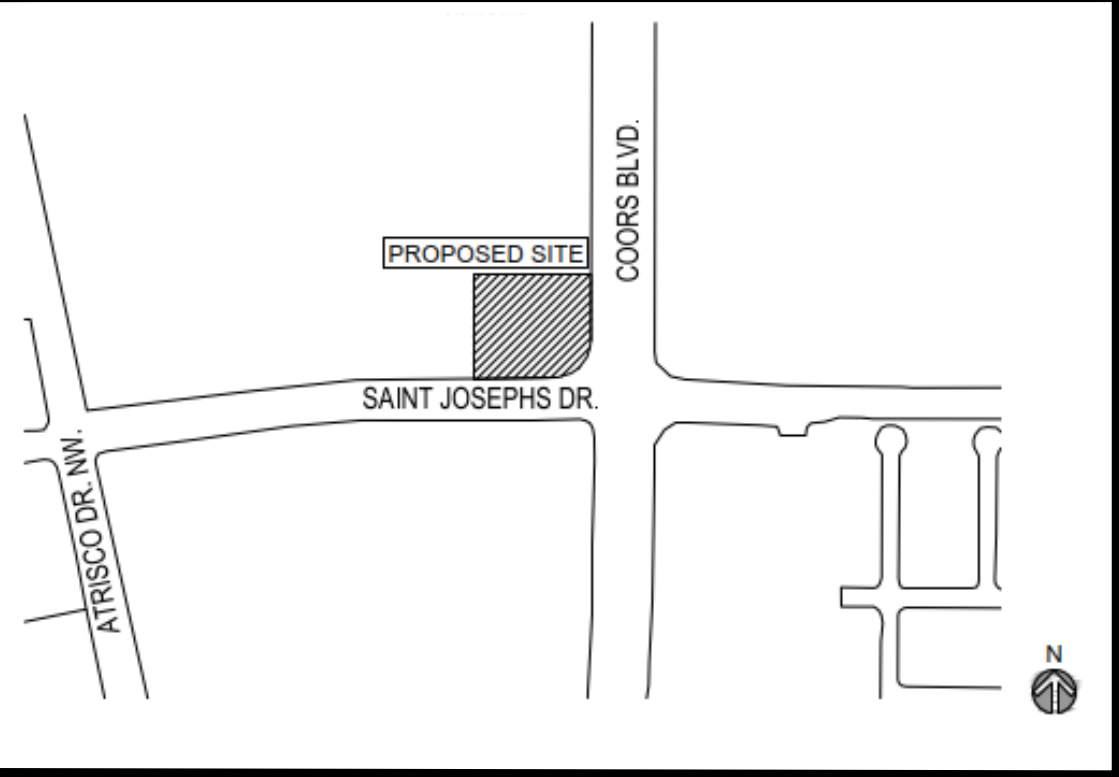
1. Please review and revise plan to provide all information listed on the attached Traffic Circulation Layout checklist.
2. List the number of bicycle spaces required by the IDO.
3. Please check parking calculations.
4. Please list the width and length for all existing and proposed parking spaces. Some dimensions are not shown.
5. The traffic circulation layout must be stamped, signed, and dated by an engineer or architect licensed in the state of New Mexico.
6. Van accessible aisles should be 8ft wide; all others should be 5ft wide. Some dimensions are not shown.
7. Please add a note on the plan stating "All improvements located in the Right of Way must be included on a public work order.
8. Show sidewalks and access to the site.
9. The ADA accessible parking sign must have the required language per 66-7-352.4C NMSA 1978 **"Violators Are Subject to a Fine and/or Towing."** Please call out detail and location of HC signs.
10. Motorcycle parking spaces shall be designated by its own conspicuously posted upright sign, either free-standing or wall mounted per the IDO. Please dimension motorcycle parking.
11. Show all drive aisle widths and radii. Some dimensions are not shown.
12. Service vehicle and/or refuse vehicle maneuvering must be contained on-site; provide a copy of refuse approval.

PO Box 1293

Albuquerque

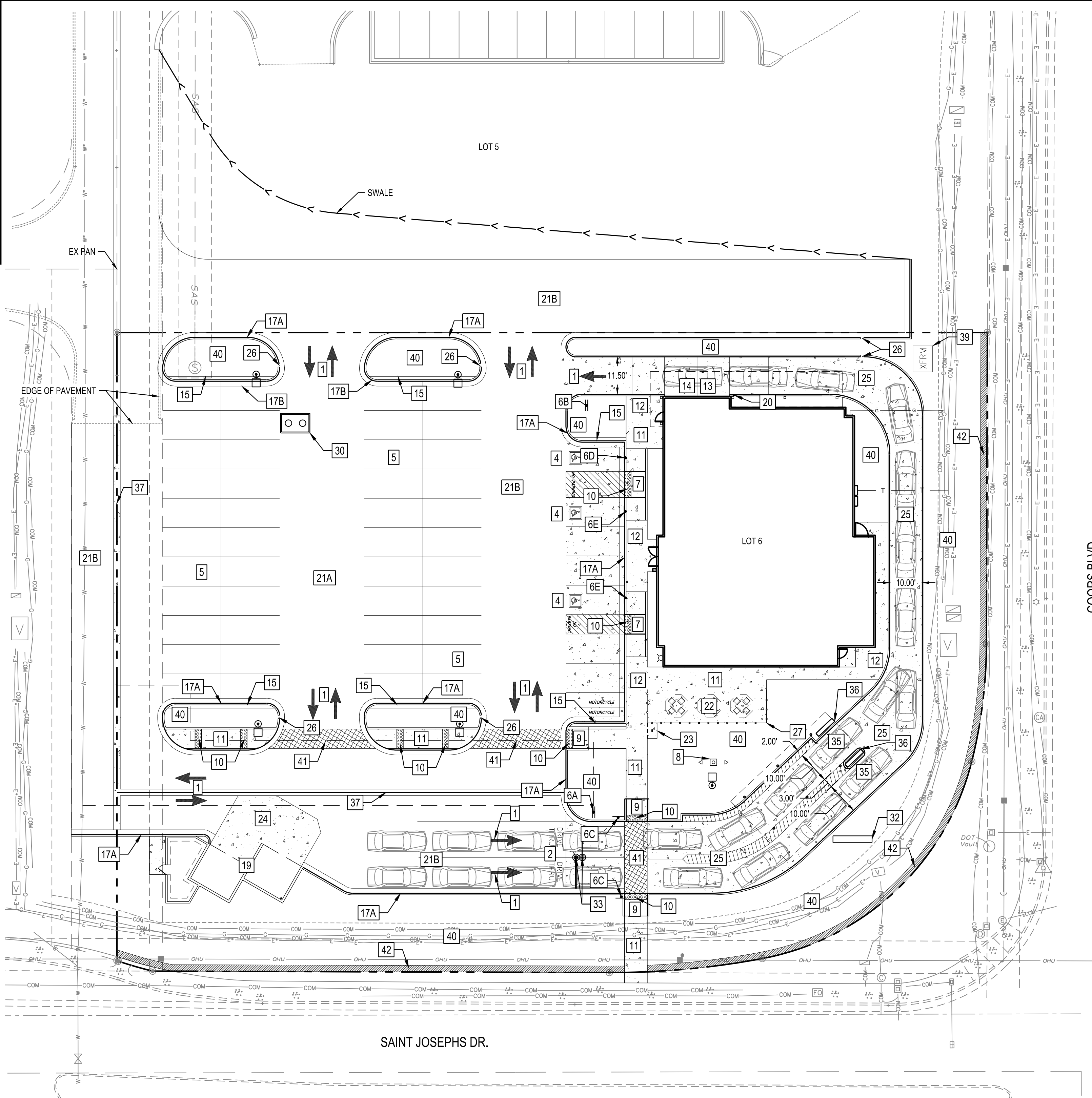
NM 87103

www.cabq.gov



Vicinity Map
Not to Scale

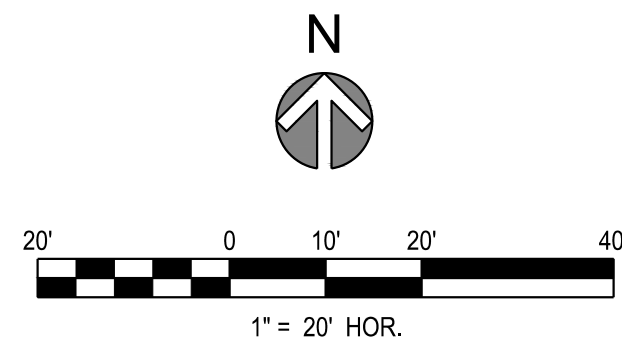
Project Description:
Proposed Chick-fil-A restaurant with drive thru and associated site development. On an existing undeveloped pad as part of existing Coors Pavilion shopping center.



- LEGEND:**
- PROPERTY LINE
 - PATIO RAILING
 - PAVEMENT STRIPING
 - OUTDOOR SEATING TABLE
 - PROPOSED LIGHT POLE
 - GREASE TRAP
 - EXISTING SANITARY MANHOLE
 - EXISTING FIRE HYDRANT
 - EXISTING LIGHT POLE

SITE PLAN DESIGN NOTES & KEY PLAN

- 1 DIRECTIONAL ARROW
- 2 DRIVE-THRU GRAPHICS
- 4 PAINTED ACCESSIBLE PARKING SYMBOL
- 5 STANDARD PARKING STALL
- 6 DIRECTIONAL SIGNAGE
ALL SIGNS SHALL CONFORM TO THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" BY THE US DEPARTMENT OF TRANSPORTATION.
- 6A "DRIVE THRU" RE: SIGNAGE
- 6B "THANK YOU" RE: SIGNAGE
- 6C "CAUTION WATCH FOR PEDESTRIANS" SIGN RE: SIGNAGE
- 6D ACCESSIBLE VAN PARKING SIGN RE: SIGNAGE
- 6E ACCESSIBLE PARKING SIGN RE: SIGNAGE
- 7 SIDEWALK ACCESSIBLE RAMP
- 8 FLAG POLE, RE: SIGN PACKAGE
- 9 RETURNED CURB ACCESSIBLE RAMP
- 10 TRUNCATED DOMES
- 11 TYPICAL CONCRETE SIDEWALK
- 12 SIDEWALK W/ CURB & GUTTER
- 13 DRIVE THRU PLAN
- 14 DRIVE-THRU ISOMETRIC
- 15 18" STEP-OFF CURB
- 17 24" CONCRETE CURB AND GUTTER
- 17A SPILLING SECTION
- 17B CATCHING SECTION
- 19 TRASH ENCLOSURE RE: ARCHITECTURAL PLANS
- 20 PICK UP WINDOW BOLLARD
- 21 ASPHALT PAVEMENT SECTION
- 21A TYPICAL ASPHALT PAVEMENT SECTION
- 21B HEAVY DUTY ASPHALT PAVEMENT SECTION
- 22 PATIO TABLES
- 23 BIKE RACK RE: ARCHITECTURAL PLANS
- 24 CONCRETE APRON @ TRASH ENCLOSURE
- 25 CONCRETE PAVING @ DRIVE THRU LANE
- 26 12" CURB CUT
- 27 PEDESTRIAN RAILING RE: ARCHITECTURAL
- 30 GREASE INTERCEPTOR
- 32 MONUMENT SIGN BY OTHERS
- 33 CLEARANCE BAR RE: SIGN PACKAGE
- 35 MENU BOARD LOOP DETECTION SYSTEM
- 36 CANOPY ORDERING STATION RE: SIGN PACKAGE
- 37 3' CONCRETE PAN
- 39 TRANSFORMER
- 40 LANDSCAPED AREA
- 41 6' WIDE COLORED & TEXTURED CONCRETE AT PEDESTRIAN CROSSING
- 42 1' WIDE INFILTRATION TRENCH



PARKING CALCULATIONS

REQUIRED PARKING CALCULATION - 1 PARKING SPACE PER 4 SEATS		
PARKING SUMMARY:	REQUIRED	PROVIDED
DRIVE-THRU STACKING:	5	23
BIKE PARKING:		
STANDARD PARKING SPACES:	37	48
ACCESSIBLE PARKING:	3	3
MOTORCYCLE PARKING	2	2
TOTAL PARKING SPACES =	42	59

LEGAL DESCRIPTION:

LOT NUMBERED SIX (6) OF THE PLAT OF LOTS 1 THRU 9, COORS PAVILION (BEING A REPLAT OF TRACT X-1-A2, UNIVERSITY OF ALBUQUERQUE URBAN CENTER), WITHIN THE TOWN OF ALBUQUERQUE GRANT IN PROJECTED SECTION 2, TOWNSHIP 10 NORTH, RANGE 2 EAST, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, FILED ON APRIL 11, 2017, AS DOCUMENT NO. 2017033851, RECORDS OF BERNALILLO COUNTY, NEW MEXICO.



Chick-fil-A
5200 Buffington Rd.
Atlanta, Georgia
30349-2998

Revisions:
Mark Date By

Mark Date By

Mark Date By

Seal



STORE
CHICK-FIL-A
FSU #04107
COORS BLVD.

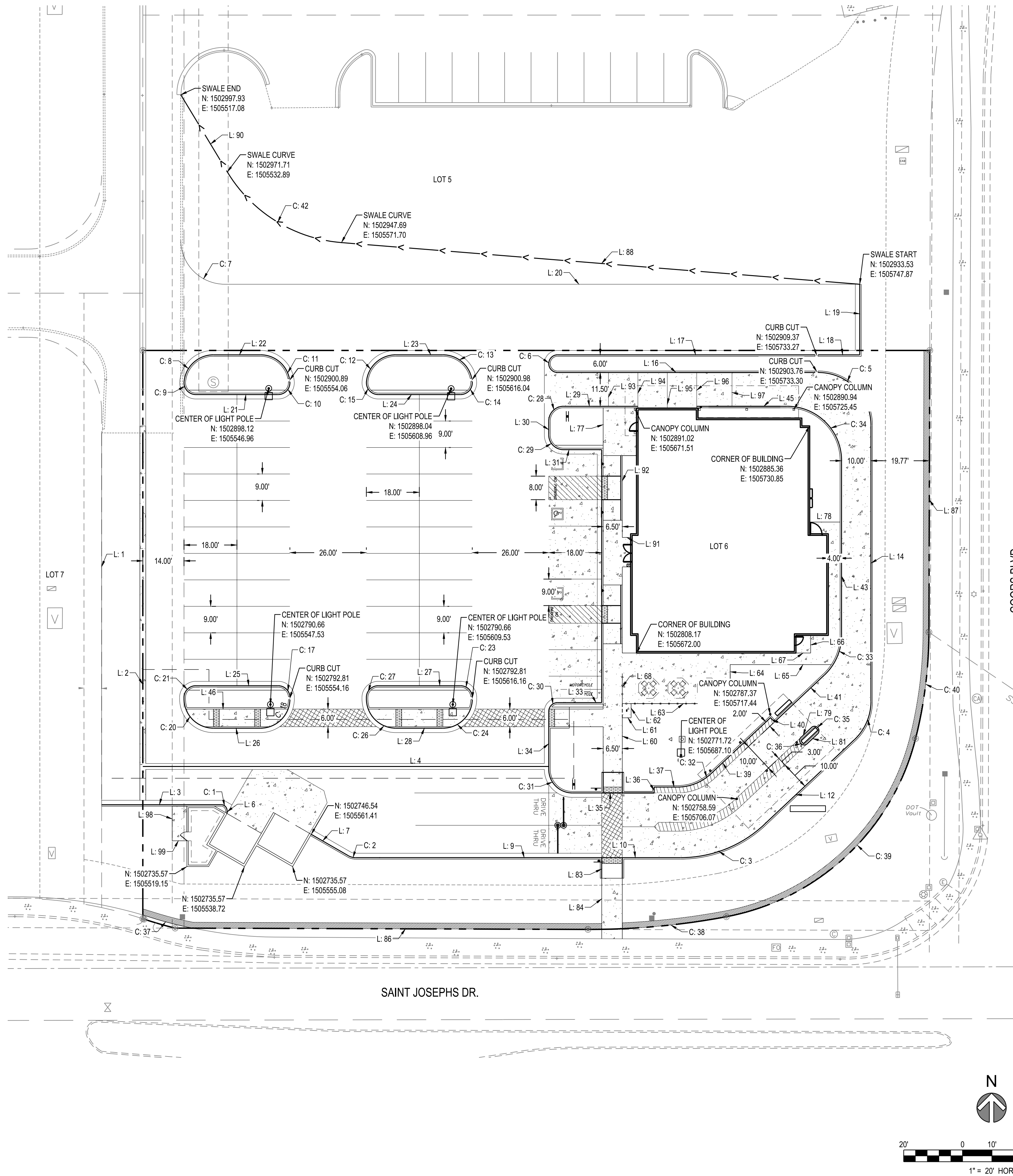
COORS BLVD NW
& St. JOSEPHS DR NW
ALBUQUERQUE, NM
87120

SHEET TITLE
**TRAFFIC
CIRCULATION
LAYOUT**

DWG EDITION ---

Job No. : 65119594
Store : 04107
Date : 10/16/18
Drawn By : LV
Checked By: KW

Sheet
C2.0



LINE TABLE				
LINE #	BEARING	LENGTH	BEGIN NORTHING EASTING	END NORTHING EASTING
L: 1	S0° 00' 00"E	126.88'	N: 1502882.988 E: 1505490.163	N: 1502756.104 E: 1505490.163
L: 2	N0° 00' 00"E	193.19'	N: 1502717.833 E: 1505504.163	N: 1502911.026 E: 1505504.163
L: 3	N90° 00' 00"W	40.82'	N: 1502756.604 E: 1505530.785	N: 1502756.604 E: 1505490.163
L: 4	N90° 00' 00"E	138.00'	N: 1502769.604 E: 1505504.163	N: 1502769.604 E: 1505642.163
L: 6	N0° 00' 00"E	0.98'	N: 1502753.620 E: 1505532.785	N: 1502754.604 E: 1505632.785
L: 7	N60° 00' 00"W	14.53'	N: 1502739.273 E: 1505673.992	N: 1502746.537 E: 1505661.412
L: 9	N89° 59' 59"W	90.87'	N: 1502738.603 E: 1505667.163	N: 1502738.604 E: 1505676.492
L: 10	N89° 59' 57"E	19.82'	N: 1502738.603 E: 1505667.163	N: 1502738.603 E: 1505686.986
L: 12	N46° 44' 17"E	42.01'	N: 1502748.882 E: 1505715.427	N: 1502778.672 E: 1505746.019
L: 14	N0° 00' 00"E	93.75'	N: 1502791.780 E: 1505751.683	N: 1502885.526 E: 1505751.683
L: 16	N90° 00' 00"E	82.71'	N: 1502903.526 E: 1505645.163	N: 1502903.526 E: 1505727.871
L: 17	N90° 00' 00"E	87.52'	N: 1502909.526 E: 1505645.163	N: 1502909.526 E: 1505732.683
L: 18	N90° 00' 00"E	14.19'	N: 1502909.526 E: 1505733.683	N: 1502909.526 E: 1505747.871
L: 19	N0° 00' 00"E	24.00'	N: 1502909.526 E: 1505747.871	N: 1502933.526 E: 1505747.871
L: 20	N90° 00' 00"W	216.31'	N: 1502933.526 E: 1505748.371	N: 1502933.526 E: 1505632.065
L: 21	N90° 00' 00"E	27.96'	N: 1502896.026 E: 1505522.184	N: 1502896.026 E: 1505550.142
L: 22	N90° 00' 00"E	16.00'	N: 1502909.526 E: 1505528.163	N: 1502909.526 E: 1505544.163
L: 23	N90° 00' 00"E	16.00'	N: 1502909.526 E: 1505590.163	N: 1502909.526 E: 1505606.163
L: 24	N90° 00' 00"E	27.96'	N: 1502896.026 E: 1505584.164	N: 1502896.026 E: 1505612.142
L: 25	N90° 00' 00"E	28.00'	N: 1502797.026 E: 1505522.163	N: 1502797.026 E: 1505550.163
L: 26	N90° 00' 00"W	16.00'	N: 1502792.609 E: 1505544.163	N: 1502792.609 E: 1505528.163
L: 27	N90° 00' 00"E	28.00'	N: 1502797.026 E: 1505584.163	N: 1502797.026 E: 1505612.163
L: 28	N90° 00' 00"W	16.00'	N: 1502792.609 E: 1505606.163	N: 1502792.609 E: 1505590.163
L: 29	N90° 00' 00"E	25.29'	N: 1502892.026 E: 1505647.163	N: 1502892.026 E: 1505672.455
L: 30	N0° 00' 00"E	4.73'	N: 1502882.292 E: 1505642.163	N: 1502887.026 E: 1505642.163
L: 31	N90° 00' 00"E	13.00'	N: 1502877.292 E: 1505647.163	N: 1502877.292 E: 1505660.163
L: 33	N90° 00' 00"E	15.00'	N: 1502791.292 E: 1505645.163	N: 1502791.292 E: 1505660.163
L: 34	N0° 00' 00"E	19.69'	N: 1502768.604 E: 1505642.163	N: 1502788.292 E: 1505642.163
L: 35	N90° 00' 00"W	27.83'	N: 1502760.604 E: 1505677.989	N: 1502760.604 E: 1505650.163
L: 36	N0° 00' 00"E	2.00'	N: 1502760.604 E: 1505677.989	N: 1502762.604 E: 1505677.989
L: 37	N90° 00' 00"E	7.93'	N: 1502762.604 E: 1505677.989	N: 1502762.604 E: 1505685.923
L: 39	N46° 44' 17"E	27.88'	N: 1502767.088 E: 1505697.231	N: 1502786.194 E: 1505717.533
L: 40	S43° 15' 43"E	2.00'	N: 1502786.194 E: 1505717.533	N: 1502784.738 E: 1505718.904

- NOTES:
- ALL DIMENSIONS ARE FROM FLOWLINE UNLESS OTHERWISE NOTED.
 - REFER TO SHEET C-5.0 - C-5.2 FOR CIVIL DETAILS.
 - DIMENSIONS FROM BUILDING ARE FROM FACE OF BRICK.

- LEGEND:
- PROPERTY LINE
 - PAVEMENT MARKINGS
 - GREASE TRAP
 - PROPOSED LIGHT POLE
 - POINT OF TANGENCY
 - POINT OF CURVATURE
 - FLOW LINE



5200 Buffington Rd.
Atlanta, Georgia
30349-2998

Revisions:

Mark	Date	By
△		

Mark Date By

△

Mark Date By

△

Seal



5970 GREENWOOD PLAZA BLVD
GREENWOOD VILLAGE, CO 80111
303-751-0741

STORE
CHICK-FIL-A
FSU #04107
COORS BLVD.

COORS BLVD NW
& ST. JOSEPHS DR NW
ALBUQUERQUE, NM
87120

SHEET TITLE
HORIZONTAL
CONTROL PLAN

DWG EDITION

Job No. : 65119594
Store : 04107
Date : 10/16/18
Drawn By : LV
Checked By: KW

Sheet
C2.1



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 3/2018)

Project Title: Chick-fil-A @ Coors Pavilion Building Permit #: _____ Hydrology File #: _____

DRB#: _____ EPC#: _____ Work Order#: _____

Legal Description: Coors Pavilion, Lot 6

City Address: Coors Blvd. NW & St. Josephs Dr. NW Albuquerque, NM 87120

Applicant: 4G Development & Consulting, Inc. Contact: Nathan Lodico

Address: PO Box 270571 San Diego, CA 92198

Phone#: 805-302-4823 Fax#: 866-311-3658 E-mail: nlodico@4gdev.com

Other Contact: 4G Development & Consulting, Inc. Contact: Robert Lombardi

Address: PO Box 270571 San Diego, CA 92198

Phone#: 858-231-0071 Fax#: 866-311-3658 E-mail: rlombardi@4gdev.com

Check all that Apply:

IS THIS A RESUBMITTAL?: Yes X No

DEPARTMENT:

 HYDROLOGY/ DRAINAGE
 X TRAFFIC/ TRANSPORTATION

TYPE OF SUBMITTAL:

 ENGINEER/ARCHITECT CERTIFICATION
 PAD CERTIFICATION
 CONCEPTUAL G & D PLAN
 GRADING PLAN
 DRAINAGE MASTER PLAN
 DRAINAGE REPORT
 FLOODPLAIN DEVELOPMENT PERMIT APPLIC
 ELEVATION CERTIFICATE
 CLOMR/LOMR

 X TRAFFIC CIRCULATION LAYOUT (TCL)
 TRAFFIC IMPACT STUDY (TIS)

 OTHER (SPECIFY) _____
 PRE-DESIGN MEETING?

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

 X BUILDING PERMIT APPROVAL
 CERTIFICATE OF OCCUPANCY
 PRELIMINARY PLAT APPROVAL
 SITE PLAN FOR SUB'D APPROVAL
 SITE PLAN FOR BLDG. PERMIT APPROVAL
 FINAL PLAT APPROVAL

 SIA/ RELEASE OF FINANCIAL GUARANTEE
 FOUNDATION PERMIT APPROVAL
 GRADING PERMIT APPROVAL
 SO-19 APPROVAL
 PAVING PERMIT APPROVAL
 GRADING/ PAD CERTIFICATION
 WORK ORDER APPROVAL
 CLOMR/LOMR
 FLOODPLAIN DEVELOPMENT PERMIT
 OTHER (SPECIFY) _____

DATE SUBMITTED: 11/17/2018 By: Nathan Lodico

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: _____

FEE PAID: _____