

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

November 16, 2023

David Soule, P.E.
Rio Grande Engineering
P.O. Box 93924
Albuquerque, NM 87199

RE: 2623 Candelaria Rd. NW
Permanent C.O. – Accepted
Engineer's Certification Date: 11/16/23
Engineer's Stamp Date: 10/12/21
Hydrology File: G12D039

Dear Mr. Soule:

PO Box 1293 Based on the Certification received 11/08/2023 and site visit on 11/14/2023, this letter serves as a “green tag” from Hydrology Section for a Permanent Certificate of Occupancy to be issued by the Building and Safety Division.

Albuquerque If you have any questions, please contact me at 924-3995 or rbrissette@cabq.gov.

NM 87103 Sincerely,

Renée C. Brissette

www.cabq.gov Renée C. Brissette, P.E. CFM
Senior Engineer, Hydrology
Planning Department



City of Albuquerque

Planning Department
Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 6/2018)

Project Title: BACA-ALDERETE RESIDENCE **Building Permit #:** BP-2020-48233 **Hydrology File #:** G12D039
DRB#: _____ **EPC#:** _____ **Work Order#:** _____
Legal Description: LOT 83-A, ALVARADO GARDENS ADDN, UNIT 3, ABQ, BERNCO, NM
City Address: 2623 CANDELARIA RD. NW, ALBUQUERQUE, NM 87107

Applicant: BLUEHER ABODES, LTD. **Contact:** JOHN BLUEHER
Address: 4009 ASPEN AVE. NE, ALBUQUERQUE, NM 87110
Phone#: (505) 270-2450 **Fax#:** _____ **E-mail:** BLUEHERCJ@GMAIL.COM

Other Contact: JUDSON CERVENAK ARCHITECTS **Contact:** JUD CERVENAK
Address: PO BOX 40509, ALBUQUERQUE, NM 87196
Phone#: (505) 983-3400 **Fax#:** _____ **E-mail:** JUD@JWCERVENAK.COM

TYPE OF DEVELOPMENT: _____ PLAT (# of lots) X RESIDENCE _____ DRB SITE _____ ADMIN SITE

IS THIS A RESUBMITTAL? _____ Yes X No

DEPARTMENT _____ TRANSPORTATION X HYDROLOGY/DRAINAGE

Check all that Apply:

TYPE OF SUBMITTAL:

- _____ ENGINEER/ARCHITECT CERTIFICATION
- _____ PAD CERTIFICATION
- _____ CONCEPTUAL G & D PLAN
- X GRADING PLAN
- _____ DRAINAGE REPORT
- _____ DRAINAGE MASTER PLAN
- _____ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
- _____ ELEVATION CERTIFICATE
- _____ CLOMR/LOMR
- _____ TRAFFIC CIRCULATION LAYOUT (TCL)
- _____ TRAFFIC IMPACT STUDY (TIS)
- _____ STREET LIGHT LAYOUT
- _____ OTHER (SPECIFY) _____
- _____ PRE-DESIGN MEETING?

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- _____ BUILDING PERMIT APPROVAL
- X CERTIFICATE OF OCCUPANCY
- _____ PRELIMINARY PLAT APPROVAL
- _____ SITE PLAN FOR SUB'D APPROVAL
- _____ SITE PLAN FOR BLDG. PERMIT APPROVAL
- _____ FINAL PLAT APPROVAL
- _____ SIA/ RELEASE OF FINANCIAL GUARANTEE
- _____ FOUNDATION PERMIT APPROVAL
- _____ GRADING PERMIT APPROVAL
- _____ SO-19 APPROVAL
- _____ PAVING PERMIT APPROVAL
- _____ GRADING/ PAD CERTIFICATION
- _____ WORK ORDER APPROVAL
- _____ CLOMR/LOMR
- _____ FLOODPLAIN DEVELOPMENT PERMIT
- _____ OTHER (SPECIFY) _____

DATE SUBMITTED: 11/8/23 **By:** JUDSON CERVENAK, AIA

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: _____

FEE PAID: _____

Weighted E Method

Basin	Area (sf)	Area (acres)	100-Year, 6-hr								10-day			
			Treatment A (%)	Treatment B (%)	Treatment C (%)	Treatment D (%)	Weighted E (ac-ft)	Volume (ac-ft)	Flow (cfs)	Volume (ac-ft)				
EXISTING	25977.00	0.596	75%	0.4473	20%	0.119	5%	0.0298	0%	0.000	0.610	0.030	1.06	0.030
PROPOSED	25977.00	0.596	0%	0	37%	0.221	40%	0.2385	23%	0.137	1.228	0.061	1.90	0.079
COMPARISON	0.00	0.00	-75%	0.447	17%	0.101	35%	0.209	23%	0.137	0.618	0.031	0.933	0.049

Weighted E = Ea**Aa* + Eb**Ab* + Ec**Ac* + Ed**Ad* / (Total Area)
First flush requirement (Redevelopment=mpx.20/12--New development=mpx.34/12
REQUIRED 129.45 PROVIDED 2084 cubic feet

Flow = Qa * *Aa* + Qb * *Ab* + Qc * *Ac* + Qd * *Ad*

Where for 100-year, 6-hour storm:
Ea= 0.53
Eb= 0.78
Ec= 1.13
Ed= 2.12
Qa= 1.56
Qb= 2.28
Qc= 3.14
Qd= 4.7

Developed Conditions

FLOOD CONTROL INCREASE TOTAL	10-DAY 2135 CF 3455 CF	6-HOUR 1338 CF 2659	PROVIDED 3817
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NARRATIVE
THIS PROJECT CONSISTS OF THE CONSTRUCTION OF A MAIN HOUSE, CASITA AND FREE STANDING GARAGE. THE DRIVEWAY SHALL BE GRAVEL
SITE IS LOCATED IN THE VALLEY DRAINAGE AREA.THE SITE IS ALLOWED TO RETAIN ONSITE THE 100-YEAR, 6- HOUR VOLUME. THIS SITE SHALL
RETAINS THE 100 YEAR, 10 HOUR VOLUME
THE YARD WILL OVERFLOW TO CANDELARIA STREET IN AN EMERGENCY SITUATION

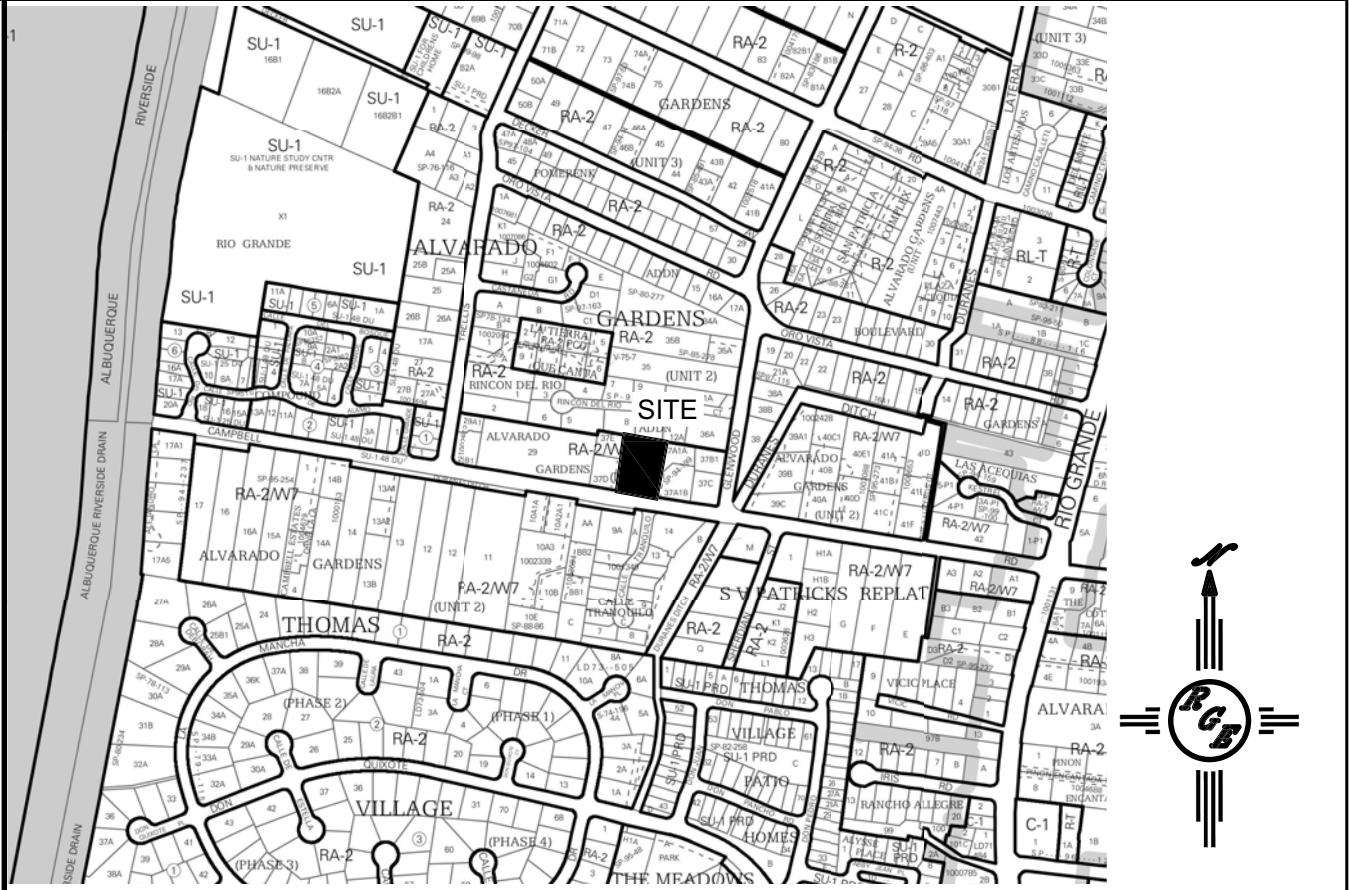
I David Soule, NMPE 14522, of the firm Rio Grande Engineering, hereby certify that this project has been graded and will drain in substantial compliance with and in accordance with the design intend of the approved plan dated 10/12/21 The certification is submitted in support of a request for CERTIFICATE OR OCCUPANCY. The record information presented heron is not necessarily complete and intended only to verify substantial compliance of the grading and drainage aspects of this project.



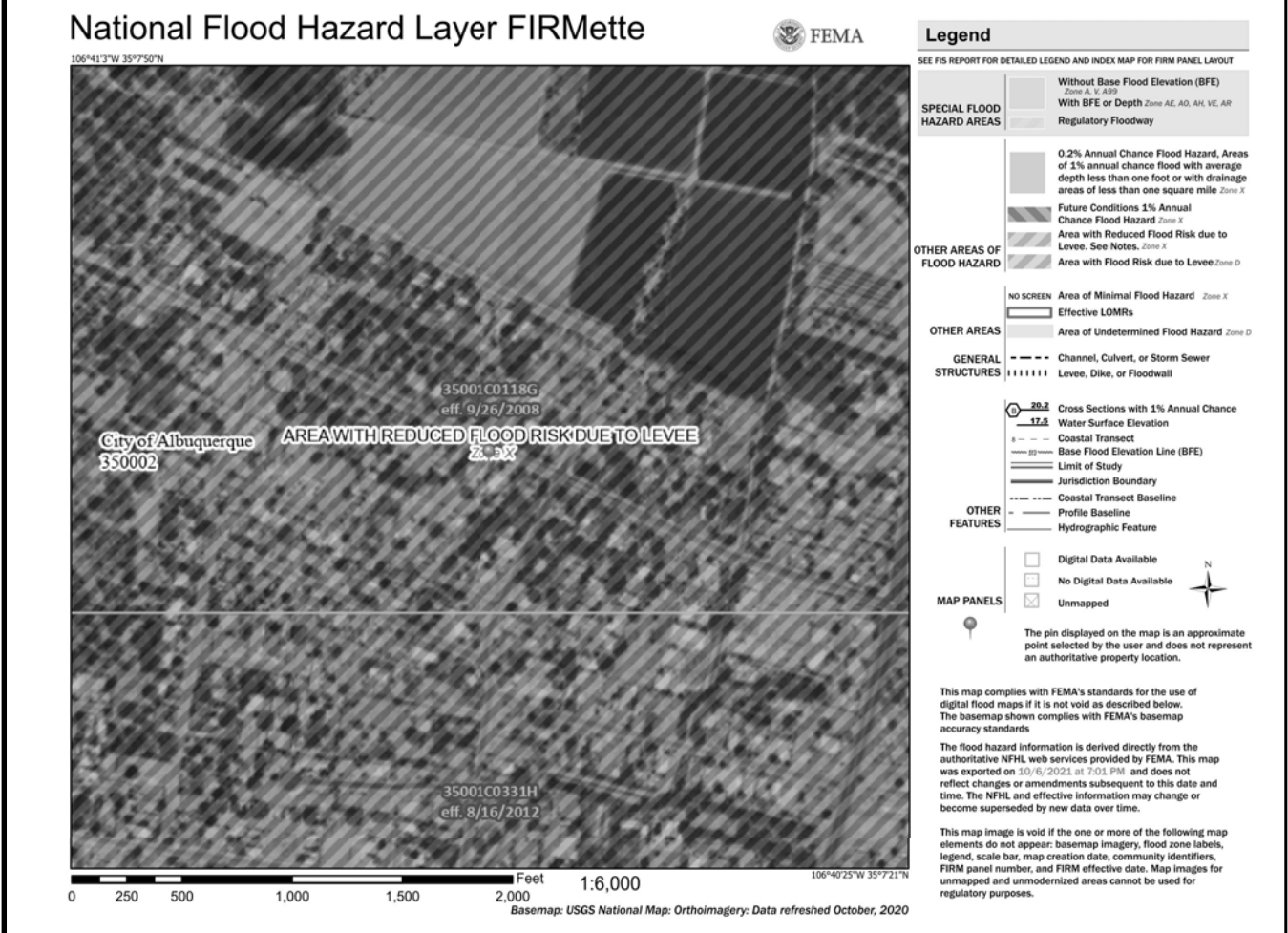
11/16/23

EROSION CONTROL NOTES:

- CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
- CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
- CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
- REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
- ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL ACCEPTANCE OF ANY PROJECT.



VICINITY MAP: G-12-Z



FIRM MAP:

LEGAL DESCRIPTION:

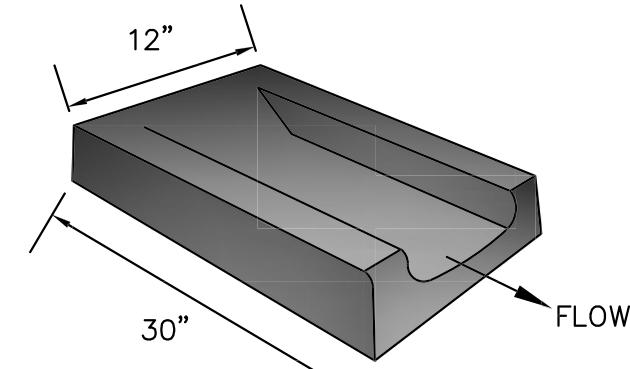
LOT 83-A ALVARADO GARDENS UNIT 3
CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO

NOTES:

- ALL SPOT ELEVATIONS REPRESENT FLOWLINE ELEVATION UNLESS OTHERWISE NOTED.
- ALL SLOPES SHALL BE 3:1 MAX. AND GRAVEL OR NATIVE SEEDING PRIOR TO CO.
- ANY PERIMETER WALLS MUST BE PERMITTED SEPARATELY ALL RETAINING WALL DESIGN SHALL BE BY OTHERS.
- SURVEY INFORMATION PROVIDED BY COMMUNITY SCIENCES CORPORATION USING NAVD DATUM 1988.
- A PAD ELEVATION CERTIFICATION SHALL BE REQUIRED PRIOR TO RELEASE OF BUILDING PERMIT.

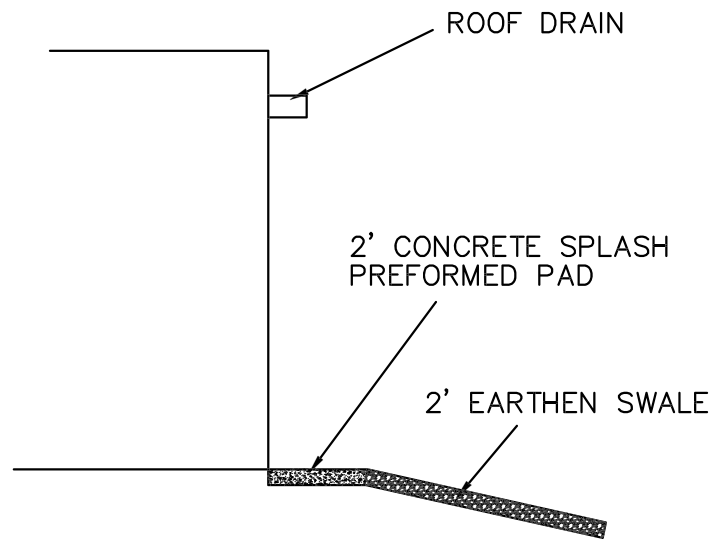
LEGEND

-----XXXX-----	EXISTING CONTOUR
-----XXXX-----	EXISTING INDEX CONTOUR
-----XXXX-----	PROPOSED CONTOUR
-----XXXX-----	PROPOSED INDEX CONTOUR
x XXXX	EXISTING SPOT ELEVATION
● XXXX	PROPOSED SPOT ELEVATION
-----	BOUNDARY
-----	ADJACENT BOUNDARY
=====	EXISTING CURB AND GUTTER
-----	PROPOSED EARTHEN SWALE
-----	PROPOSED CRUSHER FINES
-----	PROPOSED PONDING
-----	PROPOSED ROOF DRAIN



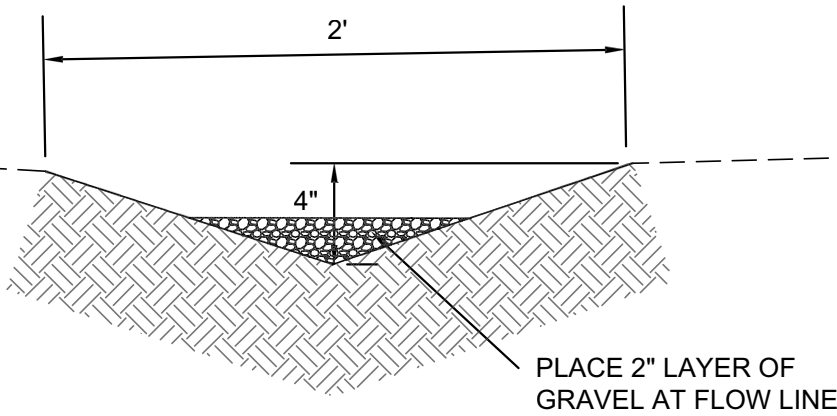
SPLASH DETAIL

ALTERANTE: PROVIDE DOWNSPOUT EXTENSION COORDINATE WITH OWNER.

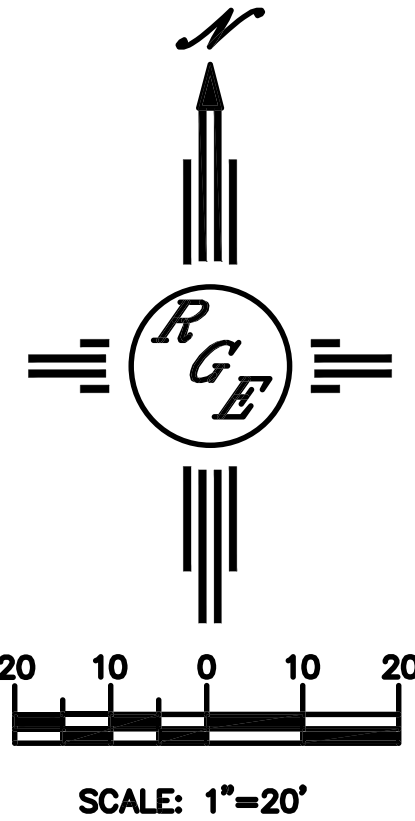
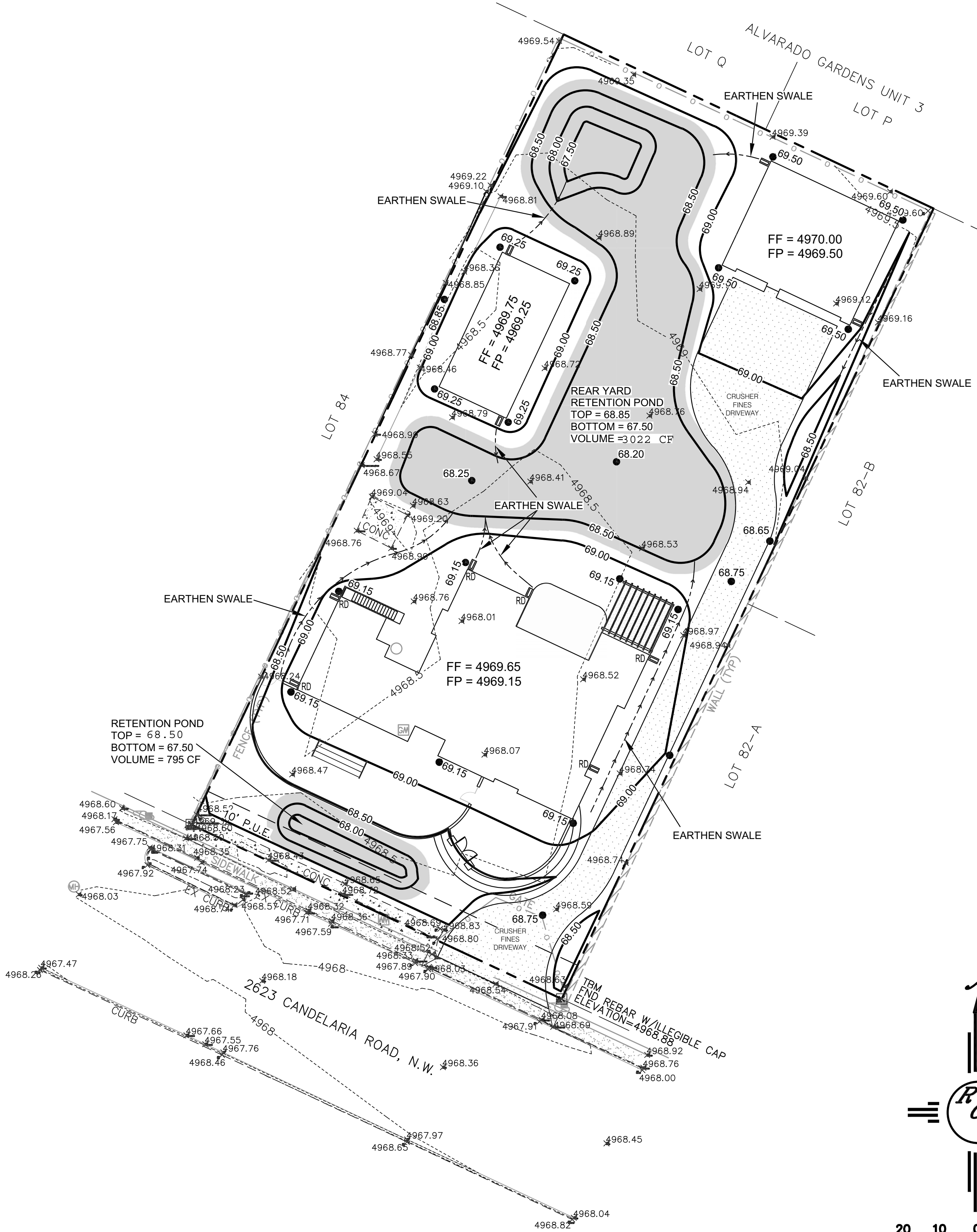


ROOF DRAIN SPLASH PAD DETAIL

CONSTRUCT ALL SWALES AND EROSION PROTECTION (SHOWN HATCHED) BELOW ADJACENT GRADE TO ENSURE RUNOFF CAN BE CAPTURED AND CONVEYED PROPERLY.



EARTHEN SWALE



CAUTION:

EXISTING UTILITIES ARE NOT SHOWN.
IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO ANY EXCAVATION TO DETERMINE THE ACTUAL LOCATION OF UTILITIES & OTHER IMPROVEMENTS.

ENGINEER'S SEAL	LOT 83-A ALVARADO GARDENS UN 3 2623 CANDELARIA RD, N.W.	DRAWN BY DEM
DAVID SOULE P.E. #14522	GRADING AND DRAINAGE PLAN	DATE 10-7-21
	Rio Grande Engineering	LOT 83-A UN 3 ALVARADO GARDENS DIV
		SHEET # C1
		JOB #