

# CITY OF ALBUQUERQUE

Planning Department  
Alan Varela, Director



Mayor Timothy M. Keller

May 5, 2023

David Soule, P.E.  
Rio Grande Engineering  
P.O. Box 93924  
Albuquerque, NM 87199

**RE: 2706 Campbell Rd. NW  
Grading and Drainage Plan  
Engineer's Stamp Date: 04/28/23  
Hydrology File: G12D041**

Dear Mr. Soule:

Based upon the information provided in your submittal received 04/28/2023, the Grading & Drainage Plan is approved for Grading Permit (earthwork can get started for the earth pad on the house and retaining walls).

**PRIOR TO BUILDING PERMIT:**

1. Once the grading is complete, a pad certification (meaning that the earthwork and retaining walls are complete) will be required. Please include a site photo with the submittal. Also, at the time of pad certification approval, Hydrology will concurrently approve the Grading & Drainage Plan for Building Permit.

If you have any questions, please contact me at 924-3995 or [rbrissette@cabq.gov](mailto:rbrissette@cabq.gov).

Sincerely,

Renée C. Brissette, P.E. CFM  
Senior Engineer, Hydrology  
Planning Department





# City of Albuquerque

Planning Department  
Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 6/2018)

**Project Title:** 2706 CAMPBELL **Building Permit #:** \_\_\_\_\_ **Hydrology File #:** \_\_\_\_\_  
**DRB#:** \_\_\_\_\_ **EPC#:** \_\_\_\_\_ **Work Order#:** \_\_\_\_\_  
**Legal Description:** LOT 10A1A ALVARADO GARDENS  
**City Address:** 2706 CAMPBELL

**Applicant:** \_\_\_\_\_ **Contact:** \_\_\_\_\_  
**Address:** \_\_\_\_\_  
**Phone#:** \_\_\_\_\_ **Fax#:** \_\_\_\_\_ **E-mail:** \_\_\_\_\_

**Other Contact:** RIO GRANDE ENGINEERING **Contact:** DAVID SOULE  
**Address:** PO BOX 93924 ALB NM 87199  
**Phone#:** 505.321.9099 **Fax#:** 505.872.0999 **E-mail:** david@riograndeengineering.com

**TYPE OF DEVELOPMENT:** \_\_\_\_\_ PLAT ☒ RESIDENCE \_\_\_\_\_ DRB SITE \_\_\_\_\_ ADMIN SITE

Check all that Apply:

**DEPARTMENT:**  
☒ HYDROLOGY/ DRAINAGE  
\_\_\_\_\_ TRAFFIC/ TRANSPORTATION

**TYPE OF SUBMITTAL:**  
\_\_\_\_\_ ENGINEER/ARCHITECT CERTIFICATION  
\_\_\_\_\_ PAD CERTIFICATION  
\_\_\_\_\_ CONCEPTUAL G & D PLAN  
☒ GRADING PLAN  
\_\_\_\_\_ DRAINAGE REPORT  
\_\_\_\_\_ DRAINAGE MASTER PLAN  
\_\_\_\_\_ FLOODPLAIN DEVELOPMENT PERMIT APPLIC  
\_\_\_\_\_ ELEVATION CERTIFICATE  
\_\_\_\_\_ CLOMR/LOMR  
\_\_\_\_\_ TRAFFIC CIRCULATION LAYOUT (TCL)  
\_\_\_\_\_ TRAFFIC IMPACT STUDY (TIS)  
\_\_\_\_\_ STREET LIGHT LAYOUT  
\_\_\_\_\_ OTHER (SPECIFY) \_\_\_\_\_  
\_\_\_\_\_ PRE-DESIGN MEETING?

IS THIS A RESUBMITTAL?: \_\_\_\_\_ Yes ☒ No

**TYPE OF APPROVAL/ACCEPTANCE SOUGHT:**  
☒ BUILDING PERMIT APPROVAL  
\_\_\_\_\_ CERTIFICATE OF OCCUPANCY  
\_\_\_\_\_ PRELIMINARY PLAT APPROVAL  
\_\_\_\_\_ SITE PLAN FOR SUB'D APPROVAL  
\_\_\_\_\_ SITE PLAN FOR BLDG. PERMIT APPROVAL  
\_\_\_\_\_ FINAL PLAT APPROVAL  
\_\_\_\_\_ SIA/ RELEASE OF FINANCIAL GUARANTEE  
\_\_\_\_\_ FOUNDATION PERMIT APPROVAL  
\_\_\_\_\_ GRADING PERMIT APPROVAL  
\_\_\_\_\_ SO-19 APPROVAL  
\_\_\_\_\_ PAVING PERMIT APPROVAL  
\_\_\_\_\_ GRADING/ PAD CERTIFICATION  
\_\_\_\_\_ WORK ORDER APPROVAL  
\_\_\_\_\_ CLOMR/LOMR  
\_\_\_\_\_ FLOODPLAIN DEVELOPMENT PERMIT  
\_\_\_\_\_ OTHER (SPECIFY) \_\_\_\_\_

**DATE SUBMITTED:** \_\_\_\_\_ **By:** \_\_\_\_\_

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: \_\_\_\_\_

FEE PAID: \_\_\_\_\_



Weighted E Method												
Basin	Area (sq-ft)	Area (acres)	100-Year, 6-hr				10-DAY				Flow cfs	Volume (ac-ft)
			Treatment A (%)	Treatment B (acres)	Treatment C (%)	Treatment D (acres)	Treatment A (%)	Treatment B (acres)	Treatment C (%)	Treatment D (acres)		
HISTORICAL	13510.00	0.310	100%	0.310	0%	0.000	0%	0.000	0%	0.000	0.620	0.016
PROPOSED	13510.00	0.310	0%	0	26%	0.081	26%	0.081	38%	0.118	1.361	0.035

Equations:

Weighted E = Ea\**A*a + Eb\**A*b + Ec\**A*c + Ed\**A*d / (Total Area)

Volume = Weighted D \* Total Area

Flow = Qa \* *A*a + Qb \* *A*b + Qc \* *A*c + Qd \* *A*d

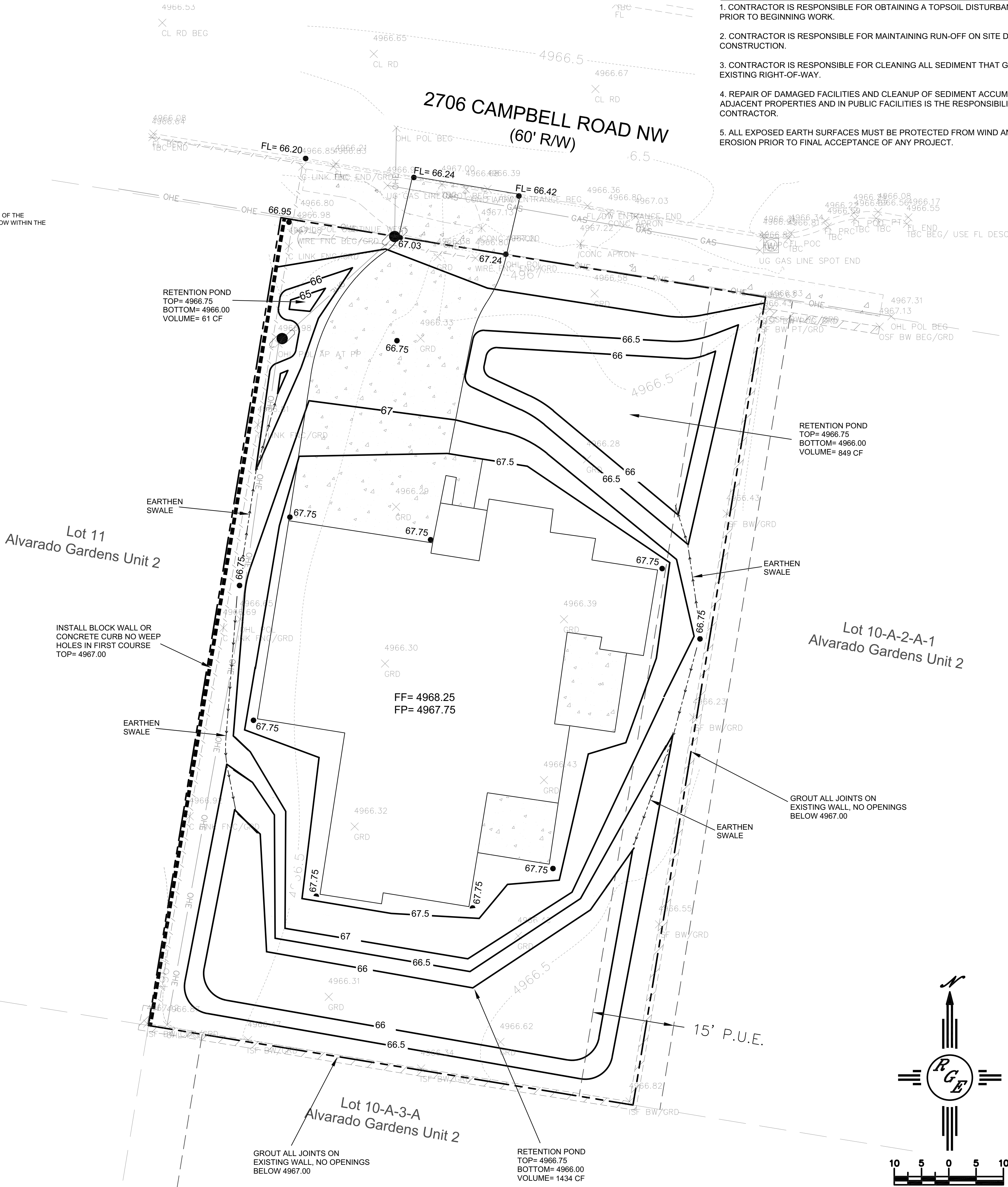
Where for 100-year, 6-hour storm (zone2)

Ea= 0.62	Qa= 1.71
Eb= 0.8	Qb= 2.36
Ec= 1.03	Qc= 3.05
Ed= 2.33	Qd= 4.34

Developed Conditions			
FLAT GRADING SCHEME			
EXISTING	PEAK FLOW	TOTAL FLOW	
PROPOSED	0.53 CFS	698 CF	
PROVIDED	0.85 CFS	2101 CF	
	0.00 CFS	2244 CF	

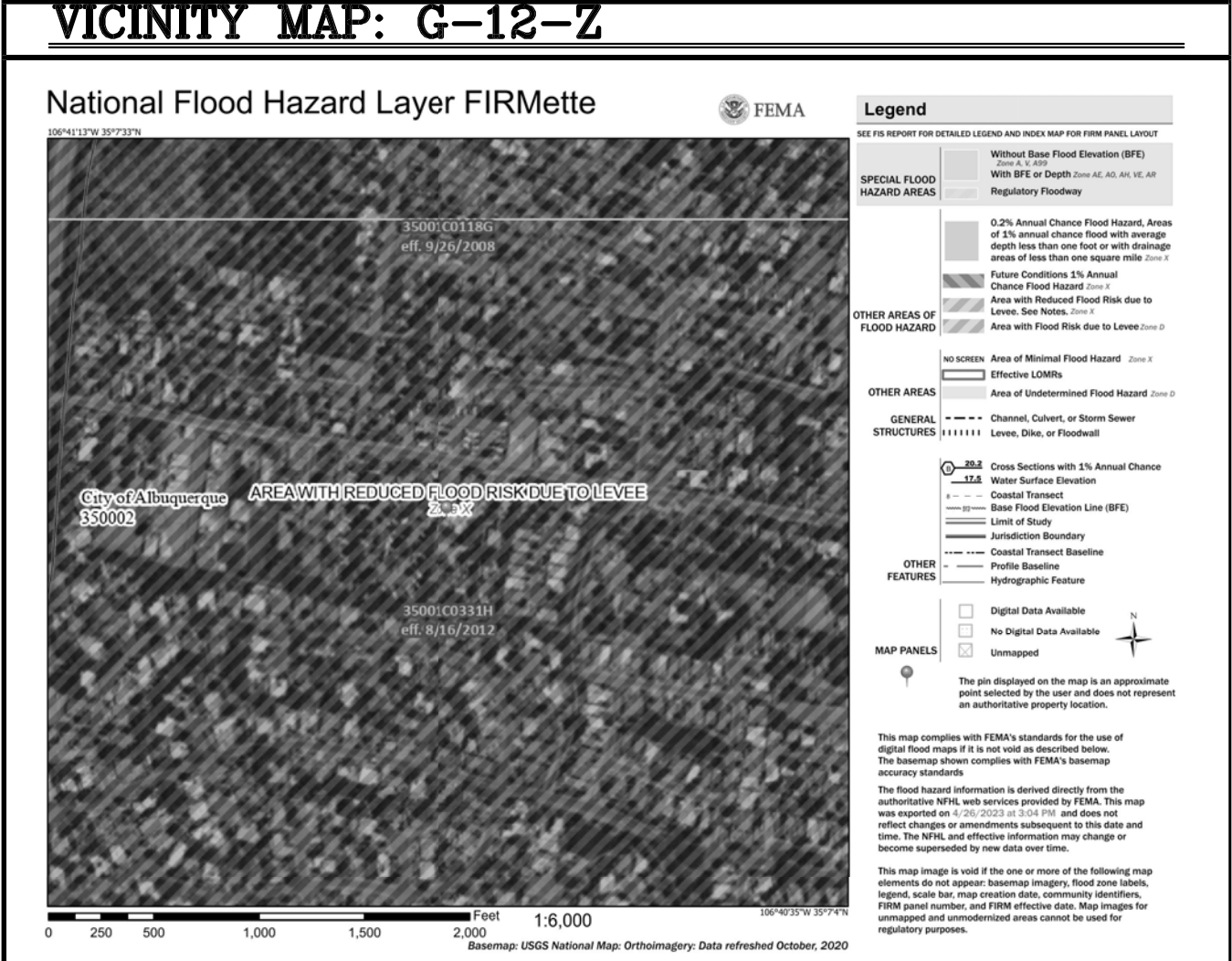
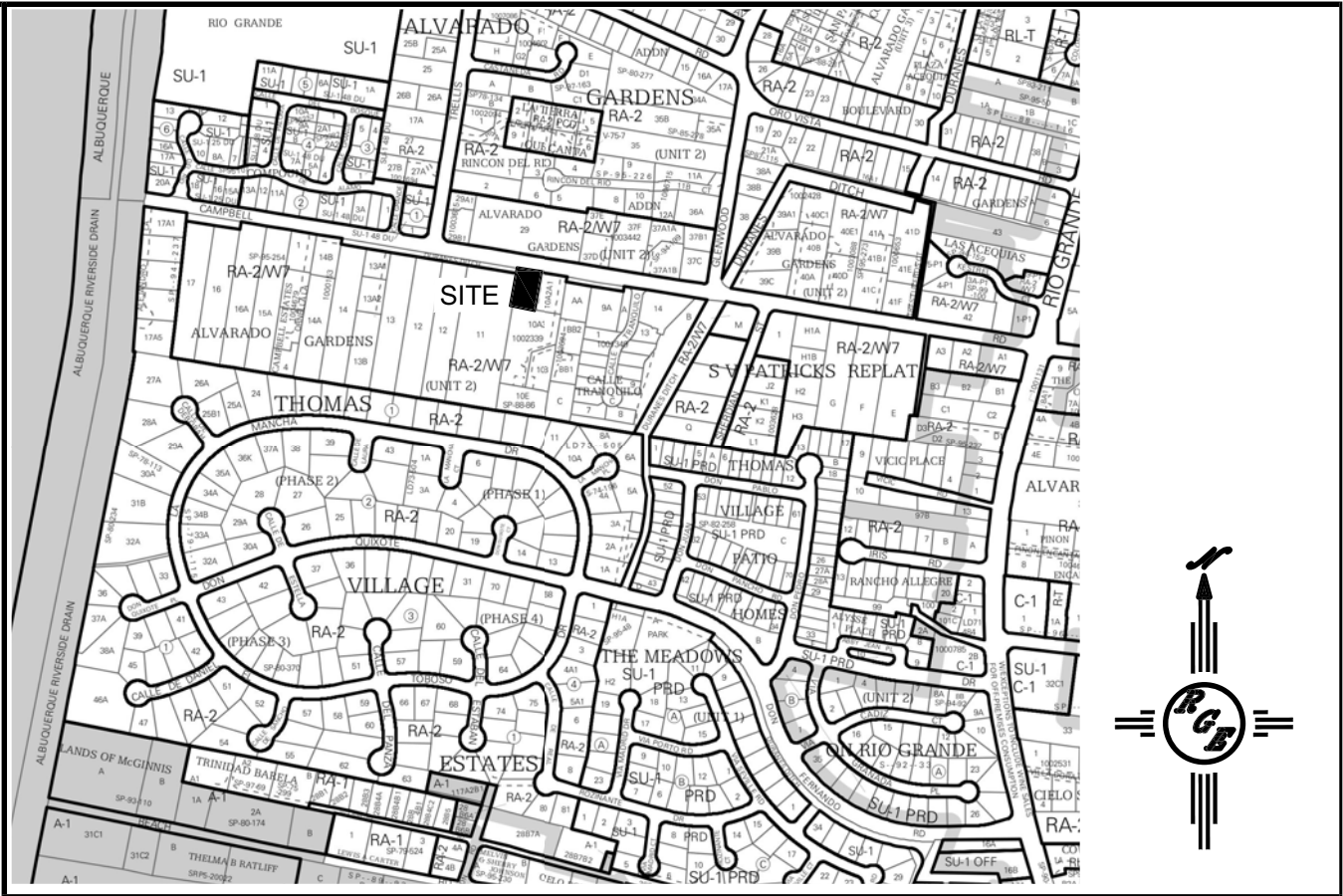
DRAINAGE NARRATIVE

THIS SITE IS AN IN FILL DEVELOPMENT. THE SITE IS GOVERNED BY THE VALLEY GRADING CRITERIA. THE DRAINAGE SOLUTION REQUIRES RETENTION OF THE 100-YEAR, 10-DAY VOLUME. THE PROPOSED DEVELOPMENT PLACED PADS 18" ABOVE THE FLOWLINE AT THE STREET. THE SITE WILL RETAIN THE FLOW WITHIN THE DEPRESSED YARD. THE PAD IS 1' ABOVE THE TOP OF PONDS.THE EMERGENCY OVERFLOW IS TO THE CAMPBELL RIGHT OF WAY TO THE NORTH.



### EROSION CONTROL NOTES:

1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
3. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
4. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL ACCEPTANCE OF ANY PROJECT.



### FIRM MAP:

### LEGAL DESCRIPTION:

LOT 10-A-1A ALVARDO GARDENS UN 2  
CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO

### NOTES:

1. ALL SPOT ELEVATIONS REPRESENT FLOWLINE ELEVATION UNLESS OTHERWISE NOTED.
2. ALL SLOPES SHALL BE 3:1 MAX. AND GRAVEL OR NATIVE SEEDING PRIOR TO CO.
3. ANY PERIMETER WALLS MUST BE PERMITTED SEPARATELY ALL RETAINING WALL DESIGN SHALL BE BY OTHERS.
4. SURVEY INFORMATION PROVIDED BY COMMUNITY SCIENCES CORPORATION USING NAVD DATUM 1988.
5. A PAD ELEVATION CERTIFICATION SHALL BE REQUIRED PRIOR TO RELEASE OF BUILDING PERMIT.

### LEGEND

-----XXXX-----	EXISTING CONTOUR
-----XXXX-----	EXISTING INDEX CONTOUR
-----XXXX-----	PROPOSED CONTOUR
-----XXXX-----	PROPOSED INDEX CONTOUR
•XXXX	EXISTING SPOT ELEVATION
•XXXX	PROPOSED SPOT ELEVATION
-----	BOUNDARY
-----	ADJACENT BOUNDARY
=====	EXISTING CURB AND GUTTER
-----<-----	PROPOSED EARTHEN SWALE
-----<-----	PROPOSED RETAINING WALL
-----<-----	PROPOSED CONCRETE

ENGINEER'S SEAL 	Lot 10-A-1A Alvarado Gardens Un 2 2706 CAMPBELL ROAD NW	DRAWN BY DEM
	GRADING AND DRAINAGE PLAN	DATE 4-28-23
 RIO GRANDE Engineering P.O. BOX 53924 ALBUQUERQUE, NM 87199 (505) 321-9099	SHEET # <b>C1</b>	JOB #