

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

October 5, 2023

David Soule, P.E.
Rio Grande Engineering
P.O. Box 93924
Albuquerque, NM 87199

RE: 2706 Campbell Rd. NW
Engineer's Certification Date: 09/24/23
Engineer's Stamp Date: 04/28/23
Hydrology File: G12D041

Dear Mr. Soule:

Based upon the information provided in your submittal received 09/26/2023, the Grading and Drainage Plan is approved for Building Permit and Building Pad Certification for 2706 Campbell Rd. NW. Please attach a copy of this approved plan in the construction sets for Building Permit processing along with a copy of this letter.

PRIOR TO CERTIFICATE OF OCCUPANCY:

1. Engineer's Certification, per the DPM Part 6-14 (G): Engineer's Certification Checklist for Subdivision and Part 6-14 (H): Required Certification Language is required.

If you have any questions, please contact me at 924-3995 or rbrissette@cabq.gov.

Sincerely,

Renée C. Brissette

Renée C. Brissette, P.E. CFM
Senior Engineer, Hydrology
Planning Department



City of Albuquerque

Planning Department
Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 6/2018)

Project Title: 2706 CAMPBELL **Building Permit #:** _____ **Hydrology File #:** _____
DRB#: _____ **EPC#:** _____ **Work Order#:** _____
Legal Description: LOT 10A1A ALVARADO GARDENS
City Address: 2706 CAMPBELL

Applicant: _____ **Contact:** _____
Address: _____
Phone#: _____ **Fax#:** _____ **E-mail:** _____

Other Contact: RIO GRANDE ENGINEERING **Contact:** DAVID SOULE
Address: PO BOX 93924 ALB NM 87199
Phone#: 505.321.9099 **Fax#:** 505.872.0999 **E-mail:** david@riograndeengineering.com

TYPE OF DEVELOPMENT: _____ PLAT ☒ RESIDENCE _____ DRB SITE _____ ADMIN SITE

Check all that Apply:

DEPARTMENT:
☒ HYDROLOGY/ DRAINAGE
_____ TRAFFIC/ TRANSPORTATION

TYPE OF SUBMITTAL:
_____ ENGINEER/ARCHITECT CERTIFICATION
☒ PAD CERTIFICATION
_____ CONCEPTUAL G & D PLAN
_____ GRADING PLAN
_____ DRAINAGE REPORT
_____ DRAINAGE MASTER PLAN
_____ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
_____ ELEVATION CERTIFICATE
_____ CLOMR/LOMR
_____ TRAFFIC CIRCULATION LAYOUT (TCL)
_____ TRAFFIC IMPACT STUDY (TIS)
_____ STREET LIGHT LAYOUT
_____ OTHER (SPECIFY) _____
_____ PRE-DESIGN MEETING?

IS THIS A RESUBMITTAL?: _____ Yes ☒ No

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:
☒ BUILDING PERMIT APPROVAL
_____ CERTIFICATE OF OCCUPANCY
_____ PRELIMINARY PLAT APPROVAL
_____ SITE PLAN FOR SUB'D APPROVAL
_____ SITE PLAN FOR BLDG. PERMIT APPROVAL
_____ FINAL PLAT APPROVAL
_____ SIA/ RELEASE OF FINANCIAL GUARANTEE
_____ FOUNDATION PERMIT APPROVAL
_____ GRADING PERMIT APPROVAL
_____ SO-19 APPROVAL
_____ PAVING PERMIT APPROVAL
_____ GRADING/ PAD CERTIFICATION
_____ WORK ORDER APPROVAL
_____ CLOMR/LOMR
_____ FLOODPLAIN DEVELOPMENT PERMIT
_____ OTHER (SPECIFY) _____

DATE SUBMITTED: _____ **By:** _____

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: _____

FEE PAID: _____

Weighted E Method												
Basin	Area (sq ft)	Area (acres)	Treatment A % (acres)	Treatment B % (acres)	Treatment C % (acres)	Treatment D % (acres)	Weighted E (ac-ft)	Volume (ac-ft)	Flow (cfs)	Volume (ac-ft)	Flow (cfs)	Volume (ac-ft)
HISTORICAL	13510.00	0.310	100%	0.310	0%	0.000	0.000	0%	0.000	0.000	0.53	0.016
PROPOSED	13510.00	0.310	0%	0	26%	0.081	26%	0.081	38%	0.118	1.361	0.035
Equations:												
Weighted E = Ea* <i>Aa</i> + Eb* <i>Ab</i> + Ec* <i>Ac</i> + Ed* <i>Ad</i> / (Total Area)												
Volume = Weighted D * Total Area												
Flow = Qa * <i>Aa</i> + Qb * <i>Ab</i> + Qc * <i>Ac</i> + Qd * <i>Ad</i>												
Where for 100-year, 6-hour storm (zone2)												
Ea= 0.82 Qa= 1.71												
Eb= 0.8 Qb= 2.36												
Ec= 1.03 Qc= 3.05												
Ed= 2.33 Qd= 4.34												
Developed Conditions												
FLAT GRADING SCHEME												
EXISTING												
PROPOSED												
PROVIDED												
PEAK FLOW												
0.53 CFS												
TOTAL FLOW												
698 CF												
2101 CF												
2244 CF												

DRAINAGE NARRATIVE

THIS SITE IS AN IN FILL DEVELOPMENT. THE SITE IS GOVERNED BY THE VALLEY GRADING CRITERIA. THE DRAINAGE SOLUTION REQUIRES RETENTION OF THE 100-YEAR, 10-DAY VOLUME. THE PROPOSED DEVELOPMENT PLACED PADS 18" ABOVE THE FLOWLINE AT THE STREET. THE SITE WILL RETAIN THE FLOW WITHIN THE DEPRESSED YARD. THE PAD IS 1' ABOVE THE TOP OF PONDS.THE EMERGENCY OVERFLOW IS TO THE CAMPBELL RIGHT OF WAY TO THE NORTH.

I, DAVID SOULE HAVE PERSONALLY INPECTED THE SITE. I HEREBY CERTIFY THE PAD HAS BEEN CONSTRUCTED SUCH THAT IT IS IN SUBSTANTIAL CONFORMANCE TO THE APPROVED GRADING PLAN DATED 4/28/23

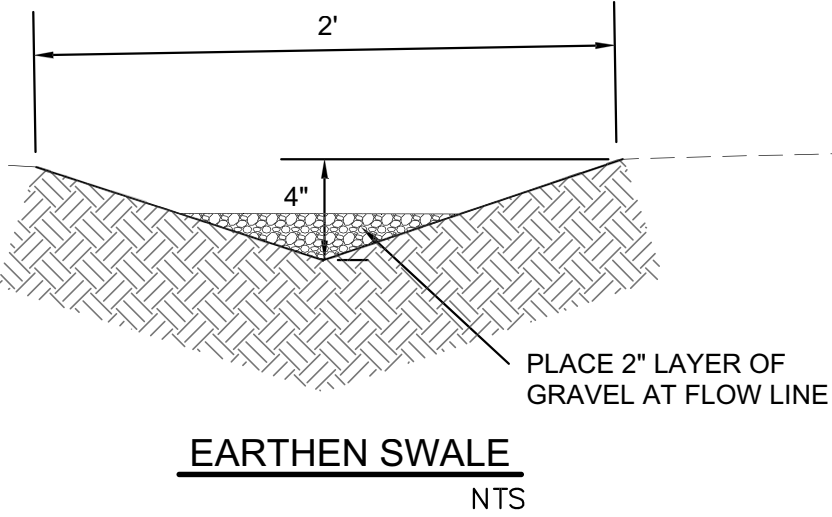


City of Albuquerque
Planning Department
Development Review Services
HYDROLOGY SECTION
APPROVED
DATE: 10/05/23
BY: *Renee Brissett*
HydroTrans #: G12D041

THE APPROVAL OF THESE PLANS BY THE CITY OF ALBUQUERQUE DOES NOT CONSTITUTE A GUARANTEE OF THE ACCURACY OR COMPLETENESS OF THE INFORMATION PROVIDED HEREON. THE CITY OF ALBUQUERQUE DOES NOT ASSUME ANY LIABILITY FOR ANY DAMAGE, LOSS, OR INJURY, INCLUDING REASONABLE ATTORNEY'S FEES, ARISING OUT OF OR FROM THE USE OF THESE PLANS. THE CITY OF ALBUQUERQUE DOES NOT ASSUME ANY LIABILITY FOR ANY DAMAGE, LOSS, OR INJURY, INCLUDING REASONABLE ATTORNEY'S FEES, ARISING OUT OF OR FROM THE USE OF THESE PLANS.

APPROVAL OF GRADING & DRAINAGE PLANS SHALL EXPIRE TWO (2) YEARS AFTER THE APPROVAL DATE BY THE CITY IF NO BUILDING PERMIT HAS BEEN PULLED ON THE DEVELOPMENT.

CONSTRUCT ALL SWALES AND EROSION PROTECTION (SHOWN HATCHED) BELOW ADJACENT GRADE TO ENSURE RUNOFF CAN BE CAPTURED AND CONVEYED PROPERLY.



CAUTION:
EXISTING UTILITIES ARE NOT SHOWN. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO ANY EXCAVATION TO DETERMINE THE ACTUAL LOCATION OF UTILITIES & OTHER IMPROVEMENTS.

Lot 11
Alvarado Gardens Unit 2

INSTALL BLOCK WALL OR CONCRETE CURB NO WEEP HOLES IN FIRST COURSE
TOP= 4967.00

FF= 4968.25
FP= 4967.75

Lot 10-A-2-A-1
Alvarado Gardens Unit 2

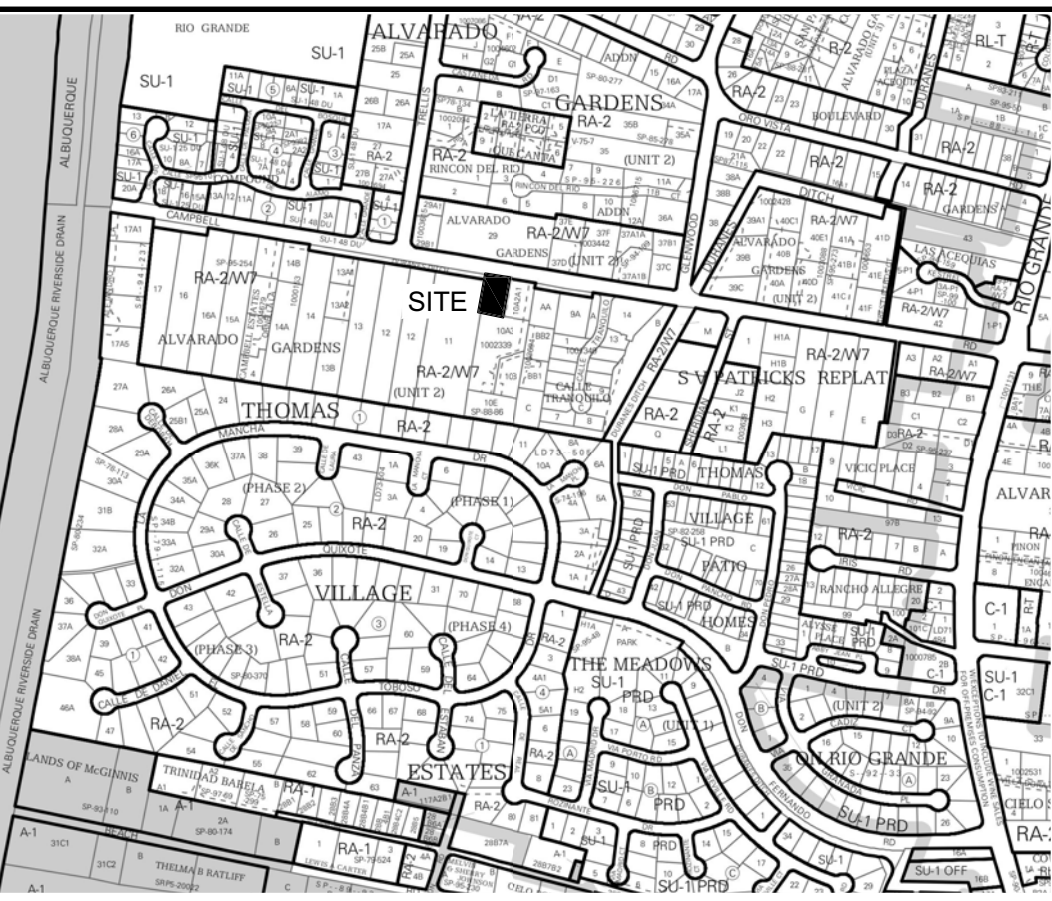
Lot 10-A-3-A
Alvarado Gardens Unit 2

GROUT ALL JOINTS ON EXISTING WALL. NO OPENINGS BELOW 4967.00

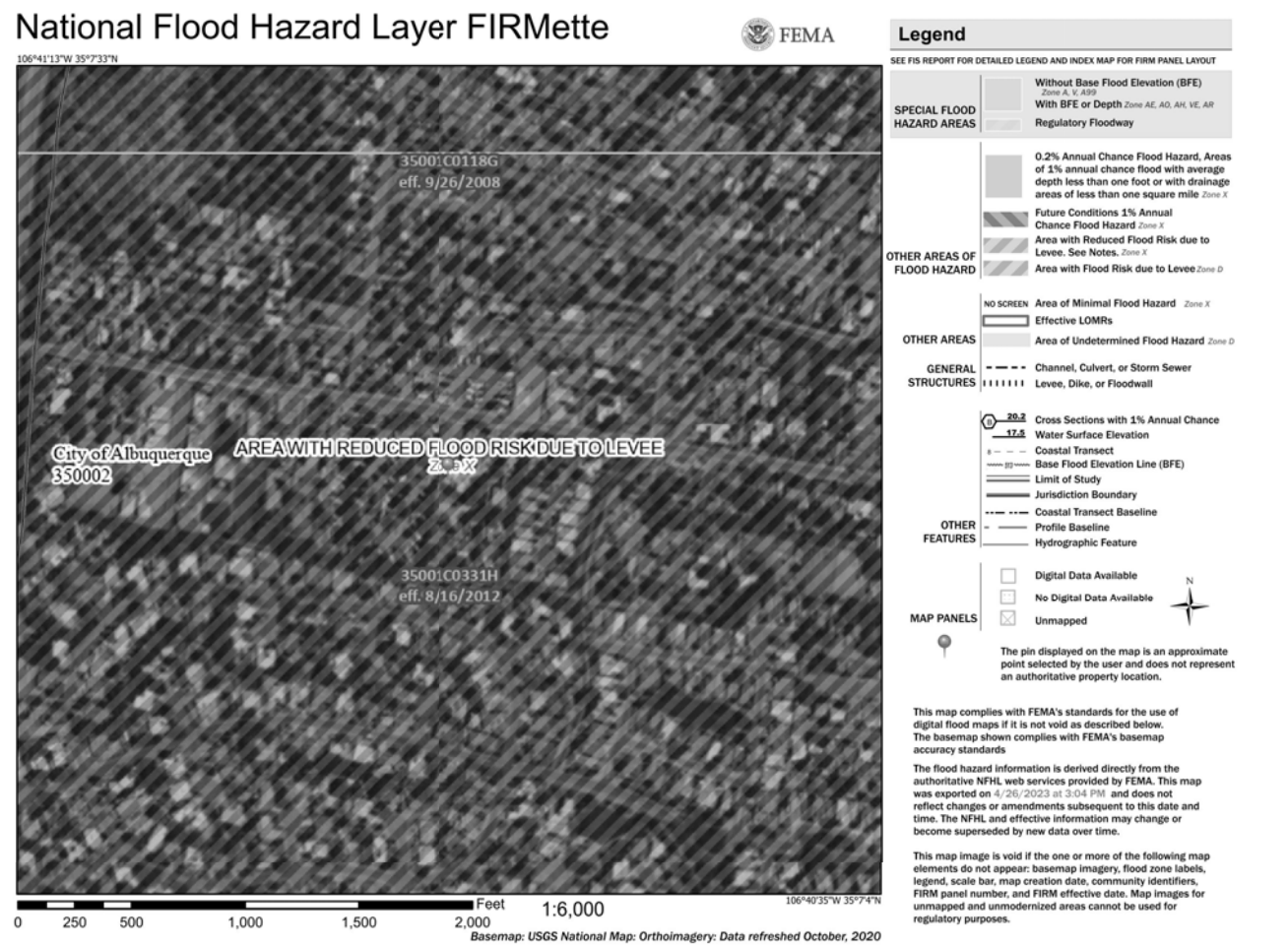
RETENTION POND
TOP= 4966.75
BOTTOM= 4966.00
VOLUME= 1434 CF

EROSION CONTROL NOTES:

- CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
- CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
- CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
- REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
- ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL ACCEPTANCE OF ANY PROJECT.



VICINITY MAP: G-12-Z



FIRM MAP:

LEGAL DESCRIPTION:

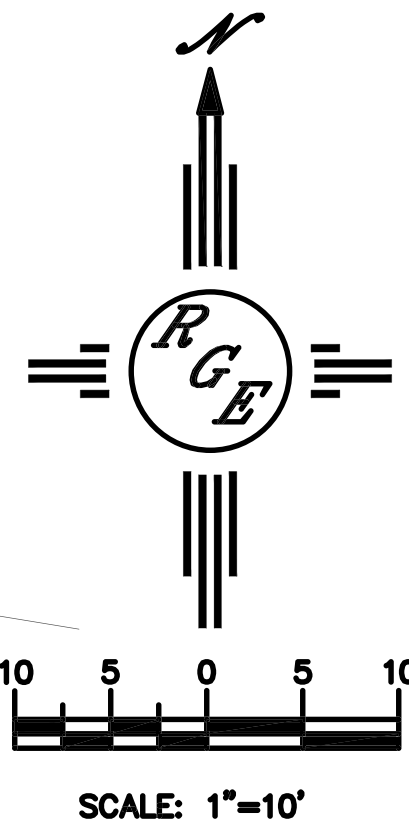
LOT 10-A-1A ALVARDO GARDENS UN 2
CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO

NOTES:

- ALL SPOT ELEVATIONS REPRESENT FLOWLINE ELEVATION UNLESS OTHERWISE NOTED.
- ALL SLOPES SHALL BE 3:1 MAX. AND GRAVEL OR NATIVE SEEDING PRIOR TO CO.
- ANY PERIMETER WALLS MUST BE PERMITTED SEPARATELY ALL RETAINING WALL DESIGN SHALL BE BY OTHERS.
- SURVEY INFORMATION PROVIDED BY COMMUNITY SCIENCES CORPORATION USING NAVD DATUM 1988.
- A PAD ELEVATION CERTIFICATION SHALL BE REQUIRED PRIOR TO RELEASE OF BUILDING PERMIT.

LEGEND

-----XXXX-----	EXISTING CONTOUR
-----XXXX-----	EXISTING INDEX CONTOUR
-----XXXX-----	PROPOSED CONTOUR
-----XXXX-----	PROPOSED INDEX CONTOUR
•XXXX	EXISTING SPOT ELEVATION
•XXXX	PROPOSED SPOT ELEVATION
-----	BOUNDARY
-----	ADJACENT BOUNDARY
=====	EXISTING CURB AND GUTTER
-----<-----	PROPOSED EARTHEN SWALE
-----<-----	PROPOSED RETAINING WALL
-----<-----	PROPOSED CONCRETE



ENGINEER'S SEAL	Lot 10-A-1A Alvarado Gardens Un 2 2706 CAMPBELL ROAD NW	DRAWN BY DEM
DAVID SOULE NEW MEXICO REGISTERED PROFESSIONAL ENGINEER 14522	GRADING AND DRAINAGE PLAN	DATE 4-28-23
4/28/23	Rio Grande Engineering P.O. BOX 53924 ALBUQUERQUE, NM 87199 (505) 321-9099	Lot 10-A-1A Alvarado Gardens Un 2.dwg
		SHEET # C1
		JOB #