

# CITY OF ALBUQUERQUE

## CODE ENFORCEMENT

Plaza Del Sol Building, Suite 500

600 2<sup>nd</sup> Street NW

Albuquerque, NM 87102

Tel: (505) 924-3850



Date: September 29, 2025

RE: Residential Address Assignment

UPC: **101206046511740232**

To Whom It May Concern:

This letter is to serve as a notice of an address assignment for the property located at: **MAP 34 TR 97B**, which was issued a situs address of:

**2611 Rio Grande Blvd NW, Albuquerque NM 87104**

**2617 Rio Grande Blvd NW, Albuquerque NM 87104**

**2623 Rio Grande Blvd NW, Albuquerque NM 87104**

The street address must be displayed as required by the Building Numbering Ordinance, using minimum 3” figures mounted on the home and easily readable from the servicing street.

Please refer to the US Postal Service regulations regarding individual mail receptacles.

Attached are a map and a distribution list of who will be notified and required to correspond with this assignment.

Please update your records to reflect the above address; however, if problems arise contact the City Address Verification Office at [addressing@cabq.gov](mailto:addressing@cabq.gov).

Sincerely,



Wendi Alcalá

**Addressing**

[e addressing@cabq.gov](mailto:addressing@cabq.gov)

[cabq.gov/planning](http://cabq.gov/planning)

*Copy: County Assessor's Office/Gustavo Hernandez, US Postal Service-/Theresa Gonzales/Sylvia Vigil/Jaclyn Velasquez, Mid Region Council of Governments/Steve Montiel, Bureau of Election Office/Larry Romero, AGIS-Planning/ Catherine Bradley, Hydrology/Rudy Rael, PW/Water Meters/ Workgroup, PNM/Victoria Rodriguez, Gas Company of New Mexico, Comcast/Robert Martinez, CenturyLink/Michele Ramirez, Alarm Dispatch/Paul Buck, Emergency Communication Center/Erika Wilson*

DOCH 2025076744

09/23/2025 03:00 PM Page: 2 of 2 R: \$25.00  
 PLAT B: 2025C P: 0068 Michelle S. Kavanaugh, Bernalillo County

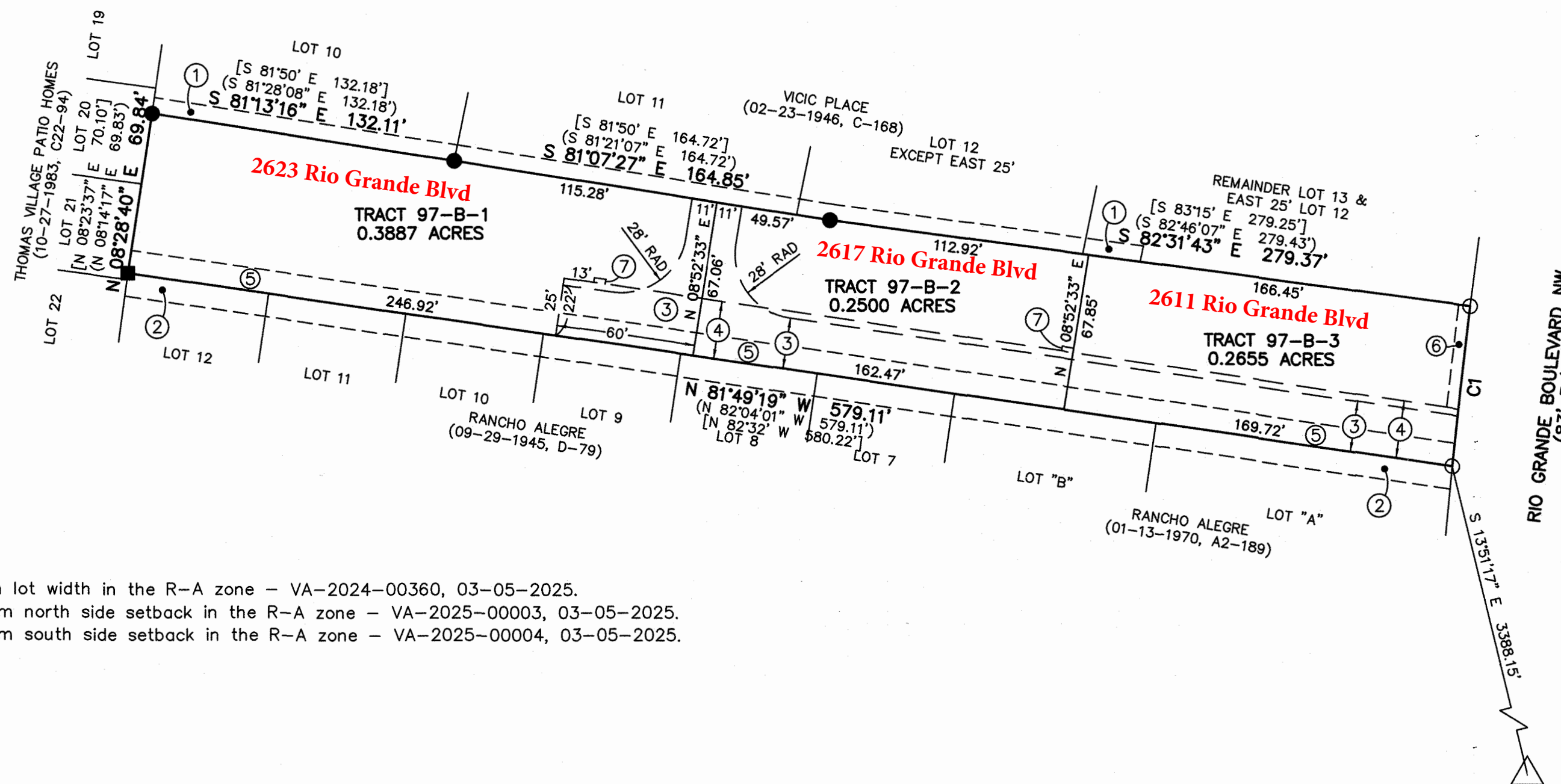
MIDDLE RIO GRANDE CONSERVANCY DISTRICT APPROVAL

APPROVED on the condition that all rights of the Middle Rio Grande Conservancy District in easements, rights of way, assessments and liens, are fully reserved to said District, and that if provision for irrigation source and easements are not provided for by the subdivider for the subdivision, addition, or plat, said District is absolved of all obligations to furnish irrigation waters and services to any portions thereof, other than from existing turnouts.

PLAT FOR  
 TRACTS 97-B-1, 97-B-2 & 97-B-3  
 M.R.G.C.D. MAP NO. 34  
 (A REPLAT OF TRACT 97-B,  
 M.R.G.C.D. MAP NO. 34)  
 WITHIN THE  
 TOWN OF ALBUQUERQUE GRANT  
 PROJECTED SECTION 1,  
 TOWNSHIP 10 NORTH, RANGE 2 EAST, N.M.P.M.  
 CITY OF ALBUQUERQUE  
 BERNALILLO COUNTY, NEW MEXICO  
 OCTOBER, 2024

City of Albuquerque  
 Planning Department  
 Approved Final Address Assignment  
 Wendi Alcalá  
 9/29/2025

CURVE	ARC	RADIUS	DELTA	CHORD BEARING	CHORD LENGTH
C1	69.94'	2904.79'	01°22'46"	S 06°09'46" W	69.94'
	(69.87')	(3006.00')	(01°19'54")	(S05°55'29"W)	(69.86')
	[65']	[2904.79']			



APPROVED VARIANCES:

1. A variance of 7.94 feet to 75 foot minimum lot width in the R-A zone - VA-2024-00360, 03-05-2025.
2. A variance of 5 feet to the 10 foot minimum north side setback in the R-A zone - VA-2025-00003, 03-05-2025.
3. A variance of 5 feet to the 10 foot minimum south side setback in the R-A zone - VA-2025-00004, 03-05-2025.

EASEMENTS

- ① - 10' UTILITY AND IRRIGATION DITCH EASEMENT (02-23-1946, C-168)
- ② - 10' UTILITY AND IRRIGATION DITCH EASEMENT (09-29-1945, D-79)
- ③ - 22' PRIVATE ACCESS FOR THE JOINT USE, BENEFIT AND TO BE MAINTAINED BY TRACTS 97-B-1, 97-B-2 & 97-B-3 (GRANTED BY THIS PLAT)
- ④ - 25' ABCWUA PUBLIC WATER AND PUBLIC SANITARY SEWER EASEMENT (GRANTED BY THIS PLAT)
- ⑤ - 10' PUBLIC UTILITY EASEMENT (PUE) (GRANTED BY THIS PLAT)
- ⑥ - 5' PUBLIC LANDSCAPE EASEMENT (GRANTED BY THIS PLAT)
- ⑦ - 2' x 5' ABCWUA PUBLIC WATER METER EASEMENT (GRANTED BY THIS PLAT)

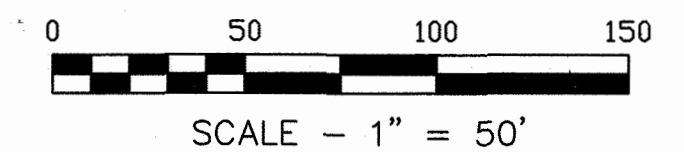
PROPERTY CORNERS

- - FOUND 1" PIPE WITH CAP "LS 10464"
- - FOUND 1/2" REBAR WITH CAP "LS 10464"
- - FOUND 1" PIPE

AGRS MONUMENT  
 "7-H13"  
 N=1495777.837 (US SURVEY FOOT)  
 E=1513953.442 (US SURVEY FOOT)  
 G-G=0.999684760  
 Δα=-00°14'35.56"  
 ELEV=4964.364 (US SURVEY FOOT)  
 CENTRAL ZONE  
 (NAD83/NAVD88)

05-08-2025 rev  
 05-07-2025 rev  
 03-24-2025 rev  
 10-14-2024 rev

Drawn By:	TA	Date:	10-13-2024
Checked By:	TA	Drawing Name:	24094PLT.DWG
Job No.:	24-094	Sheet:	2 of 2



**ALDRICH LAND SURVEYING**  
 P.O. BOX 30701, ALBQ., N.M. 87190  
 505-884-1990