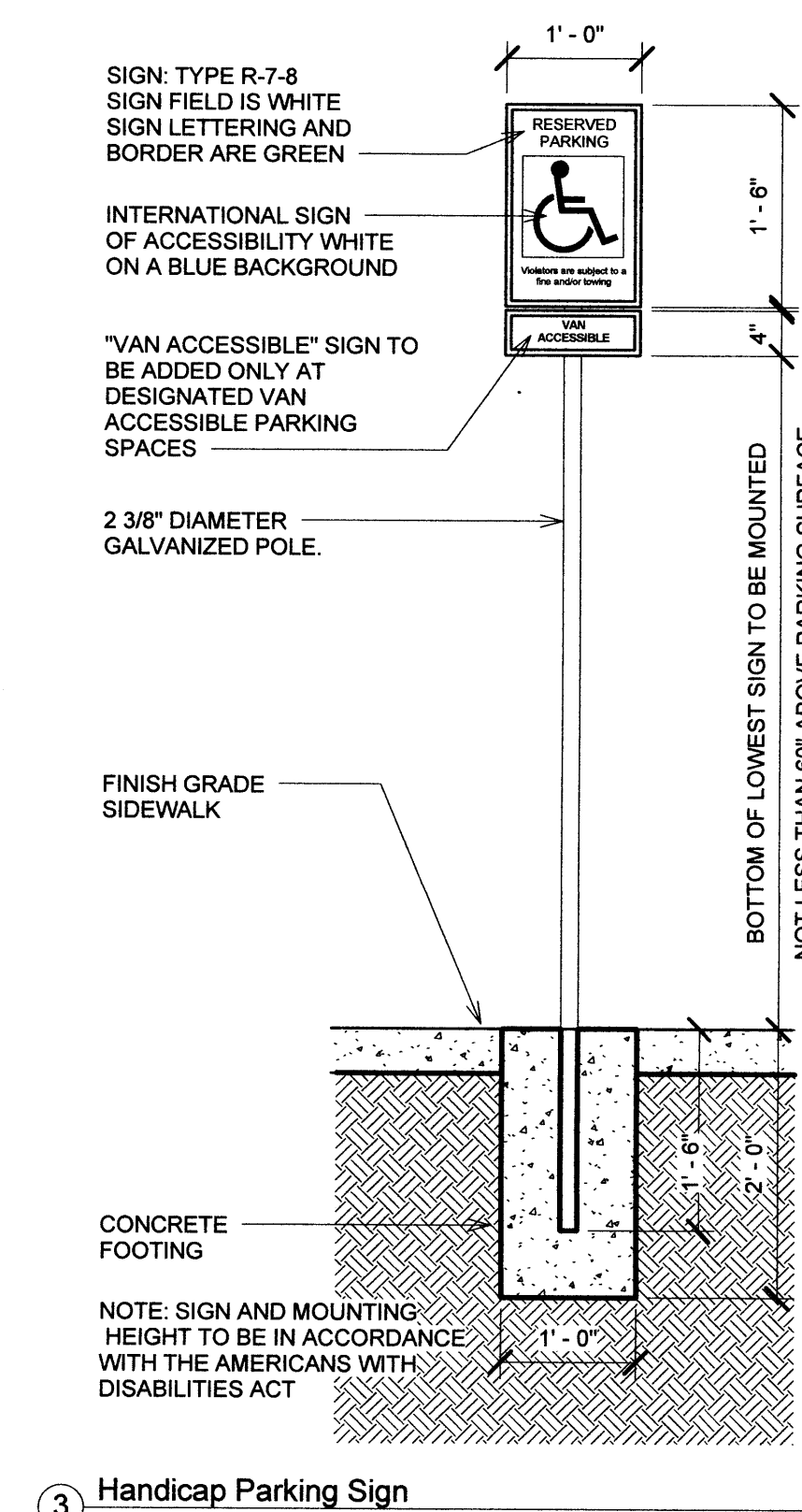
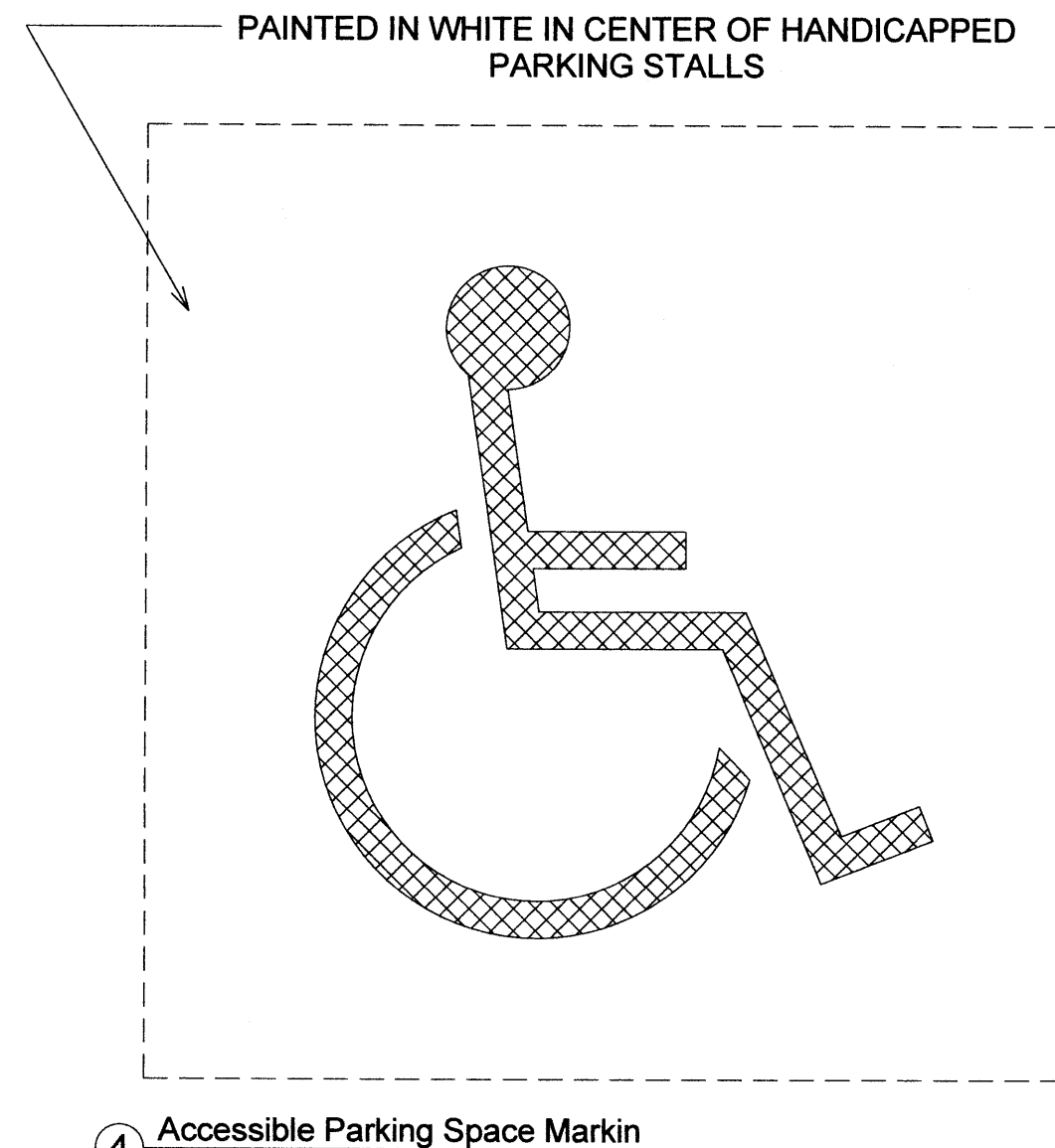


② ADA Parking Detail
1/4" = 1'-0"



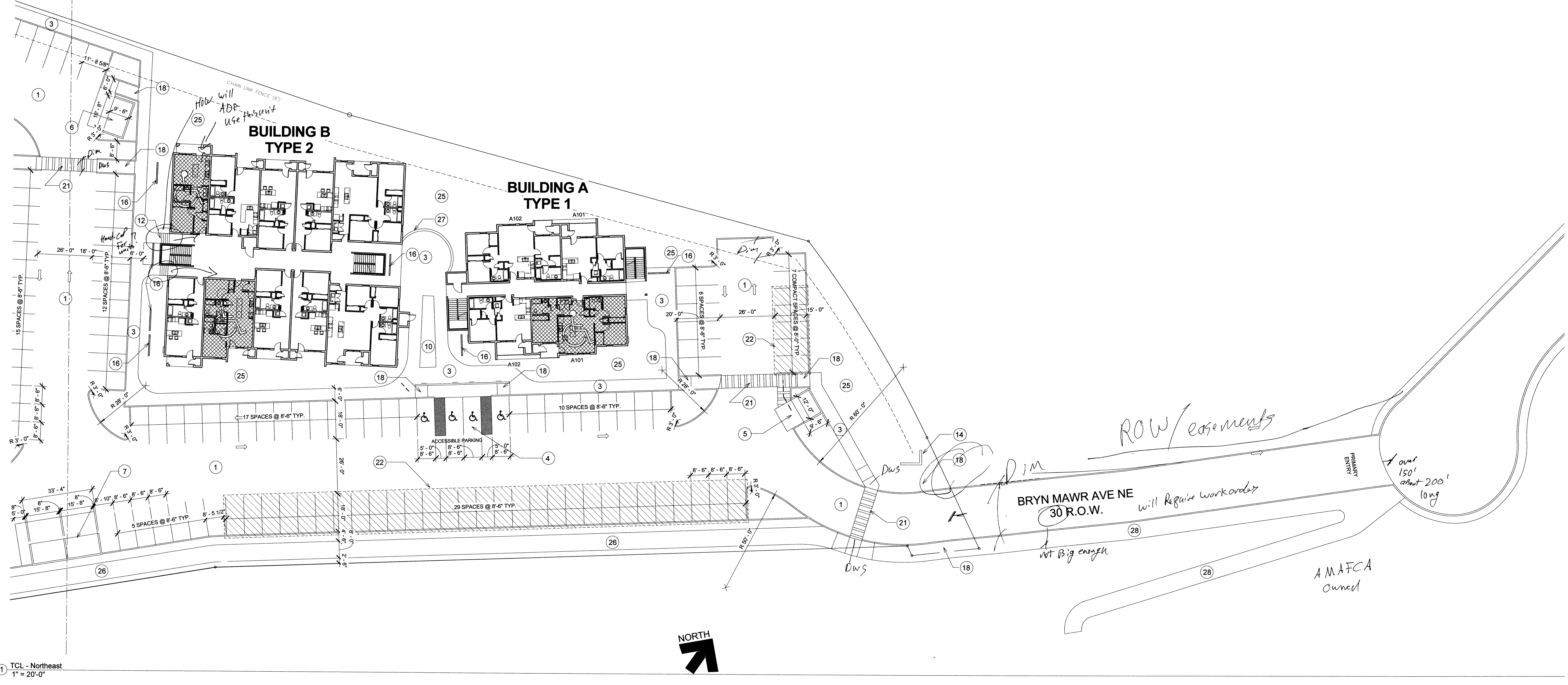
③ Handicap Parking Sign
3/4" = 1'-0"



④ Accessible Parking Space Markin
3/4" = 1'-0"

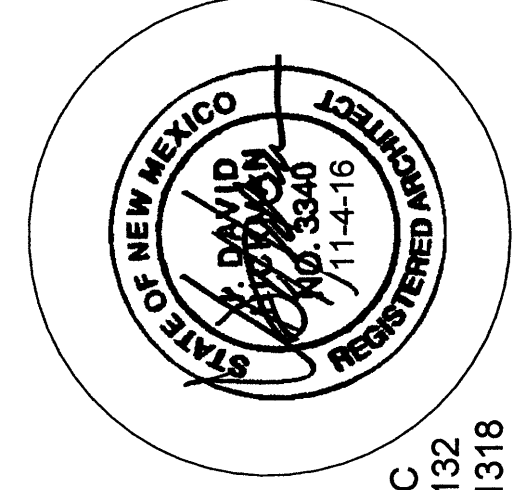
KEYED NOTES:

1. ASPHALT PAVEMENT DRIVEWAY AND PARKING SPACE STRIPING.
2. SWIMMING POOL - SEE POOL DRAWINGS.
3. CONCRETE SIDEWALK. 4,000 PSI AIR ENTRAINED CONCRETE MIN. - SEE DETAIL 2 / AS2.1
4. ACCESSIBLE PARKING SPACES - SEE DETAIL 11 / AS2.0
5. 12'-0" (SINGLE) REFUSE ENCLOSURE AND GATE - SEE DETAIL 7 / AS2.0
6. 16'-8" (DOUBLE) REFUSE ENCLOSURE AND GATE - SEE DETAIL 8 / AS2.0
7. 32'-0" (QUADRUPLE) REFUSE ENCLOSURE AND GATE - SEE DETAIL 9 / AS2.0
8. 6'-0" TWINBAR FENCE AND GATE @ SWIMMING POOL PERIMETER - SEE DETAIL X3 / AS2.1
9. 4'-0" TWINBAR FENCE @ PLAYGROUND PERIMETER - SEE DETAIL 4 / AS2.1
10. CONCRETE PLANTER - SEE DETAIL X / AS2.0
11. PARK BENCH - SEE DETAIL 16 / AS2.0
12. CONCRETE STEPS - SEE DETAIL 7 / AS2.1
13. BUILDING SIGNAGE - SEE DETAIL 11 / AS2.1
14. MONUMENTAL SIGNAGE WALL - SEE DETAIL 1-5 / AS2.0
15. SITE PARKING LIGHT - SEE ELECTRICAL
16. ANCHORED BIKE RACKS - SEE DETAIL 1 / AS2.1
17. PLAYGROUND / TODDLER PLAY AREA W/ APPROPRIATE WARNING SIGNAGE. THE PLAY STRUCTURE SHOWN ARE IDENTIFYING A STRUCTURE AND DOES NOT MATCH WHAT WILL BE LOCATED THERE. SEE SPECIFICATIONS FOR ACTUAL PLAY STRUCTURE - SEE DETAIL 14 / AS2.1
18. ADA CURB RAMP - SEE DETAIL 13 / AS2.0
19. VAN ACCESSIBLE PARKING SPACE - SEE DETAIL 11 / AS2.0
20. PLAYGROUND EQUIPMENT AND FALL ZONE RADIUS SYNTHETIC RUBBER PLAY SURFACE. 6'-0" FALL ZONE SHOWN IDENTIFIES THE REQUIREMENT OF ONE. PLEASE SEE SPECIFICATIONS FOR PLAYGROUND STRUCTURE AND REQUIRED FALL ZONE AREA.
21. CROSSWALK.
22. COVERED PARKING STRUCTURE.
23. ACCESSIBLE RAMP INTO PLAYGROUND AREAS - SEE DETAIL 12 / AS2.0
24. MAIL CENTER.
25. LANDSCAPE AREA.
26. PAVED MULTI-USE TRAIL WITH CONNECTION TO DIVERSION CANAL.
27. SITTING YARD WALL - SEE DETAIL 13 / AS2.1
28. 8'-0" PAVED TRAIL MEETING ADA REQUIREMENTS FOR PEDESTRIAN CONNECTION TO STREET.

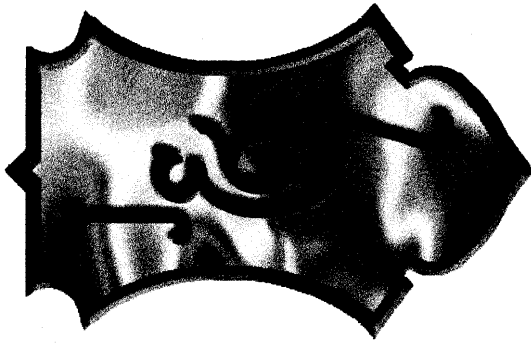


① TCL - Northeast
1" = 20'-0"

"EASY AS PIE"



JEFFREYS & ZUZU, LLC.
ARCHITECTS & CONTRACTORS
MAKING HOUSE CALLS

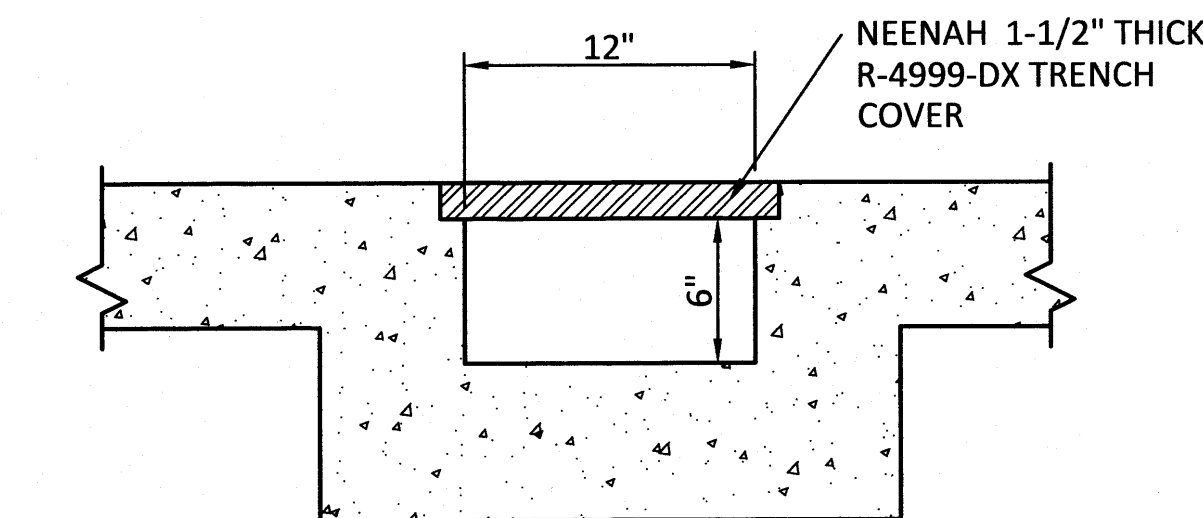


job no: 16-010
drawn: EAM
checked: JDH
date: November 4, 2016

Revisions:
(A1) 11-21-16
(A2) 12-5-16

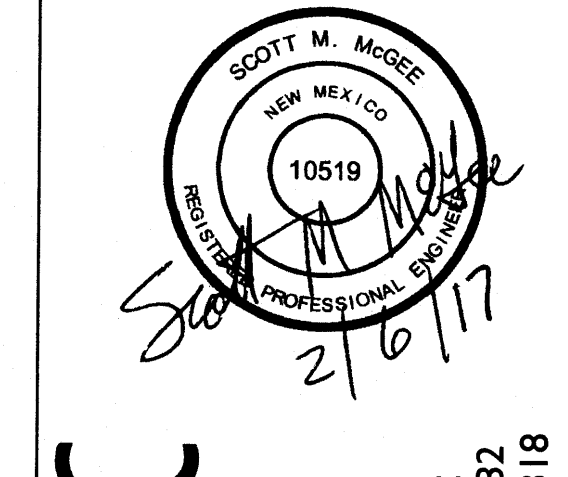
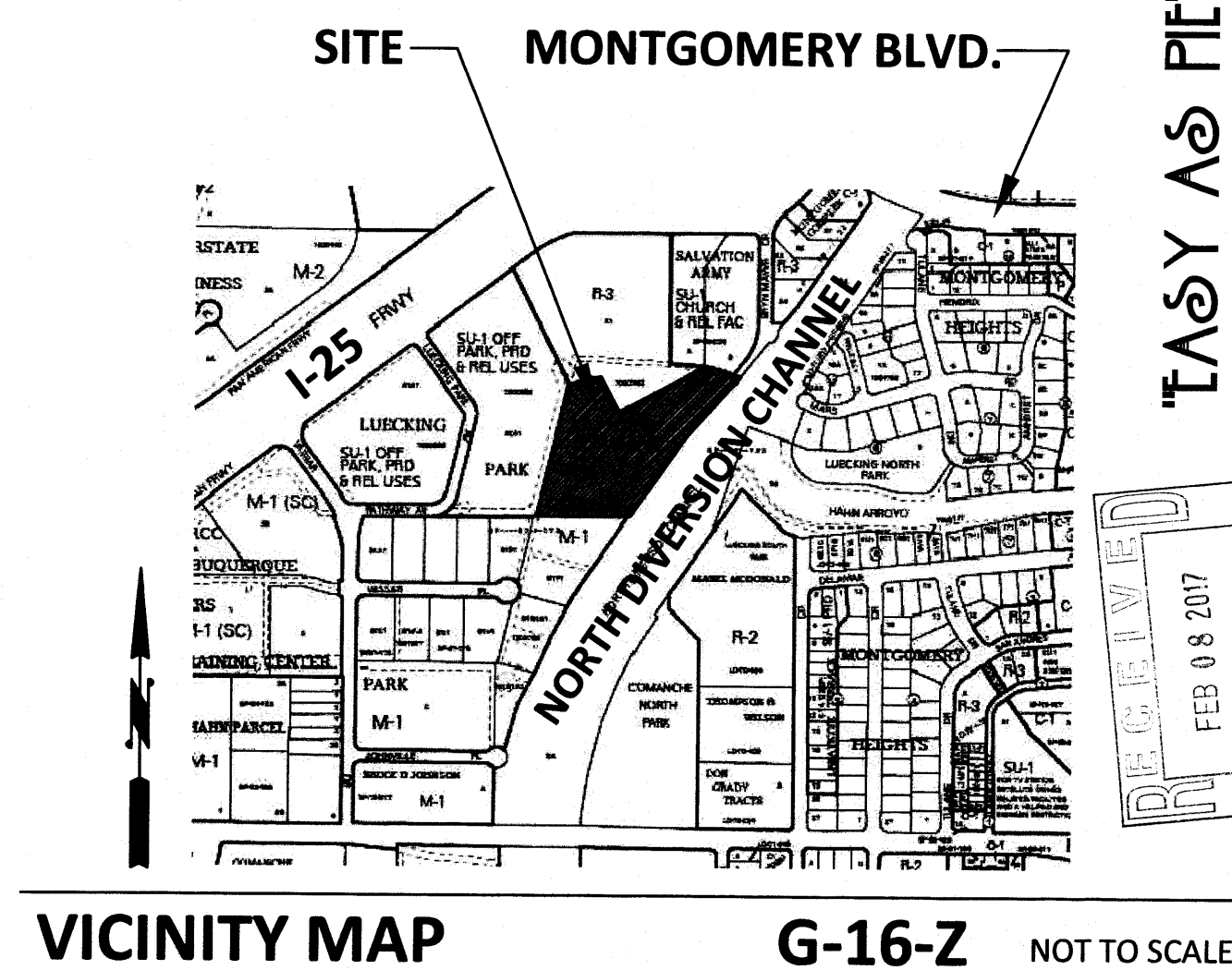
WWW.JEFFREYSANDZUZU.COM

ARROYO VISTA APARTMENTS
4201 BRYN MAWR DR NE
ALBUQUERQUE, NM 87107
sheet no: TCL2

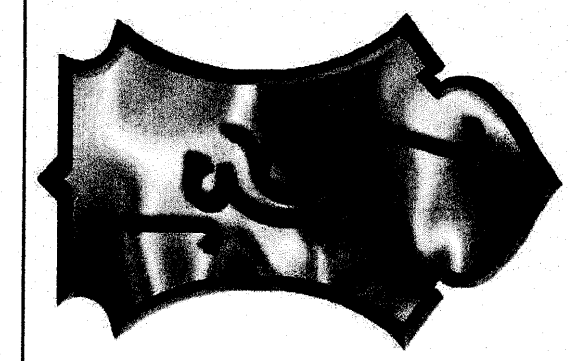


TRENCH DRAIN

NOT TO SCALE



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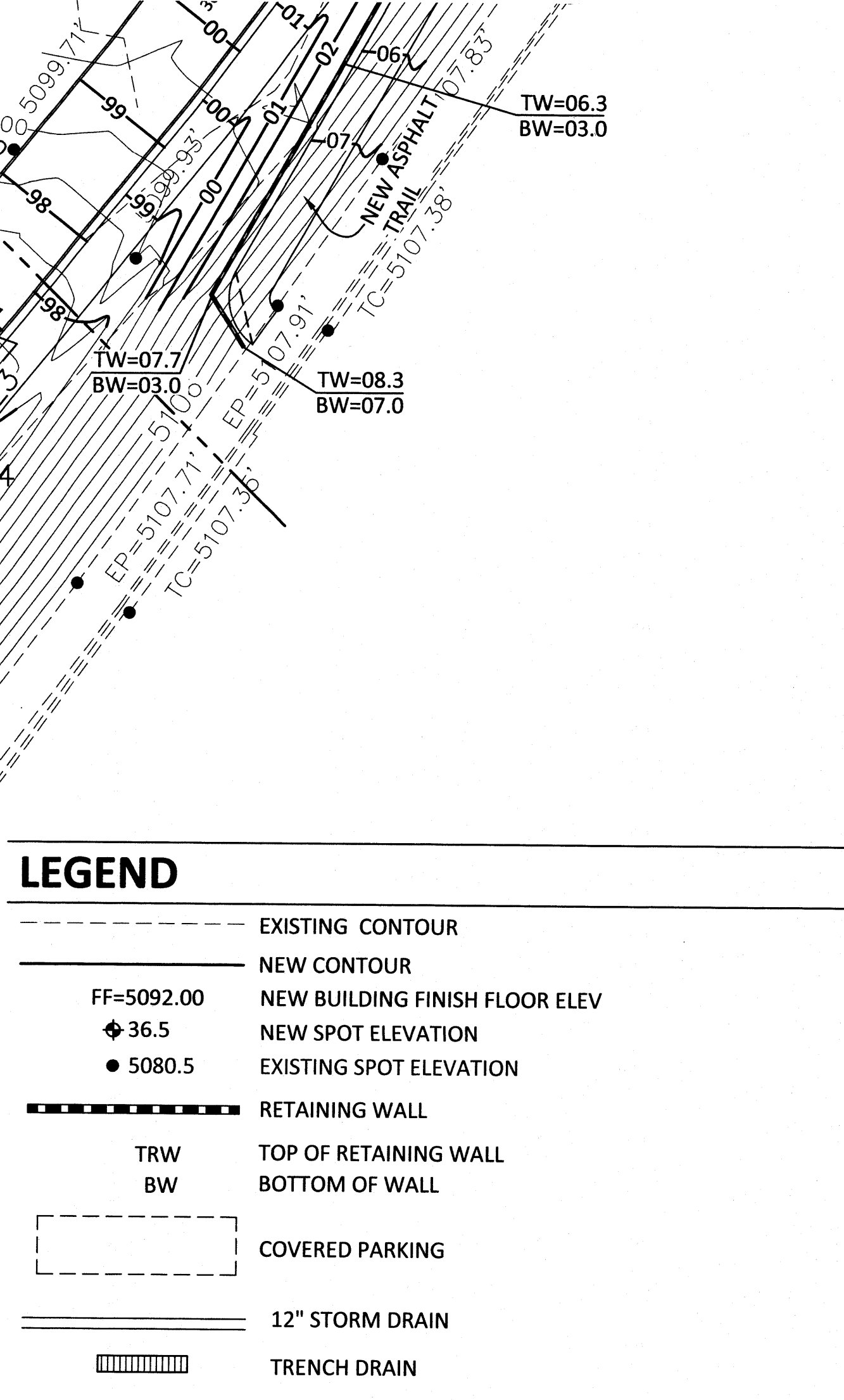
job no: 16-022

drawn: CB

checked: SMM

date: Feb. 6, 2017

Revisions:



LEGEND

- EXISTING CONTOUR
- NEW CONTOUR
- NEW BUILDING FINISH FLOOR ELEV
- NEW SPOT ELEVATION
- EXISTING SPOT ELEVATION
- RETAINING WALL
- TOP OF RETAINING WALL
- BOTTOM OF WALL
- COVERED PARKING
- 12" STORM DRAIN
- TRENCH DRAIN

DRAINAGE ANALYSIS

ADDRESS: 4201 Bryn Mawr Drive NE, Albuquerque, NM

LEGAL DESCRIPTION: TRACT A-2, LUECKING PARK COMPLEX

SITE AREA: 294,977 SF (6.7717 acres)

BENCHMARK: City of Albuquerque Station '7-G-17' being a brass cap.

ELEV= 5125.716 (NAVD 1988)

SURVEYOR: Cartesian Surveying Inc. dated August, 2016

PRECIPITATION ZONE: 2

FLOOD HAZARD: From FEMA Map 35001C0138H (8/16/12), this site is identified as being within Zone 'X' which is determined to be outside the 0.2% annual chance floodplain.

OFFSITE FLOW: The west supporting slope of the North Diversion Channel is an offsite area of 1.75-acre which drains across the site along its east side. This $Q = (3.14)(1.75) = 5.5$ CFS will continue to be accepted onsite and conveyed west through the site.

EXISTING CONDITIONS: The site is currently undeveloped with some sparse vegetation. The site slopes down to the west and discharges to a 36" storm drain that was installed by CPN 595281 and designed to carry $Q = 50.6$ CFS.

PROPOSED IMPROVEMENTS: The proposed improvements include 6 new 3-story apartment buildings, a community building with swimming pool, associated paved access and parking, and landscaping.

DRAINAGE APPROACH: The site drainage pattern will follow historic conditions and include the onsite retention of the first flush volume. The private storm drain will be extended onsite to provide for catch basins to intercept site runoff.

Existing land treatment: 60% A and 40% B

$Q = [(60)(1.56) + (40)(2.28)](6.772) = 12.5$ CFS

Proposed land treatment: 7% B, 28% C and 65% D

$Q = [(0.07)(2.28) + (0.28)(3.14) + (0.65)(4.70)](6.772) = 27.7$ CFS

First flush $V = (191,734)(0.34/12) = 5,432$ CF

Total retention volume provided onsite is 5,480 CF

The proposed retention pond areas will combine to contain the first flush volume. Site runoff will increase from historic but the existing storm drain capacity is adequate.

GRADING AND DRAINAGE PLAN

1" = 30'

0 30' 60'

A.M.A.F.C.A. North Diversion Channel

NEW TRAIL SLOPE SHALL NOT EXCEED 5%. BOTH THE CITY & AMAFCA SHALL REVIEW/APPROVE WHERE TRAIL IS ON AMAFCA PROPERTY.

OFFSITE AREA A=1.75 ACRES

1. hydraulic calculations onsite 50' station for pipe
2. grade capacity drain to 10'
3. Amrock approval is required
clog ~15%

NEW TRAIL SLOPE SHALL NOT EXCEED 5%. BOTH THE CITY & AMAFCA SHALL REVIEW/APPROVE WHERE TRAIL IS ON AMAFCA PROPERTY.

0 30' 60'

