

# CITY OF ALBUQUERQUE



October 10, 2016

Scott Eddings, PE  
Huitt-Zollers Inc.  
6561 Americas Parkway NE  
Albuquerque, NM 87110

**Re: Valley High School  
1505 Candelaria Rd NW  
Request Temporary C.O. - Accepted  
Engineer's Stamp dated: 9-20-15 (G13D010)  
Certification dated: 10-4-16**

Dear Mr. Eddings,

Based on the Certification received 10/10/2016, the site is acceptable for 90-day temporary release of Certificate of Occupancy by Hydrology.

If you have any questions, you can contact me at 924-3986 or Totten Elliott at 924-3982.

PO Box 1293

Sincerely,

Albuquerque

Abiel Carrillo, P.E.,  
Principal Engineer, Planning Department  
Development and Review Services

New Mexico 87103

[www.cabq.gov](http://www.cabq.gov)

TE/AC

C: email, Cordova, Camille C.; Miranda, Rachel; Sandoval, Darlene M.; Blocker,  
Lois

## STRUCTURE TABLE

- (A) INV=65.16  
(B) INV IN (S)=65.59  
INV IN (E)=65.59  
INV OUT (NV)=65.49  
(C) INV OUT=66.50  
(D) INV IN (S)=66.31  
INV IN (SE)=66.31  
INV IN (SW)=66.31  
INV OUT (N)=66.21  
(E) INV OUT=67.21  
(F) INV OUT=66.64  
(G) INV IN (W)=66.69  
INV IN (S)=66.69  
INV IN (SE)=66.69  
INV OUT (N)=66.59  
(H) INVOUT=68.09  
(I) INV OUT=68.14  
(J) INV OUT=71.72

## DRAINAGE CERTIFICATION

I, SCOTT A. EDDINGS, NMPE 12856, OF THE FIRM HUITT-ZOLLARS, INC. HEREBY CERTIFY THAT THIS PROJECT HAS BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 9/20/2015. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED FROM KIM STELZER, NMPS 7482, OF THE FIRM HUITT-ZOLLARS, INC. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON 9/30/2016 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR A 90 DAY TEMPORARY CERTIFICATE OF OCCUPANCY FOR THE AREA OF THE PROJECT DENOTED AS SECTION 4.

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING AND DRAINAGE ASPECTS OF THIS PROJECT. THOSE RELYING ON THIS RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

SCOTT A. EDDINGS, NMPE 12856  
10/4/16  
DATE

AS BUILT LEGEND  
SURVEY ELEVATION 68.26  
CONFIRMED WITHIN 0.1 FEET ✓

STORM DRAIN PIPE TABLE				
PIPE NUMBER	BEARING	LENGTH	SIZE / TYPE	SLOPE
1	S 57°17'17" E	105 L.F.	36" X23" CONC ARCH	0.30%
2	S 05°31'20" W	206 L.F.	24" HDPE	0.30%
3	S 06°04'35" E	89 L.F.	12" HDPE	0.30%
4	S 05°31'20" W	228 L.F.	12" HDPE	2.18%
5	S 84°24'49" E	20 L.F.	12" HDPE	3.97%
6	S 66°19'53" W	26 L.F.	12" HDPE	1.24%
7	S 52°13'43" E	23 L.F.	12" HDPE	1.28%
8	N 87°28'40" W	86 L.F.	12" HDPE	1.58%
9	S 37°51'26" E	74 L.F.	12" HDPE	1.82%

## PHASING LEGEND

PHASE 1 A  
PHASE 2

## DRAINAGE

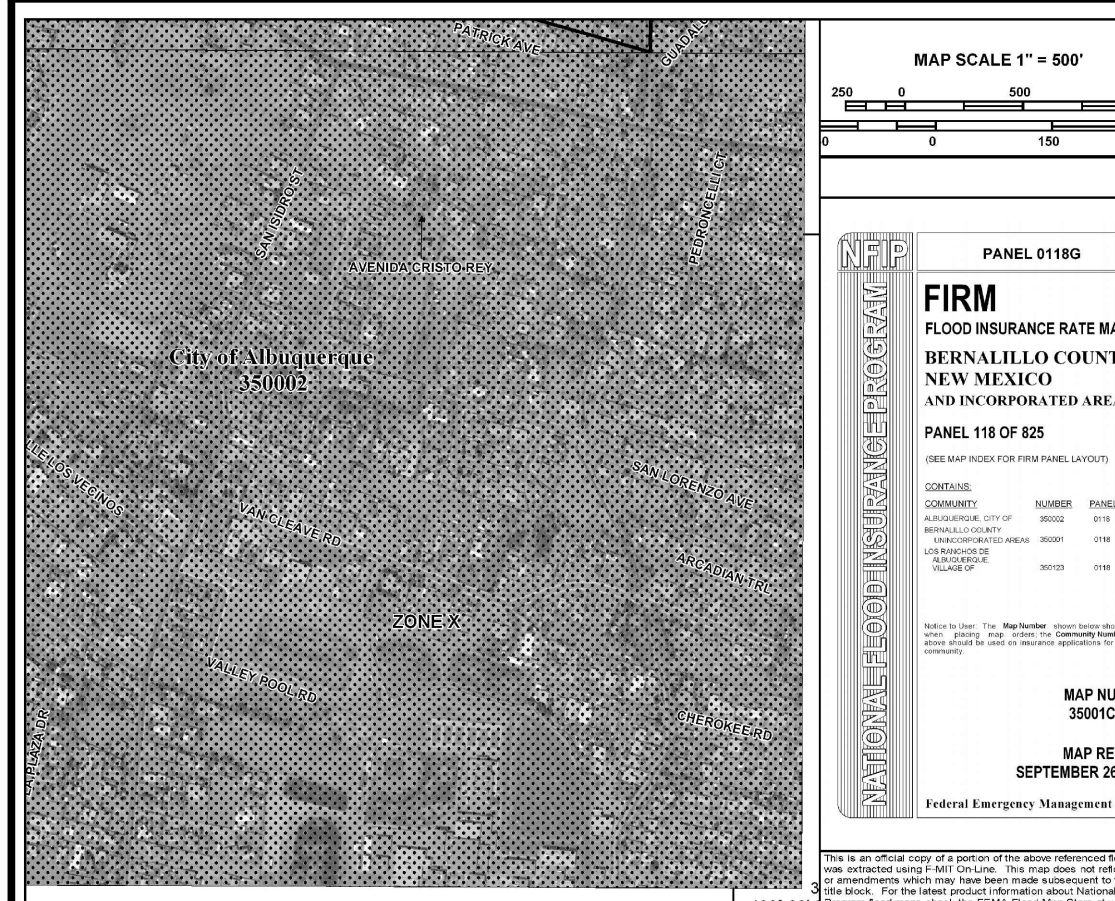
## DRAINAGE PLAN

- I. INTRODUCTION AND EXECUTIVE SUMMARY  
THIS PROJECT CONSISTS OF AN ADDITION AND TRAFFIC CIRCULATION IMPROVEMENTS TO THE EXISTING VALLEY HIGH SCHOOL. THE BUILDING, PAVING AND DRAINAGE IMPROVEMENTS PROPOSED WILL FOLLOW THE APPROVED MASTER DRAINAGE PLAN BY MAINTAINING EXISTING DRAINAGE PATTERNS OVER THE MAJORITY OF THE PROJECT SITE AND BY CONVEYING THE MINOR FLOWS THAT WILL BE INTERCEPTED DUE TO DEVELOPMENT INTO EXISTING POND.  
THIS SUBMITTAL IS MADE IN SUPPORT OF GRADING AND PAVING AND SOH19 PERMIT APPROVALS.
- II. PROJECT DESCRIPTION  
INSERT PLATTING INFORMATION HEREON.
- III. BACKGROUND DOCUMENTS AND RESEARCH  
THE FOLLOWING ITEMS WERE USED IN PREPARATION OF THIS SUBMITTAL:  
1. A BOUNDARY, TOPOGRAPHIC AND UTILITY SURVEY PREPARED BY HUITT-ZOLLARS, INC. DATED, NMPS NO. 12856, DATED JANUARY 2015.
- IV. EXISTING CONDITIONS  
THE EXISTING PROJECT AREA CONSISTS OF PAVED AND UNPAVED PARKING, AND DIRT AND GRASS LANDSCAPED AREAS.
- V. DEVELOPED CONDITIONS  
PROPOSED IMPROVEMENTS WILL REPLACE EXISTING PAVED AREAS WITH THE FACILITY ADDITION AND ASSOCIATED TRAFFIC CIRCULATION IMPROVEMENTS. RUNOFF FROM THE NEW BUILDING AREAS WILL BE COLLECTED BY ROOF DRAINS AND DIRECTED VIA SURFACE FLOW INTO THE EXISTING STORM DRAIN SYSTEM.
- VI. GRADING PLAN  
THE GRADING PLAN SHOWS: 1) EXISTING GRADES INDICATED BY SPOT ELEVATIONS AND 1" CONTOURS TAKEN FROM THE TOPOGRAPHIC SURVEY PREPARED BY HUITT-ZOLLARS, INC. DATED JANUARY 2015; 2) PROPOSED GRADES INDICATED BY SPOT ELEVATIONS AND 1" CONTOURS; 3) THE LIMIT AND NATURE OF EXISTING IMPROVEMENTS TAKEN FROM THE TOPOGRAPHIC SURVEY PREPARED BY HUITT-ZOLLARS, INC.; 4) THE LIMIT AND NATURE OF THE PROPOSED IMPROVEMENTS. THE PLAN SHOWS THE PROPOSED IMPROVEMENTS WILL CONTINUE THE ESTABLISHED DRAINAGE PATTERNS.
- VII. CALCULATIONS  
THE CALCULATIONS THAT FOLLOW ILLUSTRATE THE CHANGE IN THE DEVELOPED CONDITIONS FOR THE 100-YEAR, 6-HOUR RAIN FALL EVENT FOR BASINS B AND D. THE PROCEDURE FOR 40 ACRE AND SMALLER BASINS, AS SET FORTH IN THE REVISION OF SECTION 22.2 OF THE HYDROLOGY SECTION OF THE DEVELOPMENT PROCESS MANUAL, VOLUME 2, DESIGN CRITERIA, DATED JUNE, 1997, HAS BEEN USED TO QUANTIFY THE PEAK RATE OF DISCHARGE AND VOLUME OF RUNOFF GENERATED, AS SHOWN BY THE RESULTS PRESENTED HEREON. THERE WILL BE A NEGLIGIBLE INCREASE IN PEAK DISCHARGE AND RUNOFF VOLUME ASSOCIATED WITH THE PROPOSED CONSTRUCTION.
- VIII. CONCLUSIONS  
THE FOLLOWING CONCLUSIONS ARE PRESENTED BY THE DRAINAGE PLAN:  
1. THE PROPOSED IMPROVEMENTS ARE CONSISTENT WITH THE MASTER DRAINAGE PLAN.  
2. EXISTING DRAINAGE PATTERNS WILL BE MAINTAINED.  
3. THE PROPOSED IMPROVEMENTS WILL NOT HAVE AN ADVERSE IMPACT ON DOWNSIDE CAPACITY OR PROPERTIES.

## GENERAL SHEET NOTES

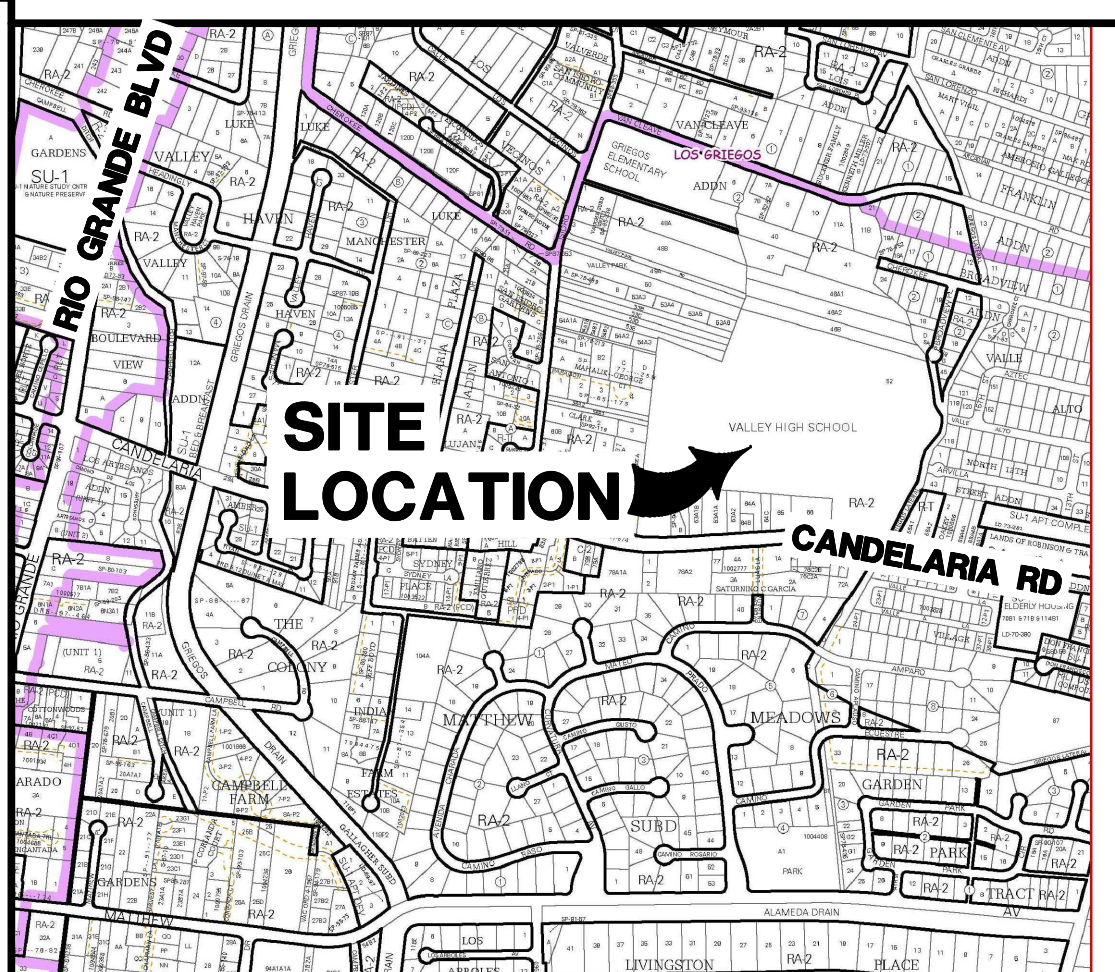
- A. PRIOR TO ANY CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE LOCATION OF ALL POTENTIAL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER AS SOON AS POSSIBLE TO RESOLVE THE CONFLICT WITH A MINIMUM AMOUNT OF DELAY.
- B. ALL WORK ON THIS PLAN SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
- C. IF ANY UTILITY LINES, PIPELINES, OR UNDERGROUND UTILITY LINES ARE SHOWN ON THESE DRAWINGS, THEY ARE SHOWN IN AN APPROXIMATE LOCATION ONLY, AND LINES MAY EXIST WHERE NONE ARE SHOWN. THE LOCATION IS BASED UPON INFORMATION PROVIDED BY THE UTILITY OWNER OR FROM EXISTING PLANS, AND THIS INFORMATION MAY BE INCOMPLETE, OR OBSOLETE AT THE TIME OF CONSTRUCTION. THE ENGINEER HAS NOT UNDERTAKEN ANY FIELD VERIFICATION OF THESE LOCATIONS, LINE SIZES OR MATERIAL TYPE, MAKES NO REPRESENTATION THERETO, AND ASSUMES NO RESPONSIBILITY OR LIABILITY THEREFOR. THE CONTRACTOR SHALL INFORM ITSELF OF THE LOCATION OF ANY UTILITY LINE, PIPELINE OR UNDERGROUND INSTALLATION IN OR NEAR THE AREA IN ADVANCE OF AND DURING ANY EXCAVATION WORK. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY AND PRESERVE ANY AND ALL EXISTING UTILITIES, PIPELINES AND UNDERGROUND FACILITIES. IN PLANNING AND CONDUCTING EXCAVATIONS, THE CONTRACTOR SHALL COMPLY WITH ALL STATE STATUTES, MUNICIPAL AND LOCAL ORDINANCES, RULES AND REGULATIONS, IF ANY, PERTAINING TO THE LOCATION OF THESE LINES AND FACILITIES.
- D. THE CONTRACTOR SHALL INSURE THAT NO SOIL ERODES FROM THE SITE INTO PUBLIC RIGHT-OF-WAY OR ONTO PRIVATE PROPERTY. THIS CAN BE ACHIEVED BY CONSTRUCTING TEMPORARY BERMS AND BY WETTING THE SOIL TO KEEP IT FROM BLOWING.
- E. THE CONTRACTOR SHALL OBTAIN ANY AND ALL PERMITS REQUIRED BY THE CITY OF ALBUQUERQUE FOR THE COMPLETION OF THE WORK PRIOR TO BEGINNING CONSTRUCTION.

## FIRM PANEL MAP NO. 35001C0118G



## SITE LOCATION

## ZONE ATLAS MAP NO. G-13-Z



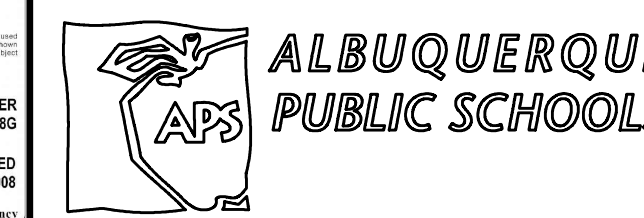
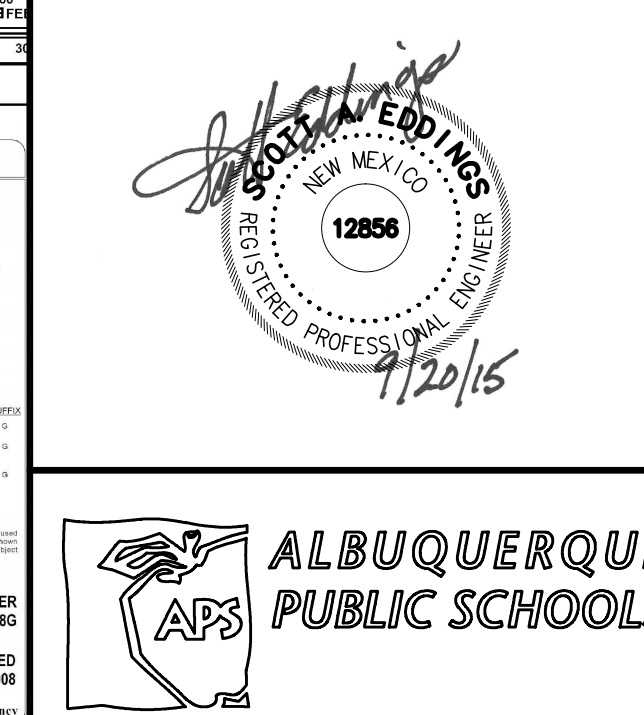
## LEGEND

- NEW BUILDING ADDITION  
NEW 4" CONCRETE SIDEWALKS AND CONCRETE PAVING  
INTEGRAL COLOR CONCRETE (COLOR SELECTED BY ARCHITECT)  
NEW ASPHALT PAVING  
NEW ASPHALT SIDEWALK  
NEW LANDSCAPING BY OWNER (NOT IN CONTRACT)  
EXISTING ELEVATION  
PROPOSED ELEVATION  
INTEGRAL COLOR RETAINING WALL (COLOR SELECTED BY ARCHITECT)

## HUITT-ZOLLARS

Huitt-Zollars, Inc.  
6501 Americas Parkway NE,  
Suite 550  
Albuquerque, N. M. 87110  
Phone (505) 883-8114  
Fax (505) 883-5022

## CONSULTANTS:



## Valley High School

Phase One  
Title IX  
Gymnasium  
Building  
Renovations &  
Addition

ADDRESS:  
1505 CANDELARIA RD. NW  
ALBUQUERQUE, NM 87107

MARK	DATE	DESCRIPTION
CD	01/15/16	Dance/Multi-Use Expansion
CD	09/20/15	BID DOCUMENTS
CD	08/17/15	95% REVIEW SUBMITTAL
CD	06/29/15	50% REVIEW SUBMITTAL
DD	04/08/15	DESIGN DEV. SUBMITTAL

## ISSUE:

PROJECT NO.: R300784.01  
CAD DWG FILE: C-103-R GRADING.dwg  
DRAWN BY: KLS  
CHECKED BY: SAE  
COPYRIGHT: HUITT-ZOLLARS INC. 2013  
SHEET TITLE:

## GRADING AND DRAINAGE PLAN

C-103  
SHEET 6 OF 133