

Elliott, Stanice

From: Elliott, Stanice
Sent: Thursday, January 05, 2017 10:48 AM
To: 'Eddings, Scott'
Cc: Cordova, Camille C.; Miranda, Rachel; Sandoval, Darlene M.; Blocker, Lois
Subject: 1505 Canelaria Rd NW

Scott

Per your submittal 1-4-17 to extend the existing 90-day CO-Temp is approved for another 90 days effective today.

Stanice 'Totten' Elliott
Planning Department
Hydrology Section
City of Albuquerque
505-924-3982
505-924-3864 fax

STRUCTURE TABLE

- (A) INV=65.16
(B) INV IN (S)=65.59
INV IN (E)=65.59
INV OUT (NV)=65.49
(C) INV OUT=66.50
(D) INV IN (S)=66.31
INV IN (SE)=66.31
INV IN (SW)=66.31
INV OUT (N)=66.21
(E) INV OUT=67.21
(F) INV OUT=66.64
(G) INV IN (W)=66.69
INV IN (S)=66.69
INV IN (SE)=66.69
INV OUT (N)=66.59
(H) INVOUT=68.09
(I) INV OUT=68.14
(J) INV OUT=71.72

DRAINAGE CERTIFICATION

I, SCOTT A. EDDINGS, NMPE 12856, OF THE FIRM HUITT-ZOLLARS, INC. HEREBY CERTIFY THAT THIS PROJECT HAS BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 9/20/2015. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED FROM KIM STELZER, NMPS 7482, OF THE FIRM HUITT-ZOLLARS. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON 9/30/2016 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR A 90 DAY TEMPORARY CERTIFICATE OF OCCUPANCY FOR THE AREA OF THE PROJECT DENOTED AS SECTION 4.

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING AND DRAINAGE ASPECTS OF THIS PROJECT. THOSE RELYING ON THIS RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

SCOTT A. EDDINGS, NMPE 12856
1/4/17
DATE

AS BUILT LEGEND
SURVEY ELEVATION 68.26
CONFIRMED WITHIN 0.1 FEET

STORM DRAIN PIPE TABLE				
PIPE NUMBER	BEARING	LENGTH	SIZE / TYPE	SLOPE
1	S 57°17'17" E	105 L.F.	36" X23" CONC ARCH	0.30%
2	S 05°31'20" W	206 L.F.	24" HDPE	0.30%
3	S 06°04'35" E	89 L.F.	12" HDPE	0.30%
4	S 05°31'20" W	228 L.F.	12" HDPE	2.18%
5	S 84°24'49" E	20 L.F.	12" HDPE	3.97%
6	S 66°19'53" W	26 L.F.	12" HDPE	1.24%
7	S 52°13'43" E	23 L.F.	12" HDPE	1.28%
8	N 87°28'40" W	86 L.F.	12" HDPE	1.58%
9	S 37°51'26" E	74 L.F.	12" HDPE	1.82%

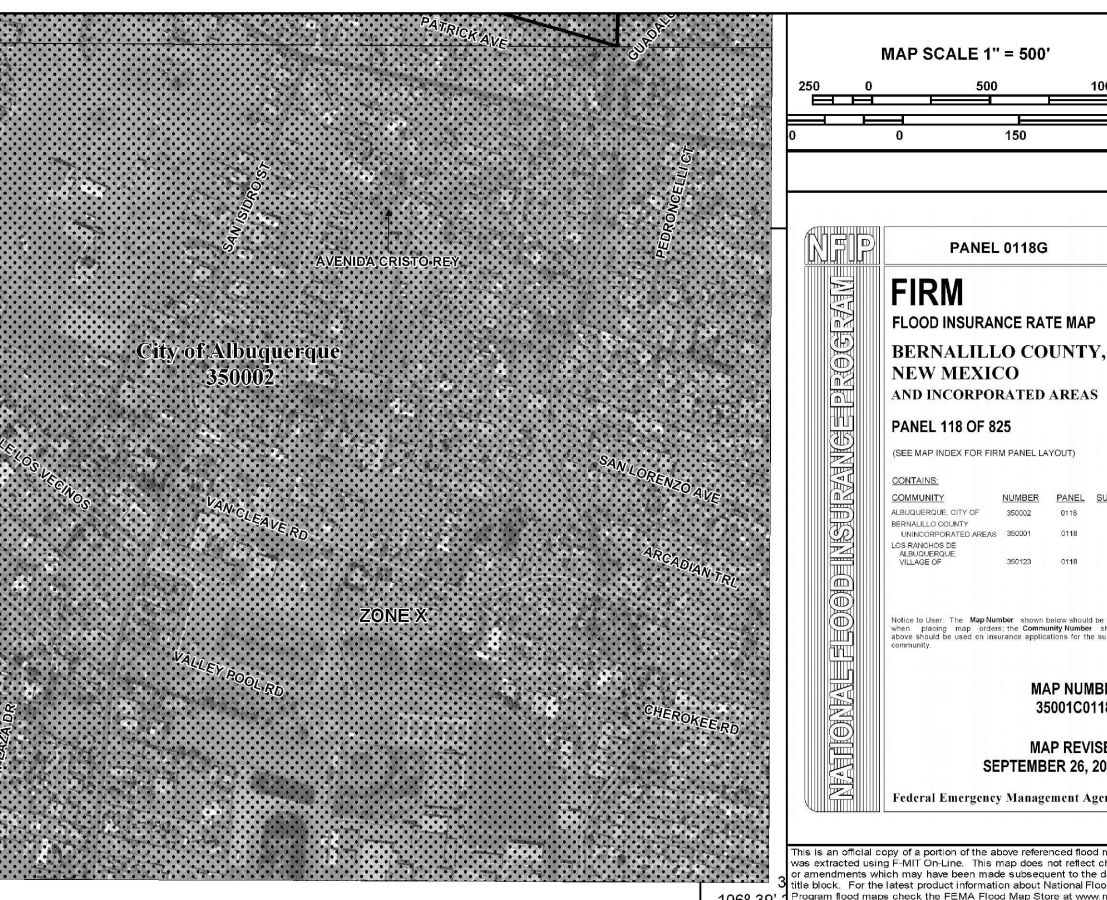
PHASING LEGEND

- PHASE 1 A
PHASE 2

GENERAL SHEET NOTES

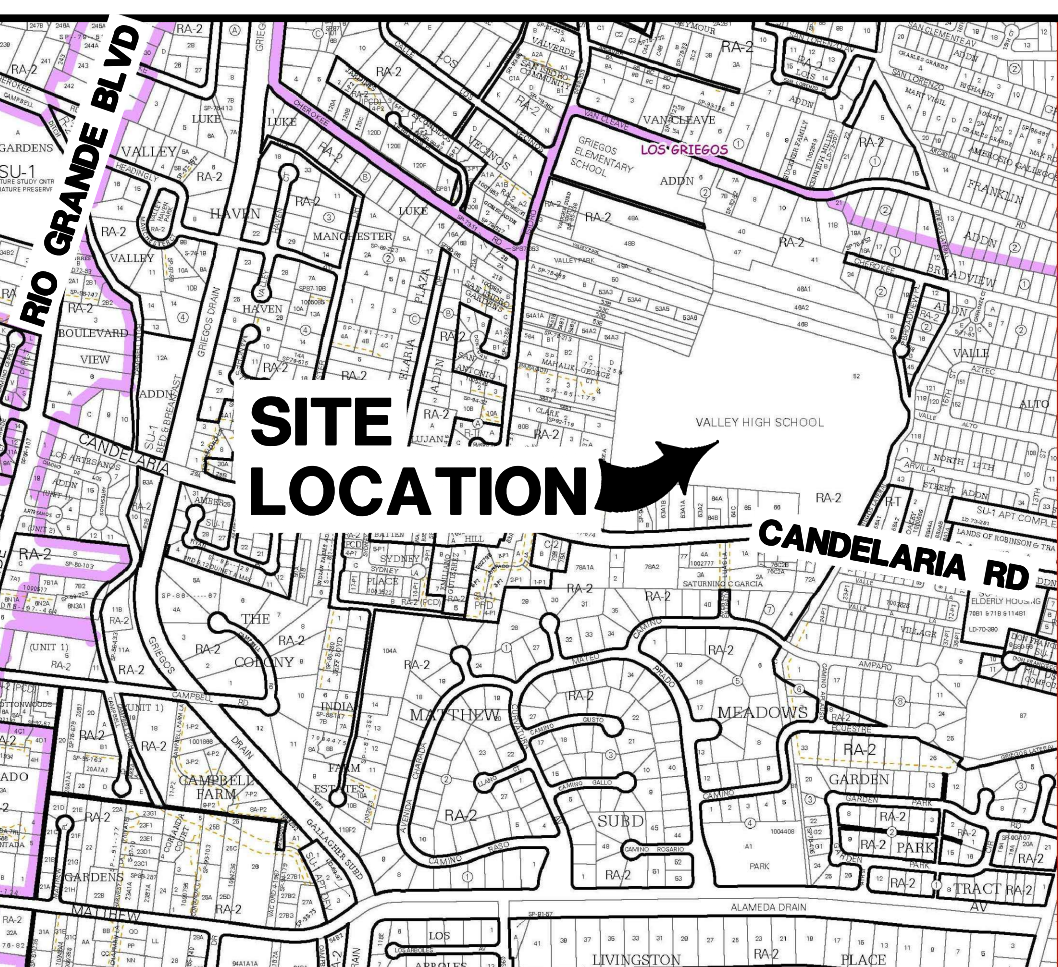
- A. PRIOR TO ANY CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE LOCATION OF ALL POTENTIAL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER AS SOON AS POSSIBLE TO RESOLVE THE CONFLICT WITH A MINIMUM AMOUNT OF DELAY.
- B. ALL WORK ON THIS PLAN SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
- C. IF ANY UTILITY LINES, PIPELINES, OR UNDERGROUND UTILITY LINES ARE SHOWN ON THESE DRAWINGS, THEY ARE SHOWN IN AN APPROXIMATE LOCATION ONLY, AND LINES MAY EXIST WHERE NONE ARE SHOWN. THE LOCATION IS BASED UPON INFORMATION PROVIDED BY THE UTILITY OWNER OR FROM EXISTING PLANS, AND THIS INFORMATION MAY BE INCOMPLETE, OR OBSOLETE AT THE TIME OF CONSTRUCTION. THE ENGINEER HAS NOT UNDERTAKEN ANY FIELD VERIFICATION OF THESE LOCATIONS, LINE SIZES OR MATERIAL TYPE, MAKES NO REPRESENTATION THERETO, AND ASSUMES NO RESPONSIBILITY OR LIABILITY THEREFOR. THE CONTRACTOR SHALL INFORM ITSELF OF THE LOCATION OF ANY UTILITY LINE, PIPELINE OR UNDERGROUND INSTALLATION IN OR NEAR THE AREA IN ADVANCE OF AND DURING ANY EXCAVATION WORK. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY AND PRESERVE ANY AND ALL EXISTING UTILITIES, PIPELINES AND UNDERGROUND FACILITIES. IN PLANNING AND CONDUCTING EXCAVATIONS, THE CONTRACTOR SHALL COMPLY WITH ALL STATE STATUTES, MUNICIPAL AND LOCAL ORDINANCES, RULES AND REGULATIONS, IF ANY, PERTAINING TO THE LOCATION OF THESE LINES AND FACILITIES.
- D. THE CONTRACTOR SHALL INSURE THAT NO SOIL ERODES FROM THE SITE INTO PUBLIC RIGHT-OF-WAY OR ONTO PRIVATE PROPERTY. THIS CAN BE ACHIEVED BY CONSTRUCTING TEMPORARY BERMS AND BY WETTING THE SOIL TO KEEP IT FROM BLOWING.
- E. THE CONTRACTOR SHALL OBTAIN ANY AND ALL PERMITS REQUIRED BY THE CITY OF ALBUQUERQUE FOR THE COMPLETION OF THE WORK PRIOR TO BEGINNING CONSTRUCTION.

FIRM PANEL MAP NO. 35001C0118G



SITE LOCATION

ZONE ATLAS MAP NO. G-13-Z



LEGEND

- NEW BUILDING ADDITION
NEW 4" CONCRETE SIDEWALKS AND CONCRETE PAVING
INTEGRAL COLOR CONCRETE (COLOR SELECTED BY ARCHITECT)
NEW ASPHALT PAVING
NEW ASPHALT SIDEWALK
NEW LANDSCAPING BY OWNER (NOT IN CONTRACT)
EXISTING ELEVATION
PROPOSED ELEVATION
INTEGRAL COLOR RETAINING WALL (COLOR SELECTED BY ARCHITECT)

DRAINAGE

DRAINAGE PLAN

- I. INTRODUCTION AND EXECUTIVE SUMMARY
THIS PROJECT CONSISTS OF AN ADDITION AND TRAFFIC CIRCULATION IMPROVEMENTS TO THE EXISTING VALLEY HIGH SCHOOL. THE BUILDING, PAVING AND DRAINAGE IMPROVEMENTS PROPOSED WILL FOLLOW THE APPROVED MASTER DRAINAGE PLAN BY MAINTAINING EXISTING DRAINAGE PATTERNS OVER THE MAJORITY OF THE PROJECT SITE AND BY CONVEYING THE MINOR FLOWS THAT WILL BE INTERCEPTED DUE TO DEVELOPMENT INTO EXISTING POND.
- THIS SUBMITTAL IS MADE IN SUPPORT OF GRADING AND PAVING AND SOH19 PERMIT APPROVALS.
- II. PROJECT DESCRIPTION
INSERT PLATTING INFORMATION HEREON.
- III. BACKGROUND DOCUMENTS AND RESEARCH
THE FOLLOWING ITEMS WERE USED IN PREPARATION OF THIS SUBMITTAL:
- A. BOUNDARY, TOPOGRAPHIC AND UTILITY SURVEY PREPARED BY HUITT-ZOLLARS, INC. DATED, NMPS NO. 12856, DATED JANUARY 2015.
- IV. EXISTING CONDITIONS
THE EXISTING PROJECT AREA CONSISTS OF PAVED AND UNPAVED PARKING, AND DIRT AND GRASS LANDSCAPED AREAS.
- V. DEVELOPED CONDITIONS
PROPOSED IMPROVEMENTS WILL REPLACE EXISTING PAVED AREAS WITH THE FACILITY ADDITION AND ASSOCIATED TRAFFIC CIRCULATION IMPROVEMENTS. RUNOFF FROM THE NEW BUILDING AREAS WILL BE COLLECTED BY ROOF DRAINS AND DIRECTED VIA SURFACE FLOW INTO THE EXISTING STORM DRAIN SYSTEM.
- VI. GRADING PLAN
THE GRADING PLAN SHOWS: 1) EXISTING GRADES INDICATED BY SPOT ELEVATIONS AND 1" CONTOURS TAKEN FROM THE TOPOGRAPHIC SURVEY PREPARED BY HUITT-ZOLLARS, INC. DATED JANUARY 2015; 2) PROPOSED GRADES INDICATED BY SPOT ELEVATIONS AND 1" CONTOURS; 3) THE LIMIT AND NATURE OF EXISTING IMPROVEMENTS TAKEN FROM THE TOPOGRAPHIC SURVEY PREPARED BY HUITT-ZOLLARS, INC.; 4) THE LIMIT AND NATURE OF THE PROPOSED IMPROVEMENTS. THE PLAN SHOWS THE PROPOSED IMPROVEMENTS WILL CONTINUE THE ESTABLISHED DRAINAGE PATTERNS.
- VII. CALCULATIONS
THE CALCULATIONS THAT FOLLOW ILLUSTRATE THE CHANGE IN THE DEVELOPED CONDITIONS FOR THE 100-YEAR, 6-HOUR RAIN FALL EVENT FOR BASINS B AND D. THE PROCEDURE FOR 40 ACRE AND SMALLER BASINS, AS SET FORTH IN THE REVISION OF SECTION 22.2 OF THE HYDROLOGY SECTION OF THE DEVELOPMENT PROCESS MANUAL, VOLUME 2, DESIGN CRITERIA, DATED JUNE, 1997, HAS BEEN USED TO QUANTIFY THE PEAK RATE OF DISCHARGE AND VOLUME OF RUNOFF GENERATED, AS SHOWN BY THE RESULTS PRESENTED HEREON. THERE WILL BE A NEGLIGIBLE INCREASE IN PEAK DISCHARGE AND RUNOFF VOLUME ASSOCIATED WITH THE PROPOSED CONSTRUCTION.
- VIII. CONCLUSIONS
THE FOLLOWING CONCLUSIONS ARE PRESENTED BY THE DRAINAGE PLAN:
- THE PROPOSED IMPROVEMENTS ARE CONSISTENT WITH THE MASTER DRAINAGE PLAN.
 - EXISTING DRAINAGE PATTERNS WILL BE MAINTAINED.
 - THE PROPOSED IMPROVEMENTS WILL NOT HAVE AN ADVERSE IMPACT ON DOWNSIDE CAPACITY OR PROPERTIES.

SHEET KEYNOTES

- 6" HDPE STORM DRAIN FROM ROOF DRAINS, SEE MECHANICAL PLANS FOR ROOF DRAIN LOCATIONS.
- CURB OPENING
- 6" DIAMETER MANHOLE SEE DETAIL D3, SHEET C-502
- HDPE STORM DRAIN OUTFALL
- STORM DRAIN INLET SEE DETAIL A4, SHEET C-502
- ASPHALT PAVEMENT SEE DETAIL E1, SHEET C-501
- CONCRETE HARDSCAPE
- LANDSCAPE AREA (BY OWNER N/LC)
- STAIRS / RAMP SEE SHEET C-504 FOR DETAILS
- AREA DRAIN WITH ADA COMPLIANT GRATE SEE DETAIL A4, SHEET C-502
- TYPE 'D' STORM DRAIN INLET SEE DETAIL C1, SHEET C-502
- BUILD CONC HEADWALL SEE DETAILS A1 & A3, SHEET C-502.
- EXISTING CONC HEADWALL AND STORM DRAIN TO REMAIN
- STORM DRAIN DROP INLET SEE DETAIL A4, SHEET C-502 AND DETAIL B2, SHEET C-503

NOTES

- ALL SPOT ELEVATIONS REPRESENT FLOWLINE OR TOP OF SIDEWALK ELEVATIONS, UNLESS OTHERWISE NOTED.
- ADD 4900.00 TO PROPOSED SPOT ELEVATIONS FOR MEAN SEA LEVEL ELEVATION. ELEVATIONS SHOWN COMPLETE ARE EXISTING (I.E. 4954.42).
- ALL CONSTRUCTION SHALL CONFORM TO CITY OF ALBUQUERQUE STANDARDS.

NOTE:
SEE SHEET C-104R ADDITIONAL
SPOT ELEVATIONS.

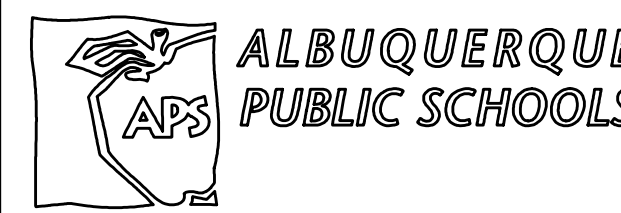
A1 GRADING AND DRAINAGE PLAN

SCALE: 1" = 30' - 0"

HUITT-ZOLLARS

Huitt-Zollars, Inc.
6501 Americas Parkway NE,
Suite 550
Albuquerque, N. M. 87110
Phone (505) 883-8114
Fax (505) 883-5022

CONSULTANTS:



Valley High School

Phase One
Title IX
Gymnasium
Building
Renovations &
Addition

ADDRESS:
1505 CANDELARIA RD. NW
ALBUQUERQUE, NM 87107

MARK	DATE	DESCRIPTION
CD	01/15/16	Dance/Multi-Use Expansion
CD	09/20/15	BID DOCUMENTS
CD	08/17/15	95% REVIEW SUBMITTAL
CD	06/29/15	50% REVIEW SUBMITTAL
DD	04/08/15	DESIGN DEV. SUBMITTAL

ISSUE:

PROJECT NO.: R300784.01
CAD DWG FILE: C-103-R GRADING.dwg
DRAWN BY: KLS
CHECKED BY: SAE
COPYRIGHT: HUITT-ZOLLARS INC. 2013
SHEET TITLE:

GRADING AND
DRAINAGE PLAN

C-103

SHEET 6 OF 133

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 12/2005)

PROJECT TITLE: Valley High School ZONE MAP: G-13-Z
DRB#: _____ EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION: Map 34 Tract 52
CITY ADDRESS: 1505 Candelaria Road NW

ENGINEERING FIRM: Huitt-Zollars CONTACT: Scott Eddings
ADDRESS: 6501 Americas Parkway NE PHONE: 892-5141
CITY, STATE: ABQ, NM ZIP CODE: 87110

OWNER: Albuquerque Public Schools CONTACT: Myron Johnson
ADDRESS: APS PHONE: 848-8811
CITY, STATE: ABQ, NM ZIP CODE: _____

ARCHITECT: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

SURVEYOR: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

CONTRACTOR: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

TYPE OF SUBMITTAL:

☐ DRAINAGE REPORT
☐ DRAINAGE PLAN 1st SUBMITTAL
☐ DRAINAGE PLAN RESUBMITTAL
☐ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☐ EROSION CONTROL PLAN
☒ ENGINEER'S CERT (HYDROLOGY)
☐ CLOMR/LOMR
☐ TRAFFIC CIRCULATION LAYOUT
☐ ENGINEER'S CERT (TCL)
☐ ENGINEER'S CERT (DRB SITE PLAN)
☐ OTHER (SPECIFY) – TCL RESUBMIT

CHECK TYPE OF APPROVAL SOUGHT:

☐ SIA/FINANCIAL GUARANTEE RELEASE
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D APPROVAL
☐ S. DEV. FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ FOUNDATION PERMIT APPROVAL
☐ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY (PERM)
☒ CERTIFICATE OF OCCUPANCY (TEMP)
☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ WORK ORDER APPROVAL
☐ OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED:

☐ YES
☐ NO
☐ COPY PROVIDED

DATE SUBMITTED: 4-JAN-17 BY: Scott Eddings

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.