

# City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

March 18, 1993

Phillip W. Clark  
TMS & Associates  
5905 Marble NE Suite 3  
Albuquerque, NM 87112

RE: ENGINEER CERTIFICATION FOR MANCHESTER FARMS (G13-D16) ENGINEER  
STATEMENT DATED 2/25/93.

Dear Mr. Clark:

Based on the information provided on your March 16, 1993 submittal, the plan meets the requirements for certification as identified on the infrastructure list for financial guarantee release.

If I can be of further assistance, please feel free to contact me at 768-2650.

Sincerely,

Gilbert Aldaz, P.E. & P.S.  
Civil Engineer/Hydrology

xc: Lynda Michelle DeVanti, DRC  
*File*  
wp+7593

PUBLIC WORKS DEPARTMENT

92117304

4238.81  
CC # 9300451

PRIVATE FACILITY  
DRAINAGE COVENANT

0007741

This Drainage Covenant, between Clifford B. Wood, an individual ('Owner'), whose address is 3745 Manchester Dr., N.W., Albuquerque, New Mexico 87107, and the City of Albuquerque, a New Mexico municipal corporation ("City"), whose address is P. O. Box 1293, Albuquerque, New Mexico 87103, is made in Albuquerque, Bernalillo County, New Mexico and is entered into as of the date Owner signs this Covenant. The term "Owner" shall include the heirs, successors and assigns of Clifford B. Wood.

1. Recital: The Owner is the owner of the following described real property located on Manchester Drive, N.W., Albuquerque, New Mexico 87107, more particularly described as Lots 14, 15, 16, 17, & 18, Block 4, Manchester Place Addition, as shown on the Plat of said Addition filed in the office of the Clerk of Bernalillo County, New Mexico on May 20, 1929, in Plat Book C2, on page 117 (the "Property"). \*\*\*

Pursuant to City ordinances, regulations and other applicable laws, the Owner is required to construct and maintain certain drainage facilities on the Property, and the parties wish to enter into this Covenant to establish the obligations and responsibilities of the parties.

2. Description and Construction of Drainage Facility. The Owner shall construct the following "Drainage Facility" within the Property at the Owner's sole expense in accordance with the standards, plans and specifications approved by the City pursuant to Drainage File No. G13/D16.

Perimeter concrete walls along the rear lot lines of all lots (8" minimum height.)

Flat grading of all lots, within the subdivision with no disturbance of established grades; and

Individual property owners responsible for acceptance of public street flows, and assurance of no cross-lot drainage.

The Drainage Facility is more particularly described on Sheet 3 of 4 of City Project # 4238.90, "Grading, Drainage & Paving Plan."

3. Maintenance of Drainage Facility. The Owner shall maintain the Drainage Facility at the Owner's sole cost in accordance with the approved Drainage Report and plans. In particular, the Owner shall maintain grades, concrete walls, and drainage on each individual lot so that runoff from any on-lot source will remain within the lot, accumulating away from building foundations, perimeter walls, sidewalks and streets. The Owner may install landscaping designed to increase the rate of percolation and evaporation.

The Owner may install lot irrigation systems, watering systems, or water using appliances, appurtenances, or equipment within each individual lot provided that any such system or equipment shall be designed, installed, and maintained to prevent overflow and runoff on to adjacent property. Irrigation from surface

*(of the Property)*  
\*\*\* The Owner has submitted and the City has approved the Property for preliminary plat under the proposed legal description of Manchester Farms Subdivision, Lots 1 through 16.

ditches or laterals of the Middle Rio Grande Conservancy District or its successors or assigns is not permitted within the Property.

The Owner shall construct, or cause to be constructed, all structures intended for human habitation within the Property such that the minimum finish floor elevation for the lower, or ground level floor, of each such structure is 4966.00 feet above mean sea level.

4. Benefit to Property. The Owner acknowledges and understands that the Drainage Facility required here to be constructed on the Owner's Property is for the private benefit or protection of the Owner's Property and that failure to maintain such facility could result in damage or loss to the Property.

5. Inspection of Drainage Facility. The City shall have no duty or obligation whatsoever to perform any inspection, maintenance or repair of the Drainage Facility, it being the duty of the Owner, its heirs, successors and assigns to construct and maintain the Drainage Facility in accordance with approved plans and specifications.

6. Liability of City. The Owner understands and agrees that the City shall not be liable to the Owner, its heirs, successors or assigns, or to any third parties for any damages resulting from the Owner's failure to construct, maintain or repair the Drainage Facility.

7. Indemnification. The Owner owns and controls the Drainage Facility and shall not permit the Drainage Facility constitute a hazard to the health or safety of the general public or to cause damage to public or private property. The Owner, its heirs, successors and assigns agree to indemnify, defend and hold harmless the City, its officials, agents and employees from any claims, actions, suits or other proceedings arising from or out of the negligent acts or omissions of the Owner, its agents, representatives, contractors or subcontractors or arising from the failure of the Owner, its agents, representatives, contractors or subcontractors to perform any act or duty required of the Owner herein; provided, however, to the extent, if at all, Section 56-7-1 NMSA 1978 is applicable to this Agreement, this Agreement to indemnify will not extend to liability, claims, damages, losses or expenses, including attorney's fees, arising out of (1) the preparation or approval of maps, drawing, opinions, reports, surveys, change orders, designs or specifications by the respective indemnitee, or the agents or employees of the respective indemnitee; or (2) the giving of or the failure to give direction or instructions by the respective indemnitee, where such giving or failure to give directions or instructions is the primary cause of bodily injury to persons or damage to property.

8. Assessment. Nothing in this Covenant shall be construed to relieve the Owner, its heirs, assigns and successors from an assessment against the Owner's Property for improvements to the Property under a duly authorized and approved Special Assessment District. The parties specifically agree that the value of the Drainage Facility will not reduce the amount assessed by the City.

9. Binding on Owner's Property. The covenants and obligations of the Owner set forth herein shall be binding on the Owner, its heirs, assigns and successors and on the Owner's Property and constitute covenants running with the Owner's Property until released by the City. This Covenant can only be

0007742

released by the City's Chief Administrative Officer with the concurrence of the City Engineer.

10. Entire Covenant. This Covenant contains the entire agreement of the parties with respect to this subject matter and supersedes any and all other agreements or understandings, oral or written, whether previous to the execution hereof or contemporaneous herewith.

11. Changes to Covenant. Changes to this Covenant are not binding unless made in writing, signed by both parties.

OWNER:

By: Clifford B. Wood  
Title: Owner  
Dated: 11-18-92

STATE OF New Mexico }  
COUNTY OF Bernalillo } SS

The foregoing instrument was acknowledged before me this 18<sup>th</sup> day of November, 1992, by Clifford B. Wood, Owner of Manchester Farms Subdivision.

Beth Standiford  
Notary Public

My Commission Expires: 5/19/96

CITY OF ALBUQUERQUE:

Approved:

By: Paul J. [Signature]  
Title: City Engineer  
Dated: 11/20/92

STATE OF NEW MEXICO  
COUNTY OF BERNALILLO  
FILED FOR RECORD

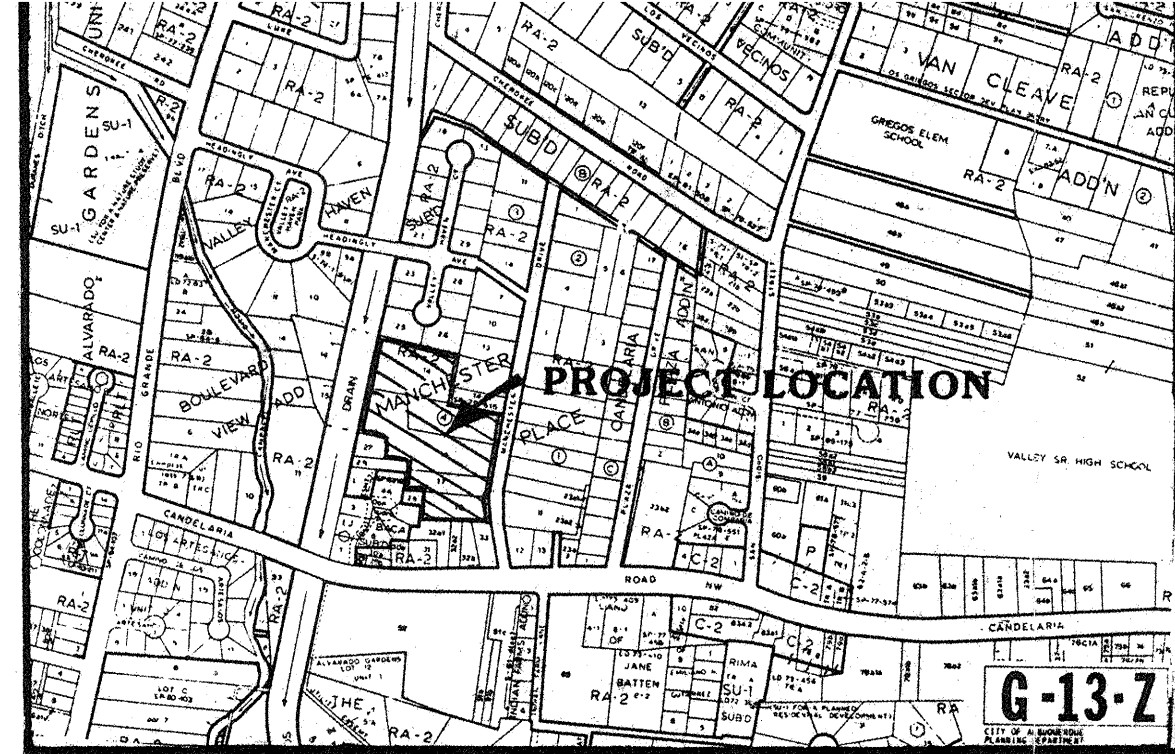
92 NOV 20 AM 11:08

92-27 7741-

GLADYS H. DAVIS  
CLERK & RECORDER  
PROPERTY

7743





VICINITY MAP

# DRAINAGE PLAN & REPORT

MANCHESTER FARMS SUBDIVISION IS A PROPOSED 16 LOT, SINGLE FAMILY DETACHED DWELLING UNIT DEVELOPMENT LOCATED IN THE NORTH VALLEY AREA OF ALBUQUERQUE, NEW MEXICO. THE SUBDIVISION IS 5.4 ACRES IN SIZE AND CURRENTLY AND TO REMAIN ZONED RA-2, 1/4 AC. MINIMUM. THE PLAN IS REQUIRED BY THE CITY SUBDIVISION ORDINANCE IN ORDER TO FACILITATE PRELIMINARY PLAT APPROVAL, AND SUBSEQUENTLY APPROVAL FOR BUILDING PERMIT. THE PROPOSED GRADING AND DRAINAGE PLAN SHOWS:

- 1.) EXISTING AND PROPOSED SPOT ELEVATIONS.
- 2.) EXISTING AND PROPOSED IMPROVEMENTS: SCHEMATIC DWELLING LAYOUT WITH MINIMUM FINISH FLOOR ELEVATIONS, DRIVEPADS, PUBLIC RESIDENTIAL STREET, MOUNTABLE CURB, AND A REQUIRED PERIMETER WALL FOR STORM WATER CONTAINMENT.
- 3.) CONTINUITY BETWEEN EXISTING AND PROPOSED ELEVATIONS.
- 4.) STORM RUN-OFF CALCULATIONS.

THE PURPOSE OF THE PLAN IS TO DEMONSTRATE THAT THE PROPOSED FINISH FLOOR ELEVATIONS SHOWN HEREON ARE ABOVE THE ORDINANCES DESIGN STORM WATER SURFACE LEVEL. SPECIFICALLY, THE PLAN DETERMINES THE RUN-OFF RESULTING FROM THE 100-YEAR, 6-HOUR STORM FOR BOTH THE EXISTING AND DEVELOPED CONDITIONS.

THE SITE IS BOUNDED ON THE EAST BY PAVED MANCHESTER DRIVE WITH ALL OTHER ADJACENT LANDS DEVELOPED AND ZONED RA-2. THE SITE IS GENERALLY FLAT WITH A SMALL DEPRESSION AREA LOCATED IN THE NORTHWEST PORTION. THE SOILS ARE CLASSIFIED BY THE BERNALILLO COUNTY SOILS SURVEY AS TYPE 'B', AGUA, Ag. THE PROPOSED SUBDIVISION IS NOT ENCUMBERED BY A DESIGNATED F.E.M.A. FLOODPLAIN, AS SHOWN ON PANEL 22 OF FLOODWAY MAPS ON FILE WITH CITY HYDROLOGY.

THE MAIN DRAINAGE CONCEPT DEPICTED HEREON (AND AGREED TO DURING CITY PRE-DESIGN CONFERENCES) IS TO PERMIT THE DEVELOPED RUN-OFF GENERATED FROM THE PUBLIC RIGHT-OF-WAY TO TRAVERSE TO THE IMMEDIATE ADJACENT LOTS, AND THENCE CONVEYED TO PROPOSED ELEVATIONS DESIGNATED ON INDIVIDUAL LOTS. A PERMANENT PERIMETER CUT-OFF WALL WILL BE REQUIRED TO BE CONSTRUCTED AROUND THE SUBDIVISION AS ASSURANCE THAT STORM WATER WILL BE COMPLETELY CONTAINED WITHIN THE DEVELOPMENT. NO OFFSITE FLOWS ENTER THE DEVELOPMENT.

HYDROLOGIC PROCEDURES AND CALCULATIONS OUTLINED HEREIN ARE IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE DEVELOPMENT PROCESS MANUAL (D.P.M.), VOLUME II, CHAPTER 22.

## CALCULATIONS

### I. DESIGN CRITERIA

Design Storm - 100 yr./6-hr.  
 $Q = CIA \dots$  Volumetric discharge rate... Rational Method  
 $Vol. = R.O.x A \dots$  Discharge Volume... SCS Method as outlined in Ch. 22, Vol. II, Development Process Manual, City of Albuquerque

$P_{100} = 2.2 \text{ in.}$   
 $TC = 0.0078 L * 0.77 + s * 0.385$   
 'C' (pavement) = 0.95 'C' (landscape) = 0.25  
 'C' (roof) = 0.90 'C' (undev.) = 0.40  
 Soil Type - Agua, Ag - Type 'B'

### II. EXISTING CONDITIONS

Site Area = 5.4 Ac. 'CC' = 0.45  
 $TC = 10 \text{ min.}$   $I_{100} = 4.65 \text{ in./hr.}$   
 $Q_{100} = 11.3 \text{ cfs}$   $Q_{10} = 7.4 \text{ cfs.}$   
 $CN = 61$   $R.O. = 0.50 \text{ in.}$   
 $Vol_{100} = 9801 \text{ C.F.}$   $Vol_{10} = 4410 \text{ C.F.}$

### III. DEVELOPED CONDITIONS

--FOR TYPICAL LOT DRAINAGE BASIN

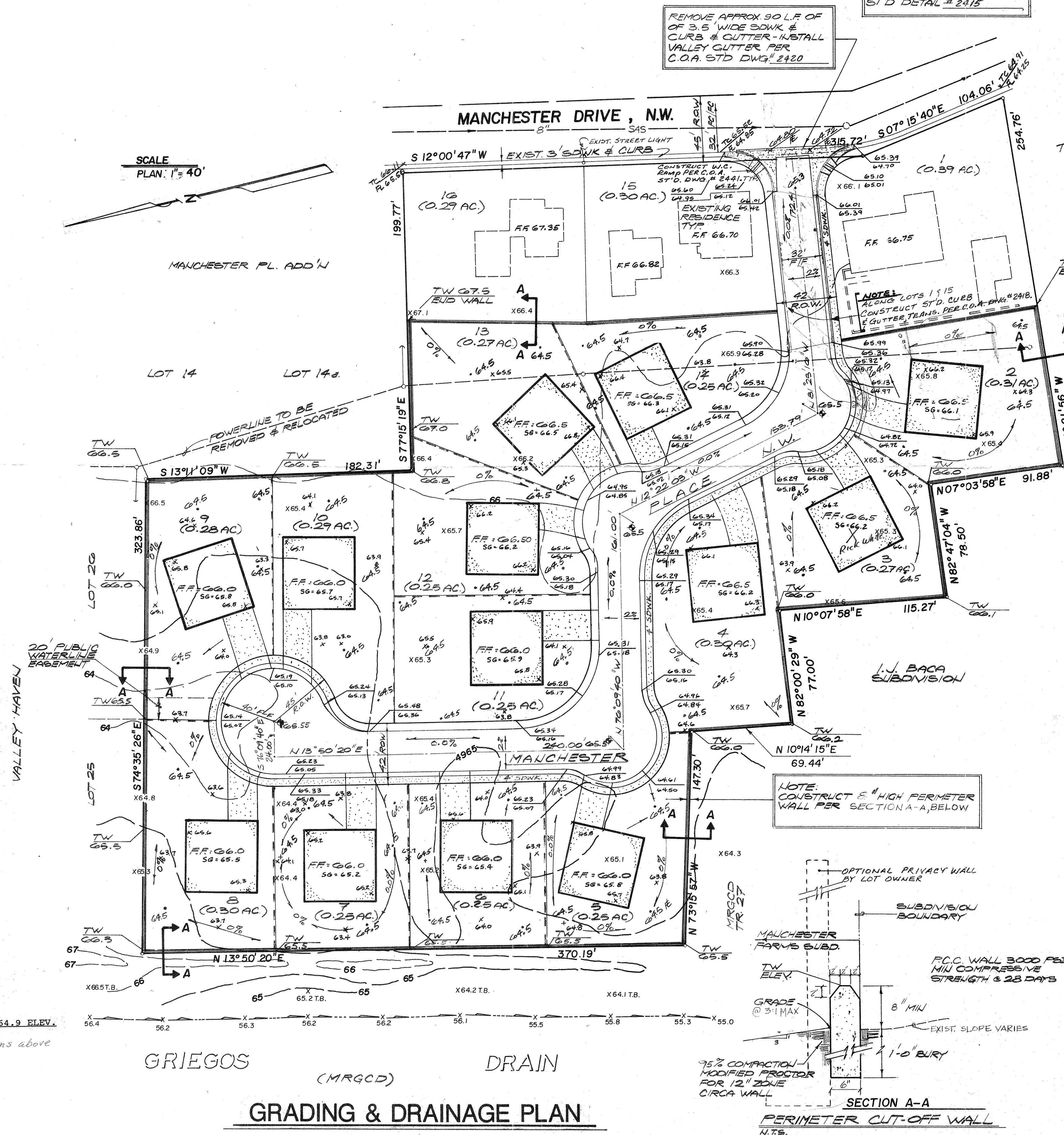
0.34 Ac. Lot maximum + street frontage  
 0.10 Ac. pavement/roof/street frontage  
 0.12 Ac. landscape  
 0.12 Ac. undeveloped  
 0.34 Ac. total

'CC' =  $0.10(0.92) + 0.12(0.25) + 0.12(0.40) \div 0.34$   
 'CC' = 0.50, 'CCN' = 75, R.O. = 0.51 in.  
 $Q(100) = 0.79 \text{ cfs}$   $Q(10) = 0.51 \text{ cfs}$   
 $Vol(100) = 617 \text{ cf}$   $Vol(10) = 250 \text{ cf}$

### IV. TYPICAL LOT CALCS. (LOT 7)

$Vol_{100} = 0.6 (.3) \frac{2.2}{0.4} = 653 \text{ C.F.}$   
 $Vol_{100} = 0.4 (.4) \frac{2.2}{0.4} = 706 \text{ C.F.}$   
 THEREFORE: 100 YR. -W.S.(D=0.4') = 64.9 ELEV.  
 Note: All house pad elevations above 64.9 min. pvc

PLACE ADDITION, BERNALILLO COUNTY, ALBUQUERQUE, NM.  
 PROJECT BENCHMARK : "7-G13", A CHISLED SQUARE IN TOP OF CURB AT THE EAST NORTHEAST RETURN OF THE INTERSECTION OF CANDELARIA ROAD NW AND MANCHESTER DRIVE NW. ELEVATION = 4964.43 (MSLD).  
 PROPERTY ADDRESS : 3727 MANCHESTER DRIVE NW, ALBUQUERQUE, NM.  
 TOPOGRAPHIC SURVEY : INFORMATION SHOWN WAS COMPILED FROM SURVEY PERFORMED BY ALDRICH LAND SURVEYING CO. DATED JULY 1989.



CONSTRUCT ESTATE TYPE MOUNTABLE CURB WITHIN SUBDIVISION PER C.O.A. STD DETAIL # 2415

CONSTRUCT ASPHALT PAVING WITHIN SUBDIVISION PER C.O.A. ESTATE TYPE PAVEMENT SECTION STD DETAIL # 2406

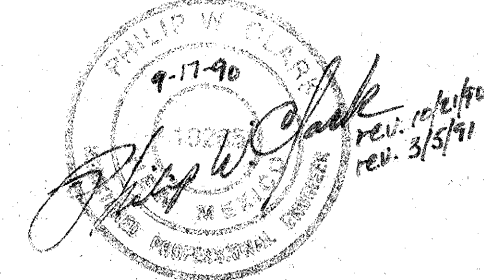
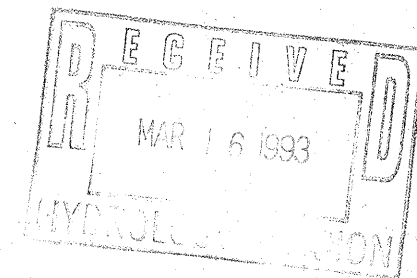
## GENERAL NOTES:

1. LOT OWNERS WILL BE REQUIRED TO CONSTRUCT A MINIMUM 6 INCH WALL ON SIDE LOT LINES SIMILAR TO DETAIL BELOW.
2. INDIVIDUAL LOT OWNERS WILL BE RESPONSIBLE FOR COMPLIANCE AND DRAINAGE RESTRICTIONS OF DRAINAGE COVENANT ON FILE WITH CITY OF HYDROLOGY.
3. INDIVIDUAL LOTS ARE TO ACCEPT STREET DRAINAGE ON LOT.
4. LOTS 1, 15, & 16 ARE EXISTING LANDSCAPED DEVELOPED LOTS. DRAINAGE ON THESE LOTS IS RETAINED IN LANDSCAPING AT THIS TIME.
5. THE ENTRANCE ACTS AS AN EMERGENCY SPILLWAY. STORM RUN-OFF IN EXCESS OF DESIGN STORM WILL EXIT TO MANCHESTER DRIVE.

I, PHILIP W. CLARK, REGISTERED PROFESSIONAL ENGINEER IN THE STATE OF NEW MEXICO, DO HEREBY CERTIFY THAT THE SUB-GRADE RESIDENTIAL PAD ELEVATIONS WERE CONSTRUCTED TO THE GRADES SHOWN HEREON, AND FURTHER ATTEST THAT THE GRADING AND DRAINAGE IS IN SUBSTANTIAL COMPLIANCE WITH THE APPROVED PLAN, WITH MINOR REVISIONS CONTAINED HEREIN.  
 (16 Subgrade Pad elevs, Misc. spot elevs, Add'l Curb elevs) P.W.C. 3/25/93  
 PHILIP W. CLARK, P.E. N.M.P.E. # 10265

## LEGEND

- 4965 EXISTING CONTOURS
- 64.72 EXISTING SPOT ELEVATION
- EXISTING SWALE
- TW TOP OF WALL W/ELEVATION
- NEW CONCRETE OR ROOF
- PRIVATE SIDEYARD WALL
- 64.5 NEW SPOT ELEVATION
- F.F. 66.5 MINIMUM FINISH FLOOR ELEVATION
- T.C. TOP OF CURB
- E FLOWLINE
- SG SUBGRADE (AS-BUILT)
- 63.4 Spot elev. (AS-BUILT, HAND LETTERED)



CITY OF ALBUQUERQUE  
 PUBLIC WORKS DEPARTMENT  
 ENGINEERING GROUP

TITLE: MANCHESTER FARMS SUBDIVISION OVERALL GRADING, DRAINAGE AND PAVING PLAN					
APPROVALS	ENGINEER	DATE	APPROVALS	ENGINEER	DATE
D.R.C. Chair	Philip W. Clark	4-29-91	Water	William	4-29-91
Transportation	Philip W. Clark	4-29-91	Waste Water	William	4-29-91
Hydrology	Philip W. Clark	4-29-91	Parks & Rec.	N/A	
DRAWING NO.	4238.90	MAP NO.	G-13	SHEET	3 OF 4