

August 12, 1998

Marvin Kortum
1605 Speak Man Drive SE
Albuquerque, New Mexico 87123

G-13/D18

RE: Cottonwood Commons Development

Dear Marvin:

This is in response to your letter dated July 24, 1998 concerning the amendment process. You are correct in stating that the system can be cumbersome, but it is necessary for the records as to what has been approved by the City and what is being built. You brought up several specific issues which I will address.

Your client chose to develop his property as a Private Commons Development (PCD) which requires approval of a site development plan. Your client wants to move two houses which triggered an amendment to the approved site plan, revised grading plan, as well as a vacation of the recently platted private access easement and a re-plat. The vacation was approved by DRB on July 21, 1998. At that meeting, DRB explained the remaining process. I understand the required submittals were made on August 4, 1998 and your client is scheduled to go before the DRB on August 11 for the re-plat and approval of the revised grading plan. I also understand that the amendment to the site plan is being handled as an administrative amendment through the Planning Department.

Regarding your request for assistance in obtaining a building or foundation permit, this office does not control such permits. Consequently, our authority to expedite such permits are limited to flood plain reviews. Permits for such approvals are obtained through the Code Enforcement Division.

Timely reviews are the City's goal, however, it is important that the applicant take into consideration the volume of reviews required of this office and the deadlines that go with each submittal. Your understanding of this situation will allow you to advise your clients accordingly, to avoid expectations that are not reasonable. Your cooperation in this effort will go a long way to eliminate the frustration experienced not only by your client but by City staff.

Sincerely,

Larry Blair, Director
Public Works Department

Good for You, Albuquerque!



Marvin R Kortum
1605 Speakman Drive SE
Albuquerque, New Mexico 87123
NMPE 6519
(505) 299-0774

July 21, 1998

City of Albuquerque
Hydrology Section
Public Works Department
Albuquerque, New Mexico 87103

REFERENCE: Grading and Drainage Plan, Cottonwoods subdivision,
located in the southeast quadrant at the intersection of Rio Grande
Boulevard and Campbell Road, NW, Albuquerque, New Mexico.
(G13/D18, DRB No. 96-584)

Dear Fred Aguirre:

Attached is a revision to the Grading and Drainage Plan for
the referenced project. The Grading and Drainage plan was approved
February 4, 1997. The revision shows a change in the outline of
the house pads for lots 7 and 8.

The reason for the revision is that the owners are unable to
obtain a building permit because some agency within the City of
Albuquerque believes that the house locations for the building
permit did not agree with the approved plan. It was the intent of
the Grading and Drainage plan as submitted and approved that the
locations shown on the drawings were general, with specific
dimensions and details to be shown on the Architectural drawings
(see note E on the approved Grading and Drainage Plan.

~~Is~~ ^{Is} there is some reason that these minor changes by the owner
that do not conflict with the approved Grading and Drainage plan
must be shown on revised drawings. To avoid further delays I would
appreciate your specific guidance and regulations on this subject.

The changes proposed by the owner/builder do not significantly
alter drainage or grading as shown on the approved plans.

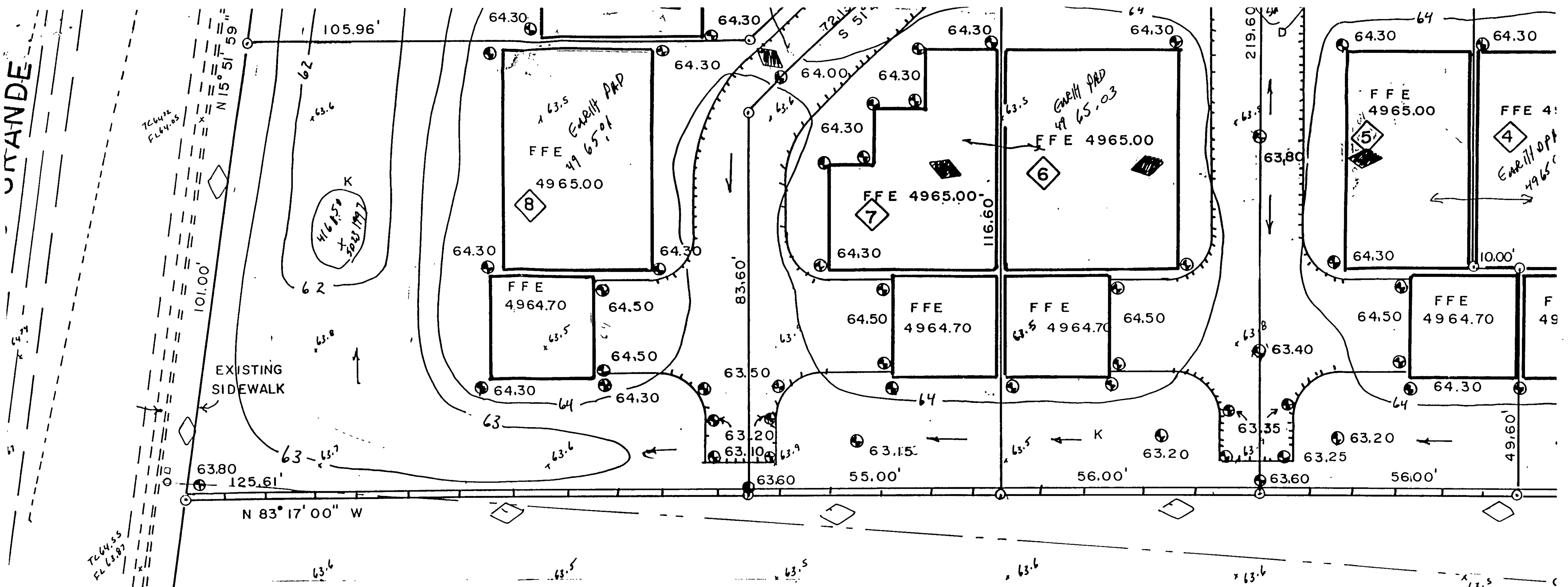
I appreciate your prompt review of the previous submittal, and
hope for your earliest consideration of the attached drawings.

Thank you.

Sincerely,

Marvin R Kortum

✓ cc: Hap Crawford, Adobe Masters
M: 235-1480, 890-5601



NOTES

A West entrance, see details, sheet 2, and drawings 2426, private entrance details, and 2441, wheel chair ramp, City of Albuquerque Standard Specifications for Public Works.

B East entrance, see details, sheet 2, and drawings 2426, private entrance details, and 2441, wheel chair ramp, City of Albuquerque Standard Specifications for Public Works.

C Street section according to drawing 2406, City of Albuquerque Standard Specifications for Public Works, with estate type mountable curb.

D Driveways and garage aprons may be surfaced with gravel or with impervious surface. Runoff estimates are based on impervious surfaces.

E House dimensions and locations as shown are general. Locations shown on lot lines are zero setback for each side of lot line. See Architectual PLans for details.

F Elevations of building pads are based on slab on grade housing. Building pad elevations as constructed (Finished Floor Elevations) may be higher than shown. Auxiliary impervious areas, such as patios, garden paths, gazebos, etc. may be placed at elevations which will be flooded during heavy precipitation, thus not increasing the ponding capacity.

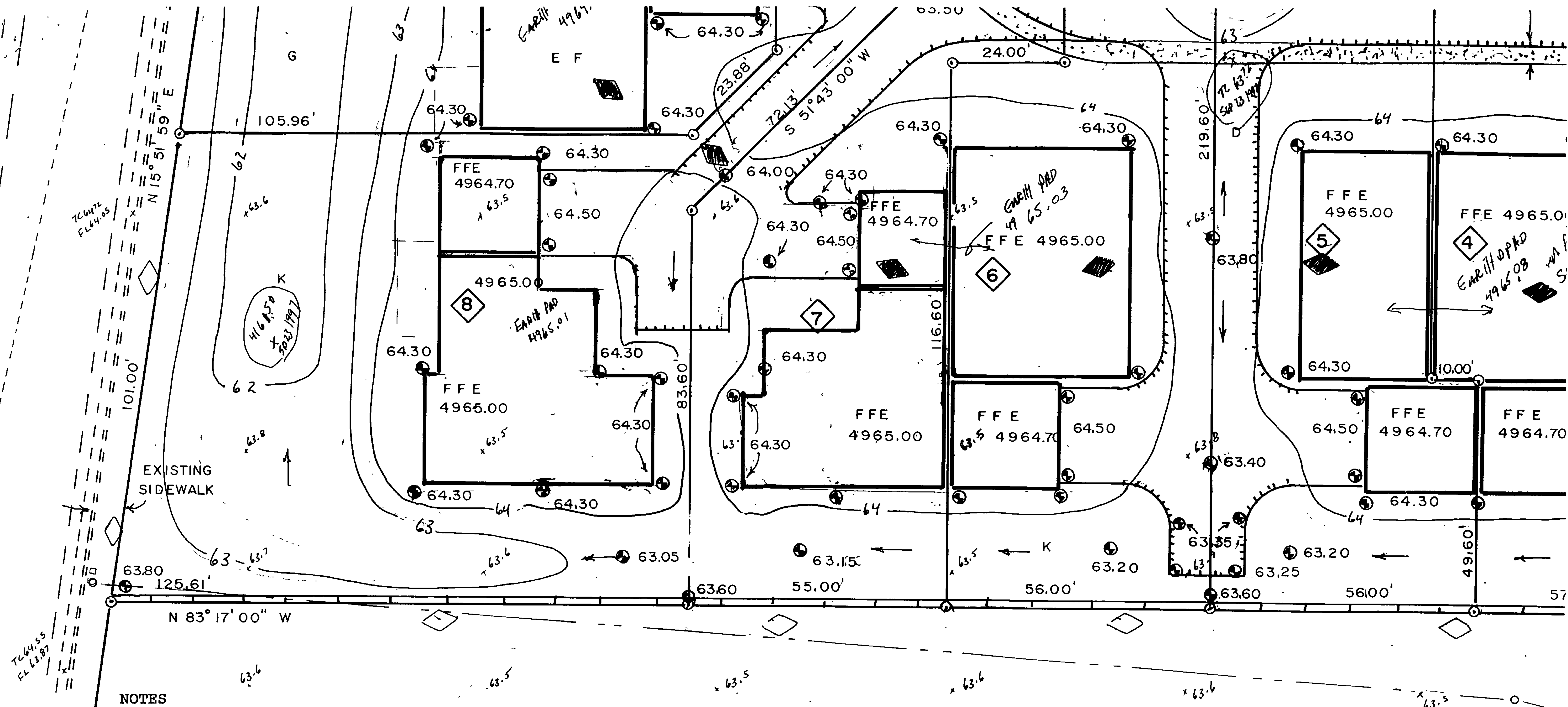
H Privacy fences or walls may be constructed on the east and south subdivision property lines. Fences or walls shall not prevent cross flow runoff from the adjacent property.

J All cut and fill slopes and constructed drainage swales are to be provided with an erosion control surface by developer/owner. Coverings may be turf, rock, terraced with garden walls or timbers or similar according to the landscape plan. Erosion control may be provided by seeding with a native grass mixture as follows:

Common name	Genius-species	Pounds/Acre
"Palma"	Oryzopsis	
Indian rice grass	Hymenoides	2.0
"Viva" Galleta grass	Hilaria Jasmesii	2.0
"Niner" Sideoates Gramma	Bouteloua curti Pedula	2.0
"Hatchita" Blue Gramma	Bouteloua Gracilis	3.0
Sand dropseed (NM Region)	Sporbolus Cryptandrus	1.0
Four-wing Saltbrush	Atripel Canesoens	1.0

BGFORG Revision

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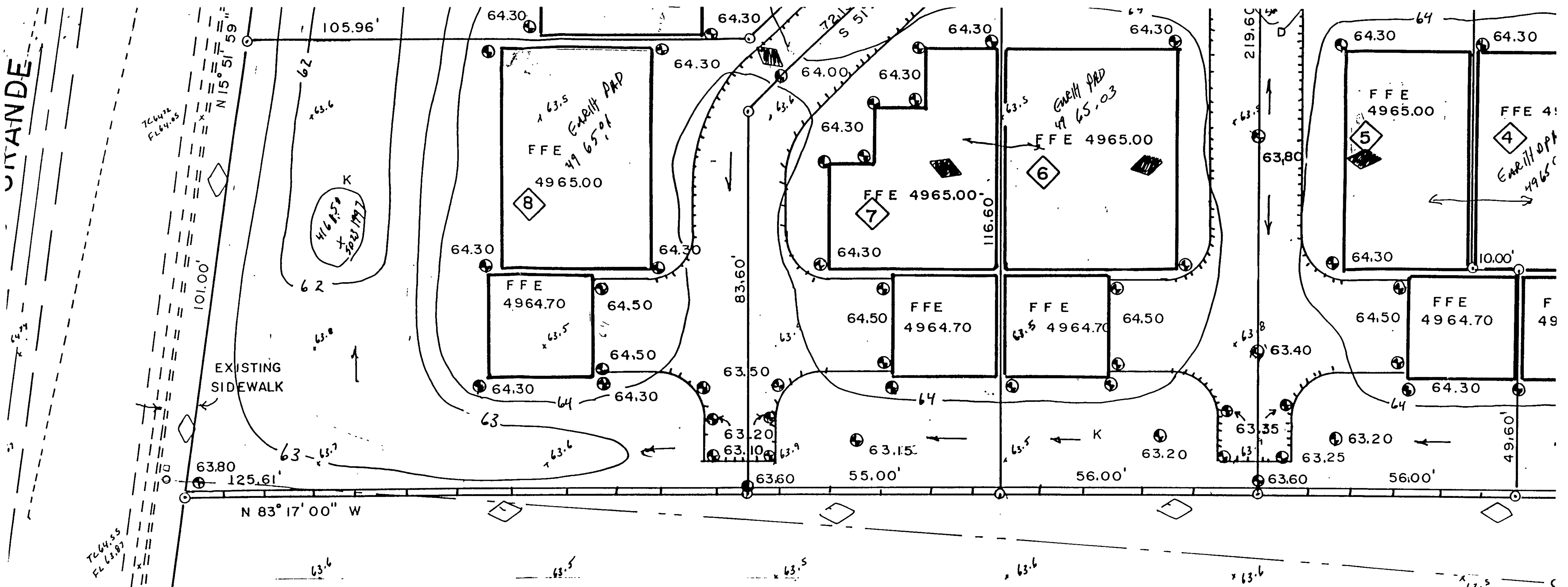
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- A West entrance, see details, sheet 2, and drawings 2426, private entrance details, and 2441, wheel chair ramp, City of Albuquerque Standard Specifications for Public Works.
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AFTER REVISION
July 22 1998

- H Privacy fences or walls may be constructed on the east and south subdivision property lines. Fences or walls shall not prevent cross flow runoff from the adjacent property.
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- M All c except t

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- F Elevations of building pads are based on slab on grade housing. Building pad elevations as constructed (Finished Floor Elevations) may be higher than shown. Auxiliary impervious areas, such as patios, garden paths, gazebos, etc. may be placed at elevations which will be flooded during heavy precipitation, thus not

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Sand dropseed (NM Region)	Sporobolus Cryptandrus	1.0
Four-wing Saltbrush	Atriplex Canesoens	1.0

BEFORE REVISION

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City of Albuquerque

P. O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

PUBLIC WORKS DEPARTMENT

LARRY A. BLAIR, P.E.

DIRECTOR

ROUTING AND TRANSMITTAL FORM

DATE:

7/24/98

☒

Response for My Signature

☐

Mayor Baca

☐

Prepare response for (Mayor/CAO)

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Rael

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Call Upon Receipt

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Fisher

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Please Discuss With Me

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Castillo

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E-Mail Comments

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Bowman

☐

Read & Pass On

PWD/ASST. DIRECTOR

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Chavez

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Process

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Crandall

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File/Toss

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Doyle

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Post

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Giron

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For Your Information

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Harmon

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Fax to: _____

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Robinson

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Coordinate response with: _____

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Stomp

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Wilcox

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Copies to: _____

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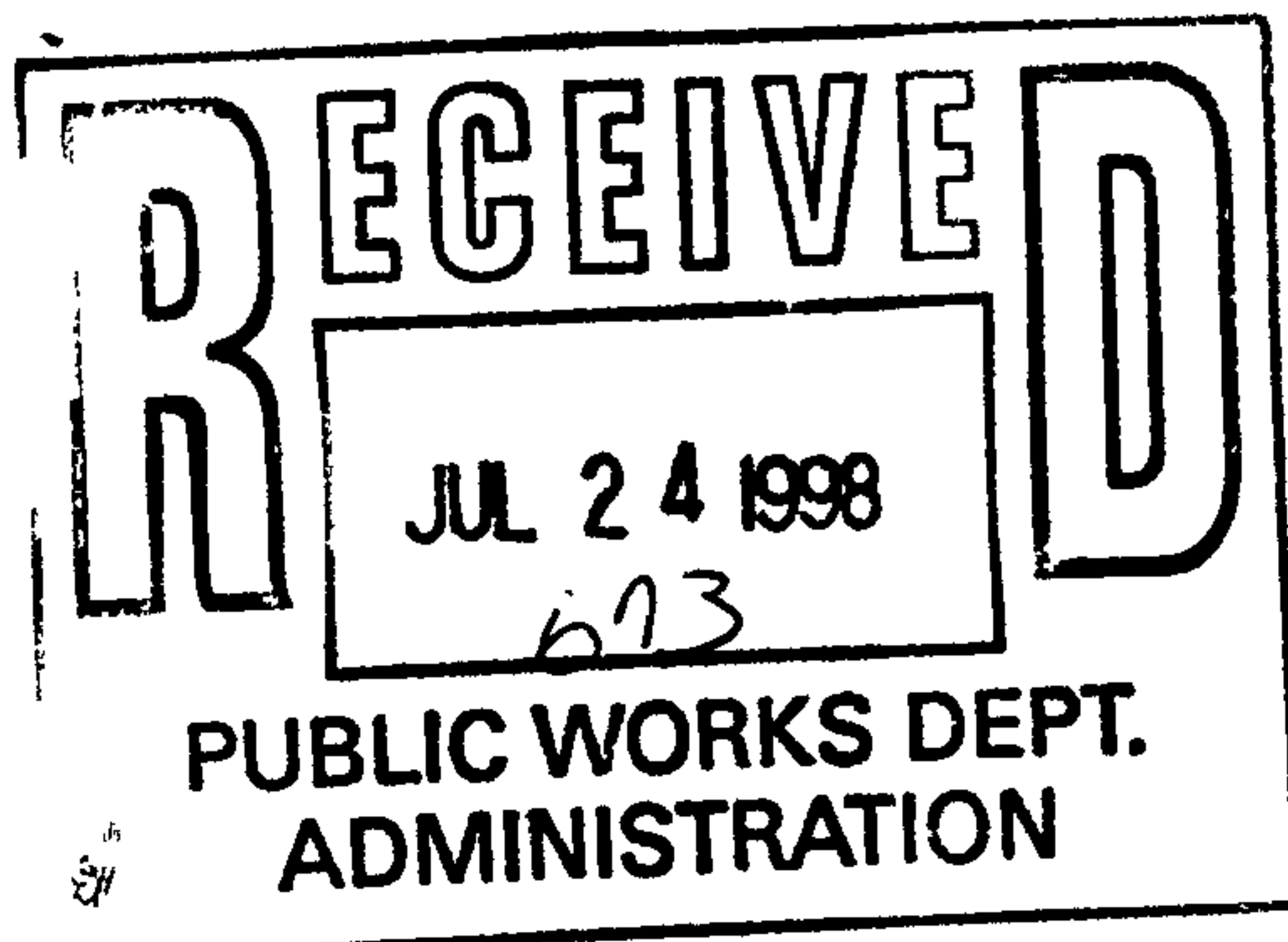
Comments: _____

REQUIRED BY: _____

INITIALS: _____

Rel





Marvin R Kortum
1605 Speakman Drive SE
Albuquerque, New Mexico 87123
NMPE 6519
(505) 299-0774, M:259-8838

July 24, 1998

City of Albuquerque
Director of Public Works
Public Works Department
Albuquerque, New Mexico 87103

REFERENCE: Building Permit and Grading and Drainage Plan, Cottonwoods subdivision, located in the southeast quadrant at the intersection of Rio Grande Boulevard and Campbell Road, NW, Albuquerque, New Mexico. (G13/D18, DRB No. 96-584)

Dear Mr. Blair:

This letter requests your assistance in obtaining the release of a building permit for the Cottonwoods subdivision.

The referenced Grading and Drainage plan was approved February 24, 1997, for a 9 lot subdivision platted to Public Commons Area zoning criteria. On the Grading and Drainage plan, typical building sites were drawn, generally following the required setbacks and access easements. On the plan was a note, E, stating that "The house locations shown are general...See Architectural Plans for details". Subsequently house plans were developed for lots 7 and 8 based on the buyers requirements. These plans show the houses within the setbacks, but with different outlines from the original plan. A specific change was placing the garages on the north side of the houses, from the south side.

Several weeks ago one of the owners, Char Crawford, attempted to get a building permit for one of the lots. The building department said that the permit could not be issued because the driveway easement would have to be changed. Guidance from Kym Dicome was that approval for such a change would have to be made by DRB. At the DRB meeting a couple of weeks later, Char Crawford told me that Fred Aguirre said that a revision to the Grading and Drainage plan would also be required due to the different house outline. On July 22, 1998, I prepared the requested change, and the letter stating the reason for the change, which I gave to Hap Crawford to take to the city as I would not be available on July 23, 1998. Hap gave the letter to Fred Aguirre, with the expectation of a timely review in order that the building construction could be started. Hap Crawford told me last night that he was very disappointed with Fred Aguirre's response after he read the letter, and the apparent lack of an approval.

I do not understand the need for the continuous staff reviews and the resultant delays. The access easement should not have been an issue delaying the start of construction because the proposed building did not infringe on the easement. Vacation of the easement could probably have been a requirement to be met prior to a Certificate of Occupancy. Likewise for the revision of the Grading and Drainage plan. The minor changes to the building outlines resulted in no changes to the overall subdivision drainage plan, and insignificant changes in the individual lot drainage, changes no greater than one may expect from owners routine landscaping or other homeowner uses.

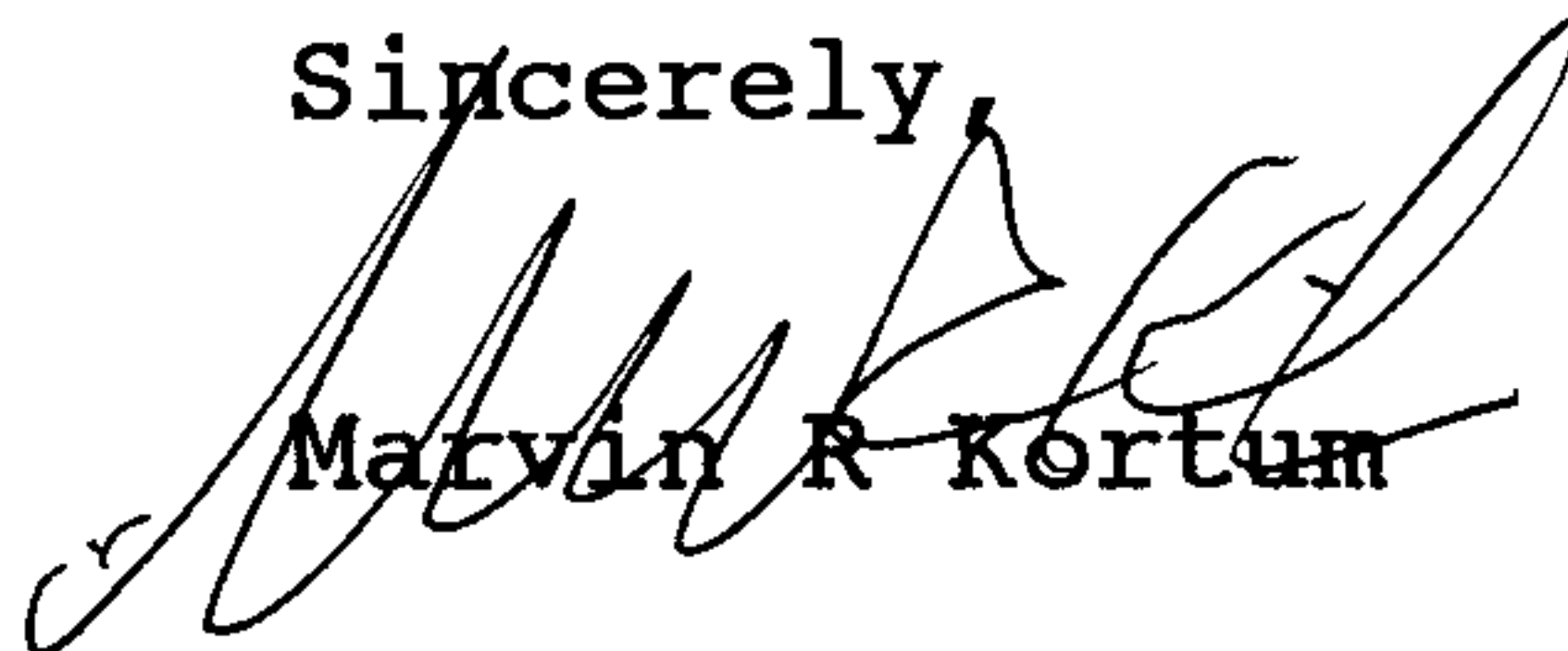
I am particularly disappointed by Fred Aguirre's response to Hap Crawford, especially after both the owners and myself have responded quickly to what appear to be trivial requirements. I realize that the Hydrology Section is trying to function with a reduced staff, and the increased stress is surely taking its toll. Perhaps it is time to reduce the workload on the city staff by letting the builders and homeowners have some authority and responsibility.

At any rate, I would appreciate your assistance in obtaining the building permit (foundation permit) release.

Attached are copies of the lot 7 and 8 before and after the revisions.

Thank you.

Sincerely,

A handwritten signature in dark ink, appearing to read 'Marvin R. Kortum', is written over the typed name.

Marvin R Kortum

cc: Hap Crawford and Char Crawford, Adobe Masters
M: 235-1480, 890-5601



August 6, 1998

Marvin Kortum, P.E.
1605 Speakman Dr. SE
Albuquerque, NM 87123

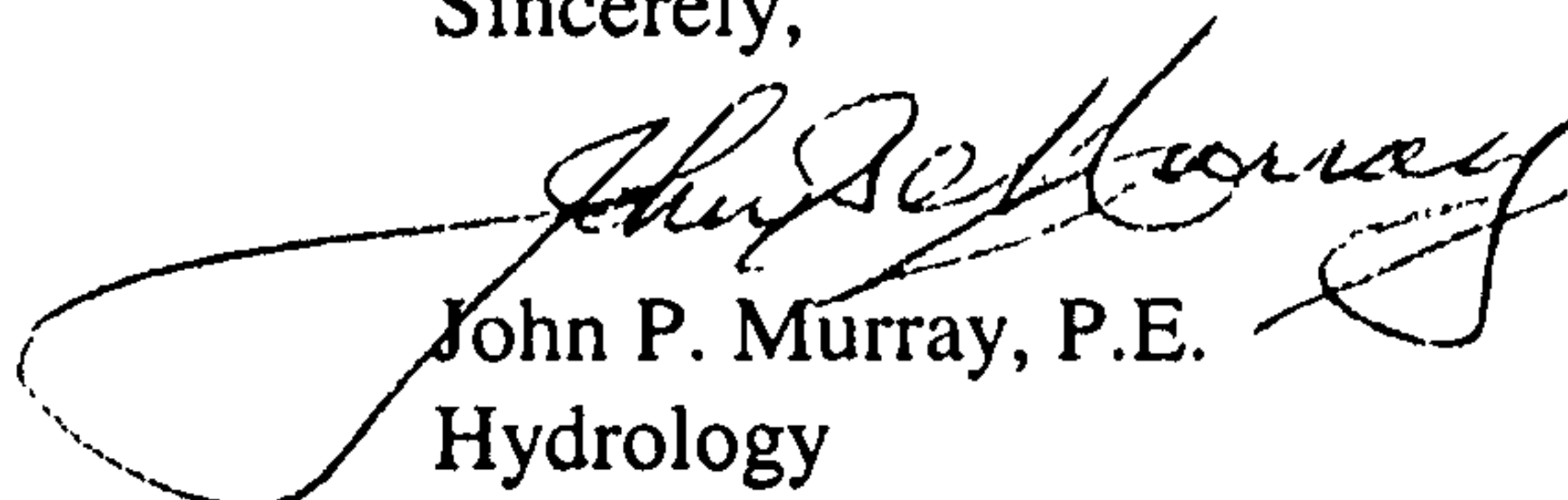
**RE: COTTONWOODS SUBDIVISION (G13-D18). GRADING AND DRAINAGE PLAN
FOR APPROVAL OF AMENDMENT TO SITE PLAN AND THE GRADING AND
DRAINAGE PLAN. ENGINEER'S STAMP DATED JULY 21, 1998.**

Dear Mr. Kortum:

Based on the information provided on your July 23, 1998 submittal, the above referenced project is approved for the amendment to the Site Plan and the Grading & Drainage Plan.. The garages for residences Nos. 7 and 8 are now on their north side with the footprint of No. 8 becoming a mirror image of No. 7 (It had had a rectangular footprint.). Said amendment does not adversely affect the Grading and Drainage Plan.

If I can be of further assistance, please feel free to contact me at 924-3984.

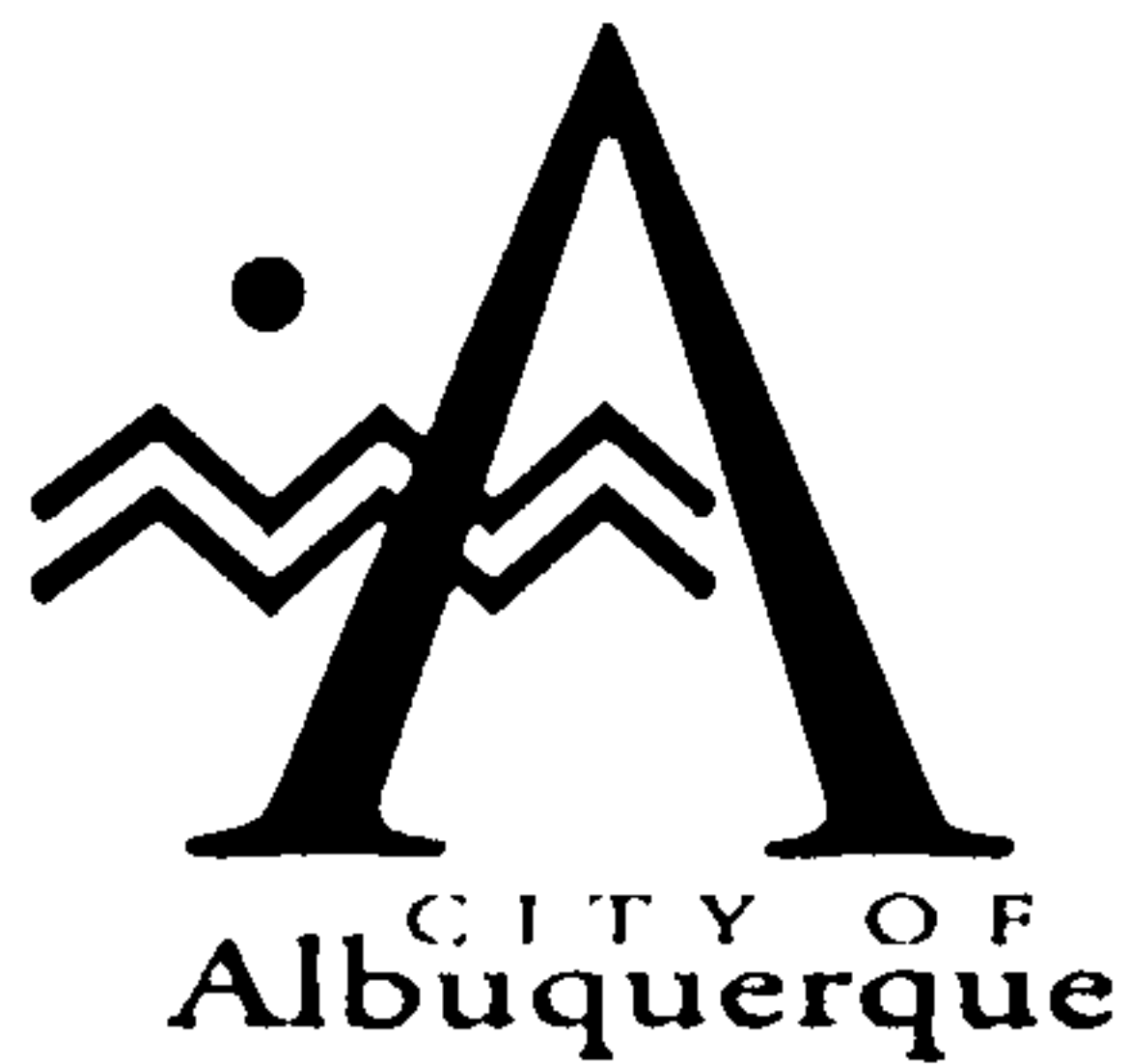
Sincerely,


John P. Murray, P.E.
Hydrology

c:  Andrew Garcia
File

Good for You, Albuquerque!





March 21, 1997

Martin J. Chávez, Mayor

Marvin Kortum
1605 Speakman Drive SE
Albuquerque, NM 87123

RE: COTTONWOODS SUBDIVISION (G13-D18). GRADING AND DRAINAGE PLAN
FOR PRELIMINARY AND FINAL PLAT APPROVAL. ENGINEER'S STAMP
DATED MARCH 19, 1997.

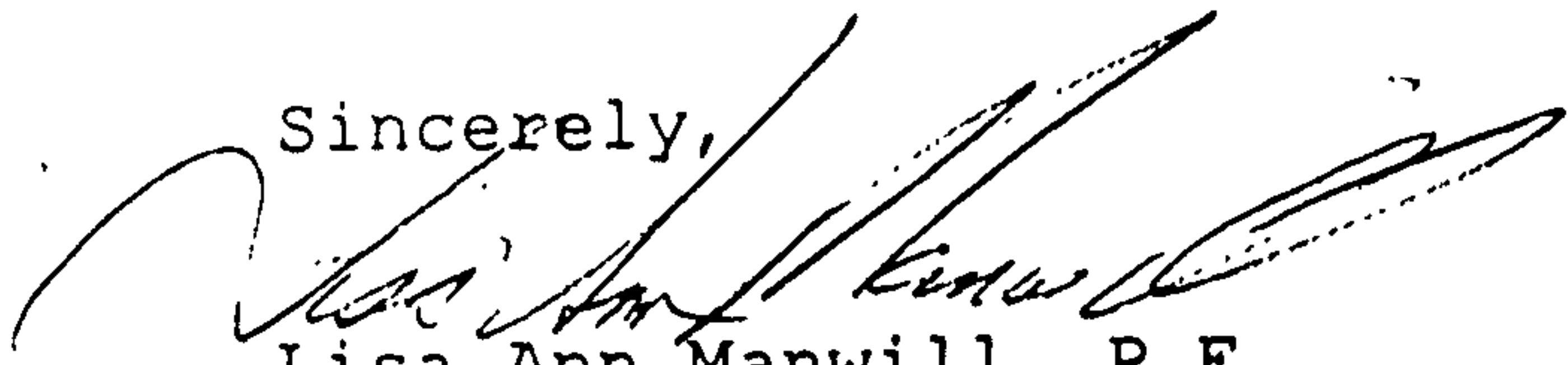
Dear Mr. Kortum:

Based on the information provided on your March 20, 1997 submittal,
the above referenced project is approved for Preliminary and Final
Plat.

An Engineer's Certification for grading and drainage will be
required prior to release of financial guarantees. Please be
certain to provide as built elevations for the ponds, storm drain
pipe, finish pads, along the south side of the subdivision, and
spillway.

If I can be of further assistance, please feel free to contact me at
924-3984.

Sincerely,



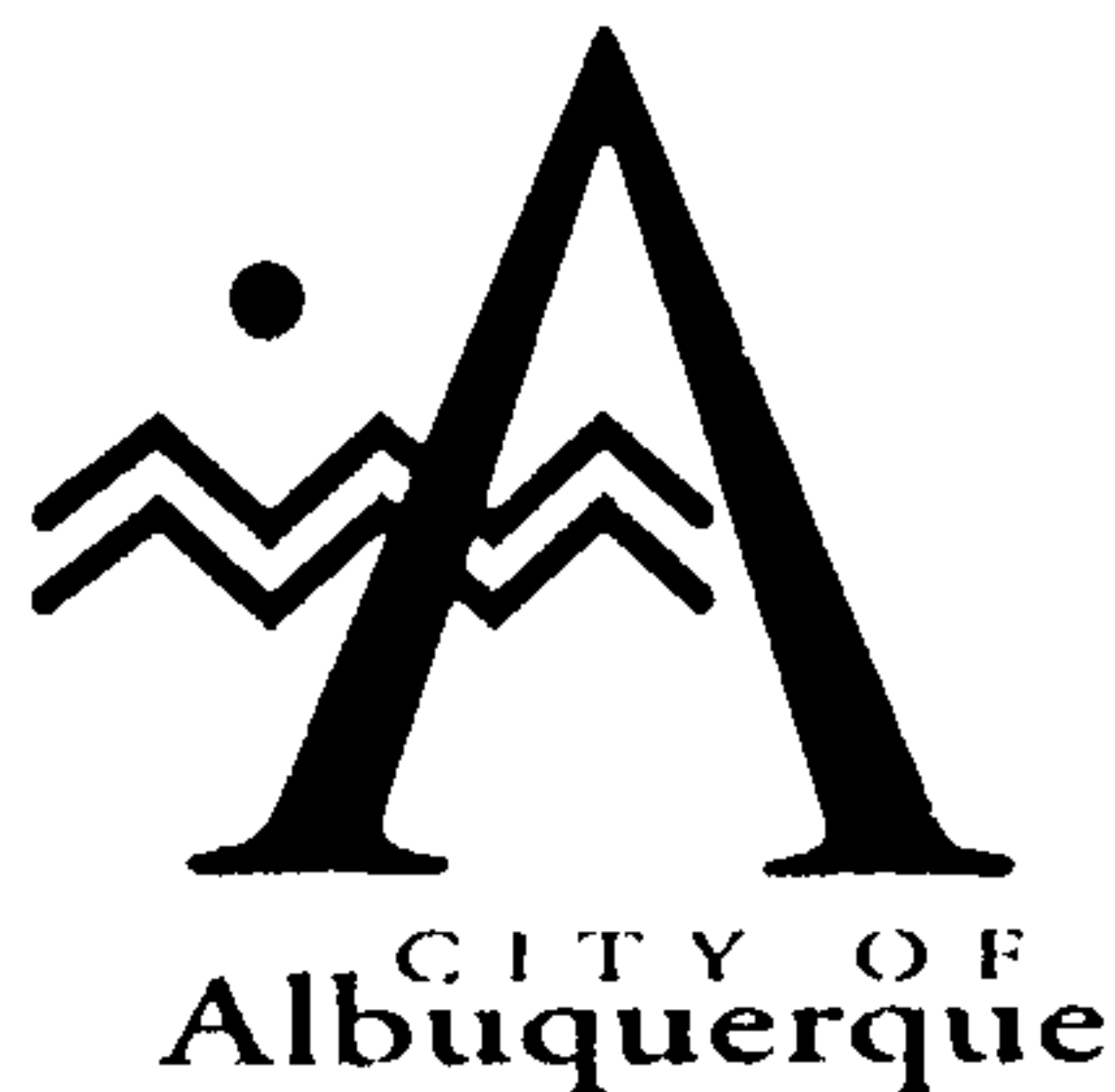
Lisa Ann Manwill, P.E.
Engineering Assoc./Hyd.

c: Andrew Garcia
File

Good for You, Albuquerque!

P.O. Box 1293, Albuquerque, New Mexico 87103





October 9, 1997

Martin J. Chávez, Mayor

Marvin Kortum, P.E.
1605 Speakman Dr. SE
Albuquerque, NM 87123

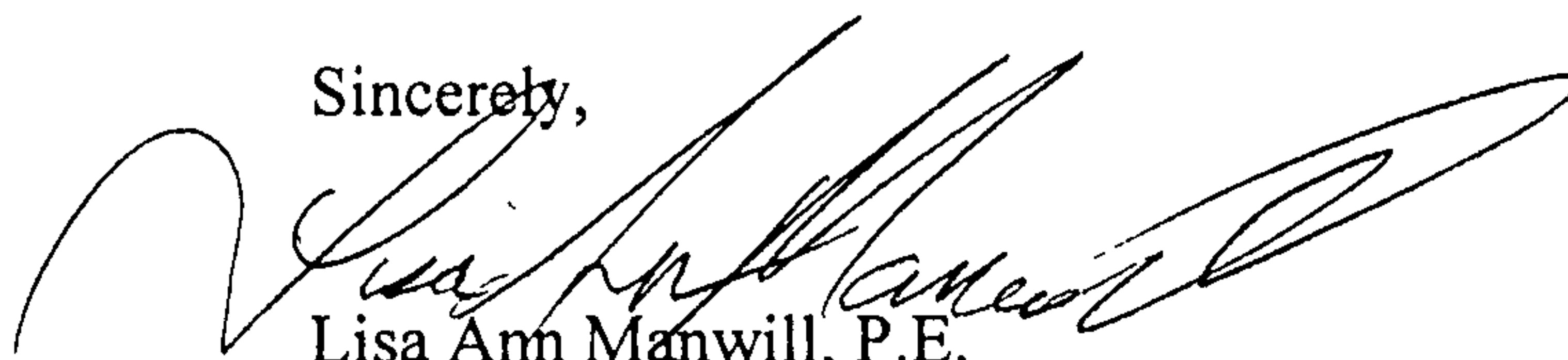
**RE: COTTONWOODS SUBDIVISION (G13-D18). ENGINEER'S CERTIFICATION
FOR SUBDIVISION CERTIFICATION. ENGINEER'S CERTIFICATION DATED
SEPTEMBER 23, 1997.**

Dear Mr. Kortum:

Based on the information provided on your September 23, 1997 submittal, the above referenced project is acceptable by City Hydrology for Subdivision Certification.

If I can be of further assistance, please feel free to contact me at 924-3984.

Sincerely,

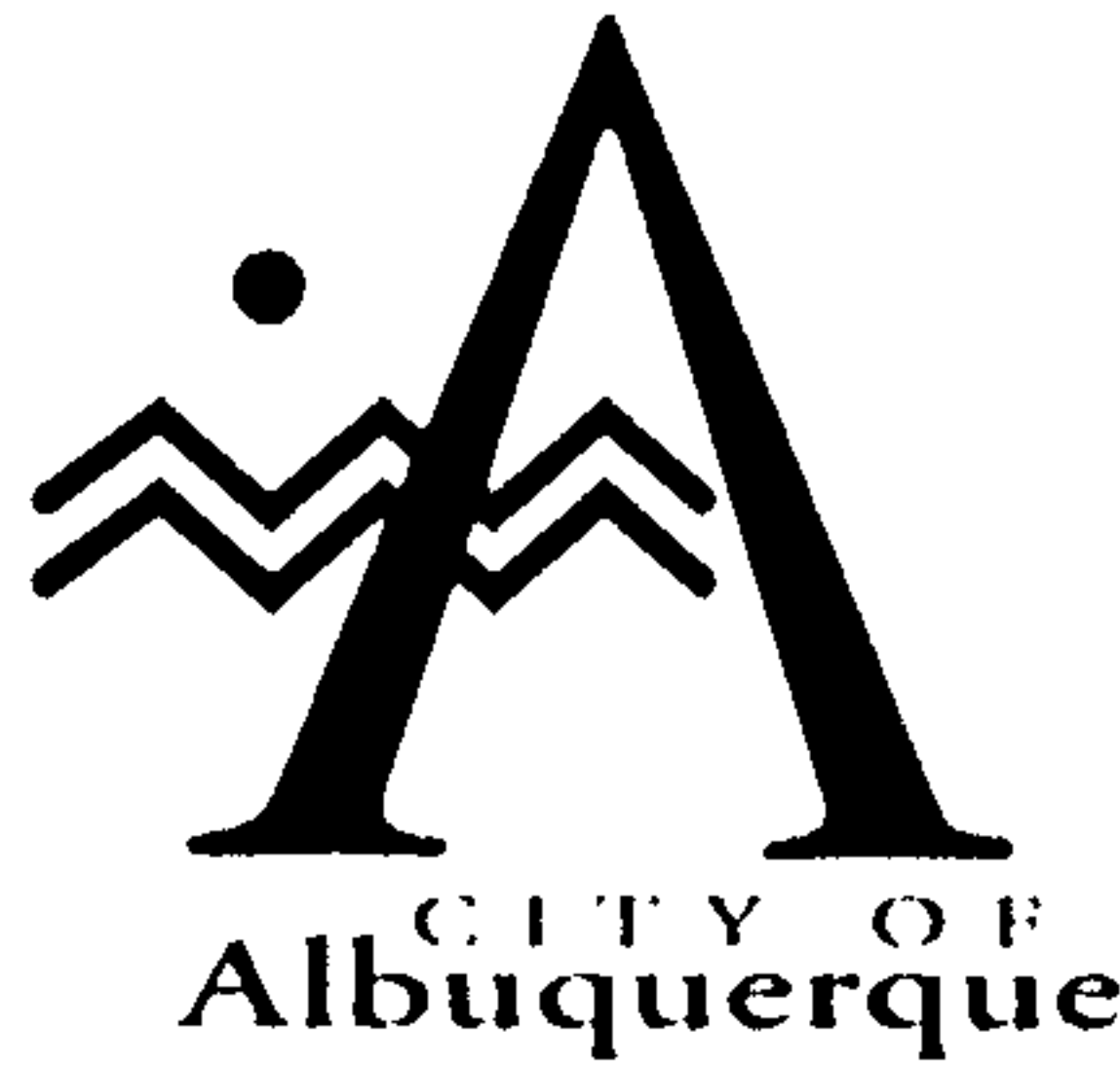


Lisa Ann Manwill, P.E.
Hydrology

c: Andrew Garcia
File

Good for You, Albuquerque!





Public Works Department

March 18, 1997

Martin J. Chávez, Mayor

Robert E. Gurulé, Director

Marvin Kortum
1605 Speakman Drive SE
Albuquerque, NM 87123

RE: COTTONWOODS SUBDIVISION (G13-D18). GRADING AND DRAINAGE PLAN
FOR PRELIMINARY AND FINAL PLAT APPROVAL. ENGINEER'S STAMP
DATED FEBRUARY 3, 1997.

Dear Mr. Kortum:

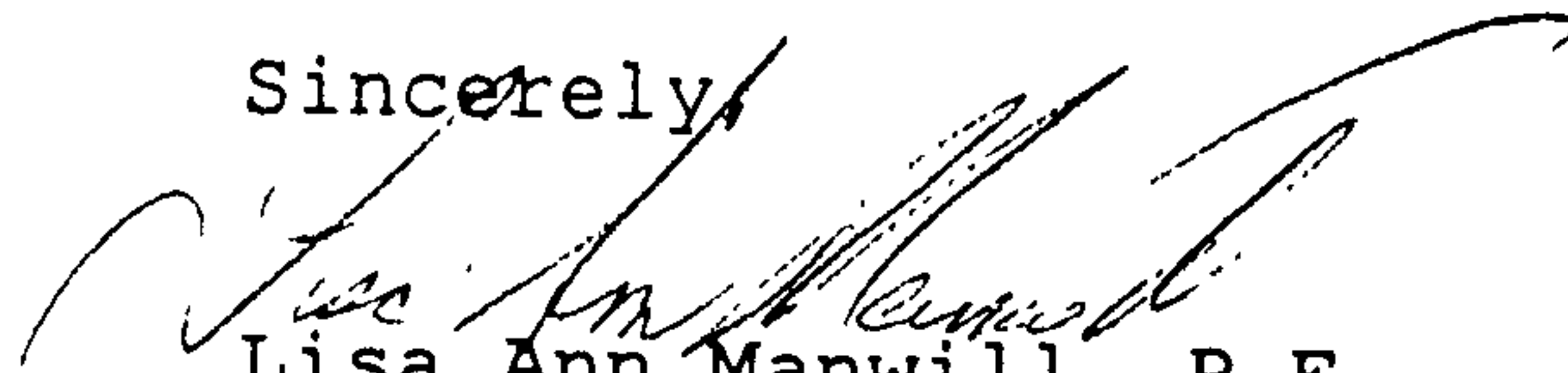
Based on the information provided on your March 5, 1997 submittal, I am unable to approve the above referenced project for Preliminary or Final Plat. Your resubmittal has the same stamp date as your previous submittal, even though the drawings (sheet 1 and 2 of 3) were modified.

As soon as you are able to submit drawings with the new stamp date, please call me. Assuming you do not make any changes, other than update the engineer's stamp, this project can be reviewed in a timely manner.

An Engineer's Certification for grading and drainage will be required prior to release of financial guarantees. Please be certain to provide as built elevations for the ponds, storm drain pipe, finish pads, along the south side of the subdivision, and spillway.

If I can be of further assistance, please feel free to contact me at 924-3984.

Sincerely,



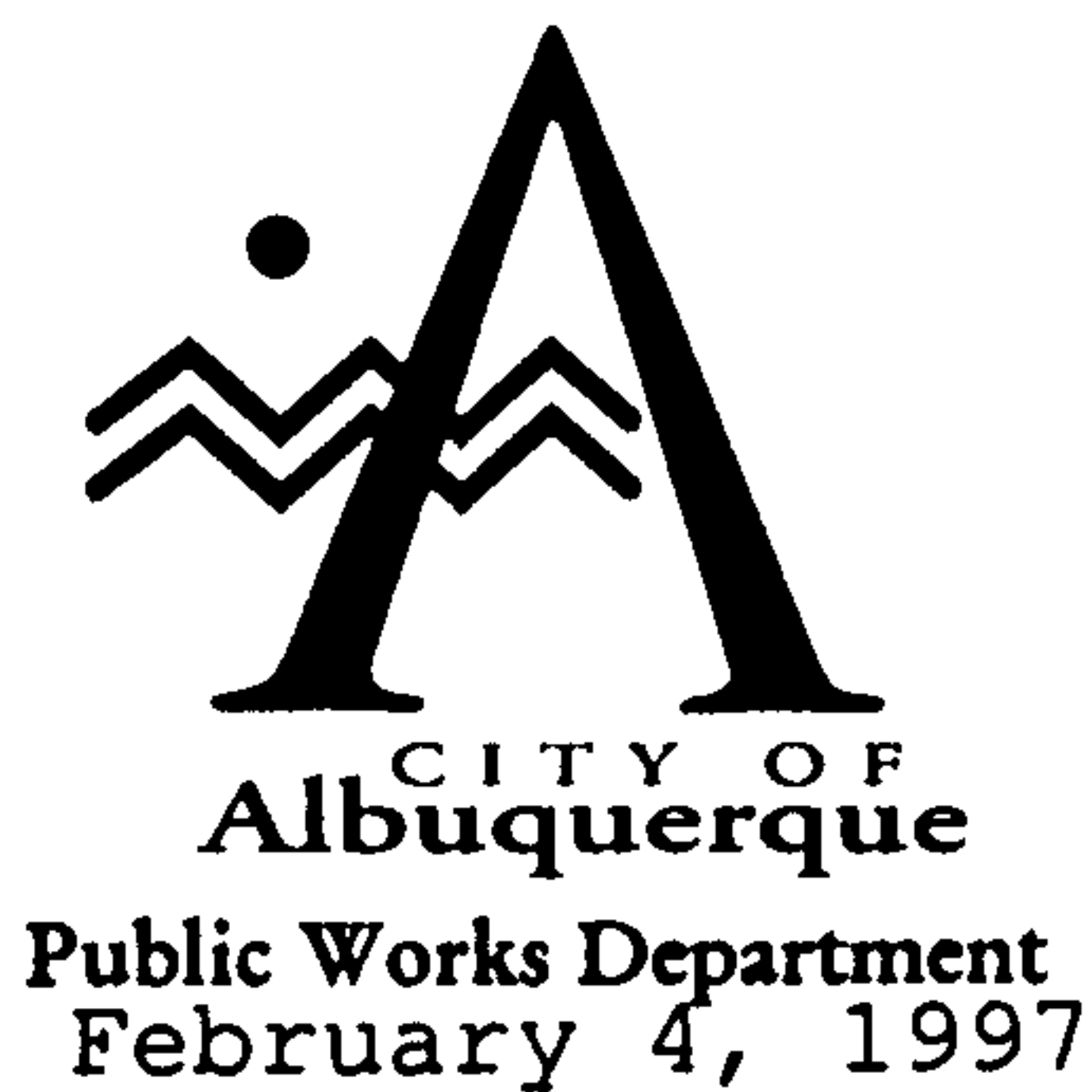
Lisa Ann Manwill, P.E.
Engineering Assoc./Hyd.

c: Andrew Garcia
File

Good for You, Albuquerque!

P.O. Box 1293, Albuquerque, New Mexico 87103





Martin J. Chávez, Mayor

Robert E. Gurulé, Director

Marvin Kortum
1605 Speakman Drive SE
Albuquerque, NM 87123

**RE: COTTONWOODS SUBDIVISION (G13-D18). GRADING AND DRAINAGE PLAN
FOR PRELIMINARY AND FINAL PLAT APPROVAL. ENGINEER'S STAMP
DATED FEBRUARY 3, 1997.**

Dear Mr. Kortum:

Based on the information provided on your February 4, 1997
submittal, the above referenced project is approved for Preliminary
and Final Plat.

An Engineer's Certification for grading and drainage will be
required prior to release of financial guarantees. Please be
certain to provide as built elevations for the ponds, storm drain
pipe, finish pads, along the south side of the subdivision, and
spillway.

If I can be of further assistance, please feel free to contact me at
924-3984.

Sincerely,



Lisa Ann Manwill
Engineering Assoc./Hyd.

c: Andrew Garcia
File

Good for You, Albuquerque!

P.O. Box 1293, Albuquerque, New Mexico 87103



Marvin R Kortum
1605 Speakman Drive SE
Albuquerque, New Mexico 87123
NMPE 6519
(505) 299-0774

February 3, 1997

City of Albuquerque
Hydrology Section
Public Works Department
Albuquerque, New Mexico 87103

REFERENCE: Grading and Drainage Plan, Cottonwoods subdivision, located in the southeast quadrant at the intersection of Rio Grande Boulevard and Campbell Road, NW, Albuquerque, New Mexico. (G13/D18, DRB No. 96-584)

Dear Lisa:

Attached are two copies of the drawings with additional changes based on your notes and comments on the above subject at our conference on February 3, 1997. Specific comments are below:

Comment 1: A copy of the Covenants for the subdivision, to include maintenance of the common ponding area, is attached. Please note that these covenants are also being reviewed and approved by the Development Review Board.

Comment 2: The elevations of the finished ground surface at the corners and perimeter of the subdivision are now shown. Please note that these elevations are essentially the existing ground surface. Mr. Aguirre's concern was that runoff from outside of the subdivision should have free entry into the subdivision, following historical flow patterns. This is done. Also, an emergency overflow is provided at the constructed pond outlet, this overflow being lower than the perimeter. Further, the available ponding capacity is over 250% greater than the estimated 100 year storm runoff (14900 CF runoff, 38100 CF ponding capacity).

Comment 3: Surface slope and direction of drain arrows are now shown.

Comment 4: Drainage basin boundaries are now shown.

Comment 5: Additional notes have been added to sheet 1 referring to the overflow detail on sheet 2.

Your notes on the previous submittal are attached.

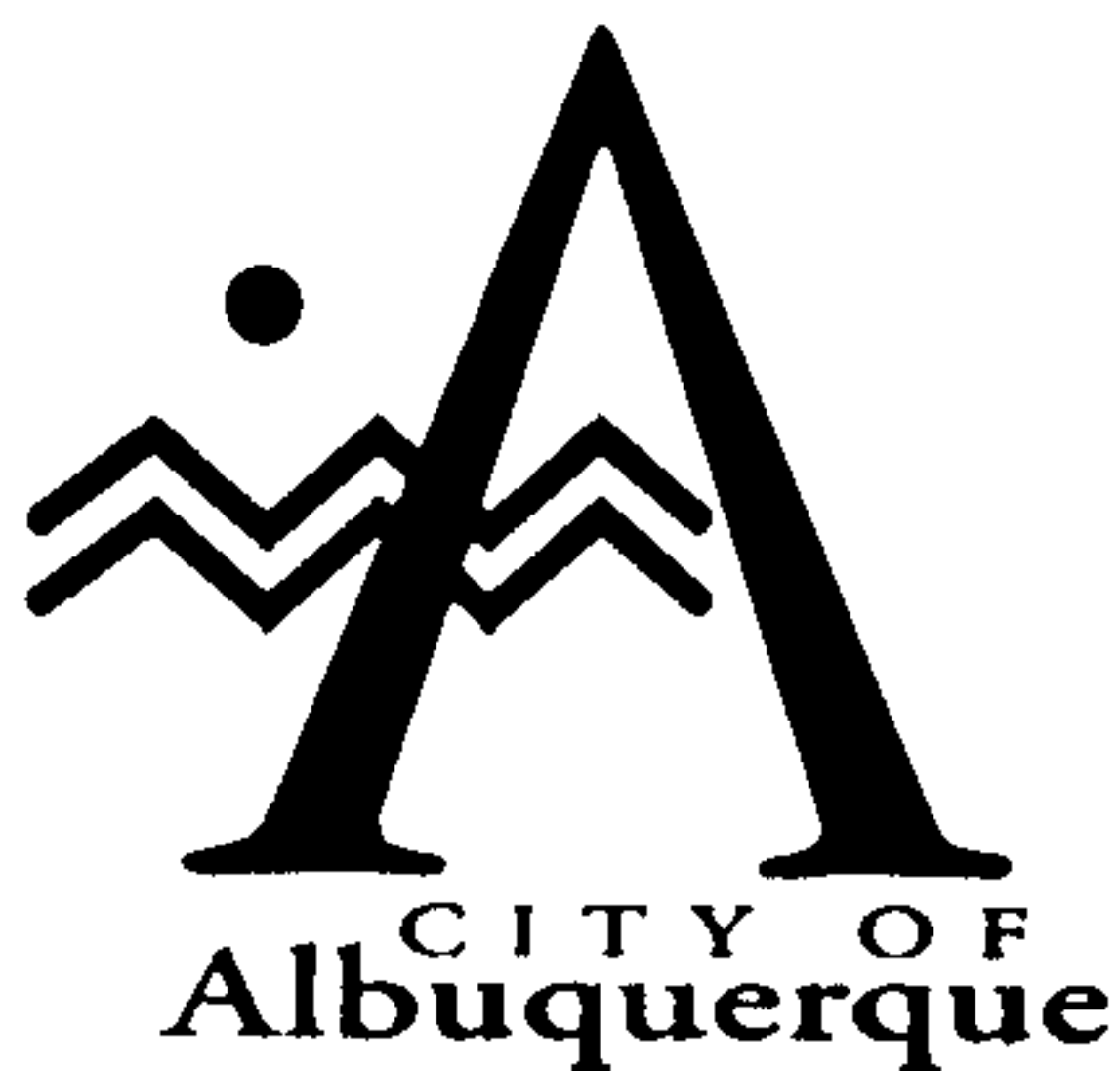
I appreciate your prompt review of the previous submittal, and hope for your earliest consideration of the attached drawings.

Thank you.

Sincerely,



Marvin R Kortum



January 23, 1997

Martin J. Chávez, Mayor

Marvin Kortum
1605 Speakman Drive SE
Albuquerque, NM 87123

**RE: COTTONWOODS SUBDIVISION (G13-D18). GRADING AND DRAINAGE PLAN
FOR PRELIMINARY AND FINAL PLAT APPROVAL. ENGINEER'S STAMP
DATED JANUARY 13, 1997.**

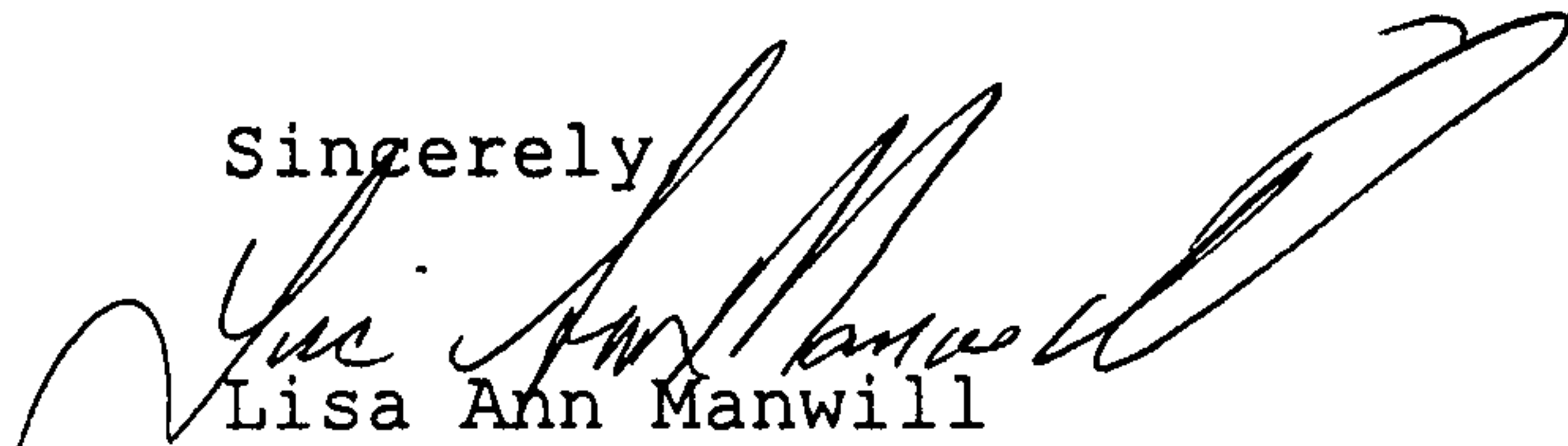
Dear Mr. Kortum:

Based on the information provided on your January 14, 1997
submittal, City Hydrology has the following comments:

1. Please provide a legend. In particular, define new and existing elevations (spots and contours) and property/lot lines.
2. Call out pipe size and type on drawing.
3. The copy of the pre-design recap sheet was inadvertently left out. Please include this with your next submittal.

If I can be of further assistance, please feel free to contact me at 768-3622.

Sincerely,



Lisa Ann Manwill
Engineering Assoc./Hyd.

c: Andrew Garcia
File

Good for You, Albuquerque!

