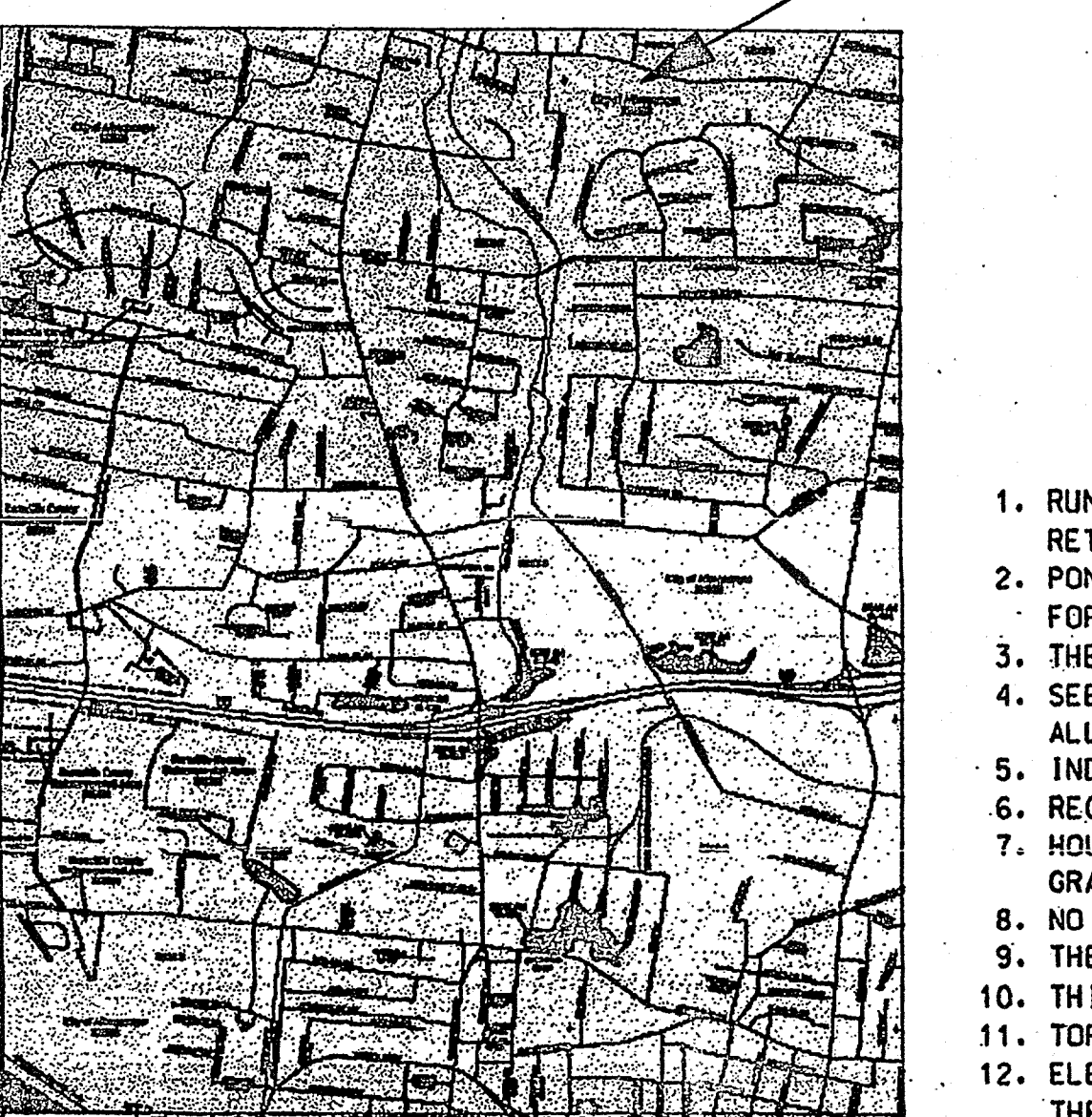




VICINITY MAP
ZONE ATLAS PAGE
G-13-Z
NTS



FLOOD MAP 35001C0331 E
NOVEMBER 19, 2003
NTS

DESCRIPTION	LAND USE				* RUNOFF VOLUME				PONDING VOLUME	MAX IMPERVIOUS AREA @ 45%	MAX BUILDING AREA	REMARKS
EXCESS PRECIPITATION (INCHES)	A	B	C	D	TOTAL	6HR-100YR	24HR-100YR	10DAY-100YR				
ZONE 2	0.80	1.08	1.46	2.64								
LOT												
1	—	—	0.1586 AC	0.1161 AC	0.2747 AC	1,544 ft ³	1,713 ft ³	2,218 ft ³	5,384.76 ft ³	3,000 ft ²		
2	—	—	0.1672 AC	0.1076 AC	0.2747 AC	1,514 ft ³	1,670 ft ³	2,139 ft ³	5,385.09 ft ³	3,000 ft ²		
3	—	—	0.1998 AC	0.1624 AC	0.3622 AC	2,063 ft ³	2,299 ft ³	3,006 ft ³	7,100.02 ft ³	2,475 ft ²		
4	—	—	0.1339 AC	0.1010 AC	0.2350 AC	1,326 ft ³	1,473 ft ³	1,913 ft ³	4,605.75 ft ³	3,000 ft ²		
5	—	—	0.1641 AC	0.1013 AC	0.2654 AC	1,543 ft ³	1,600 ft ³	2,041 ft ³	5,202.77 ft ³	3,000 ft ²		
6	—	—	0.1625 AC	0.1275 AC	0.2900 AC	1,641 ft ³	1,826 ft ³	2,381 ft ³	5,683.95 ft ³	2,475 ft ²		
7	—	—	0.1490 AC	0.1010 AC	0.2500 AC	1,388 ft ³	1,535 ft ³	1,975 ft ³	4,898.78 ft ³	3,000 ft ²		
8	—	—	0.1419 AC	0.1081 AC	0.2500 AC	1,395 ft ³	1,545 ft ³	1,993 ft ³	4,900.50 ft ³	2,700 ft ²		
TRACT A	—	—	0.1531 AC	0.0735 AC	0.2266 AC	1,194 ft ³	1,300 ft ³	1,621 ft ³	4,442.70 ft ³	0 ft ²		
TRACT B	—	—	0.0685 AC	0.0520 AC	0.1205 AC	681 ft ³	757 ft ³	983 ft ³	2,363.07 ft ³	0 ft ²		
TOTAL AREAS	—	—	1.4986 AC	1.0505 AC	2.5491 AC							

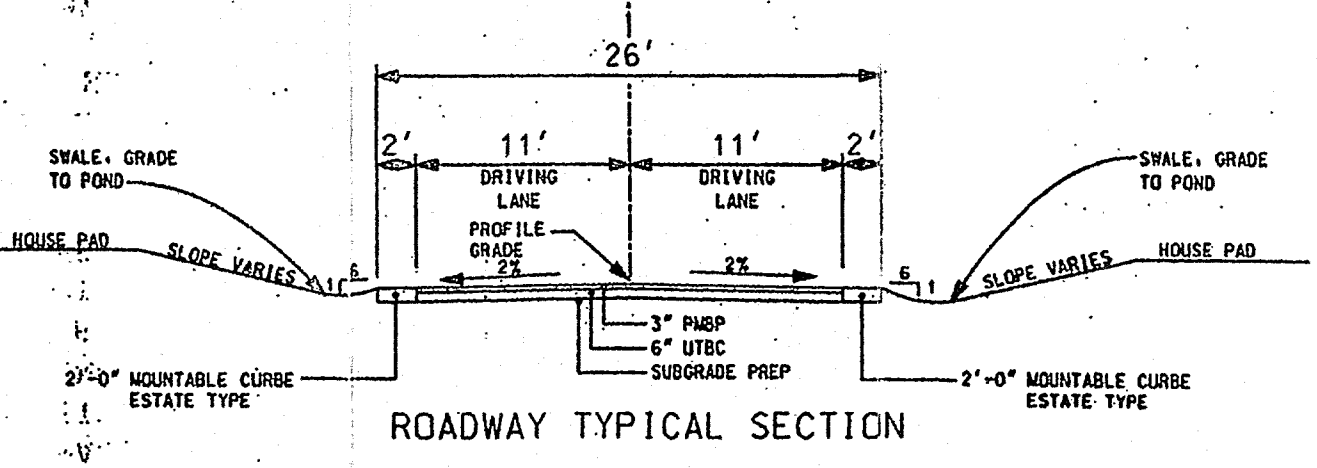
NOTE:
LAND USE C COMPACTED SOIL AREA
LAND USE D BUILDING AREA/PAVEMENT
* REQUIRED PONDING VOLUME

- LEGEND**
- EXISTING CONTOURS 0.25'
 - EXISTING CONTOURS 1'
 - FINISHED GRADE COUNTOUR
 - PROPERTY LINE
 - PROPOSED GARDEN WALL
 - EXISTING CMU WALL
 - PROPERTY CORNER (PLATED)
 - FOUND REBAR

BUILDING PAD WITH MAX AREA & ELEVATIONS SHOWN

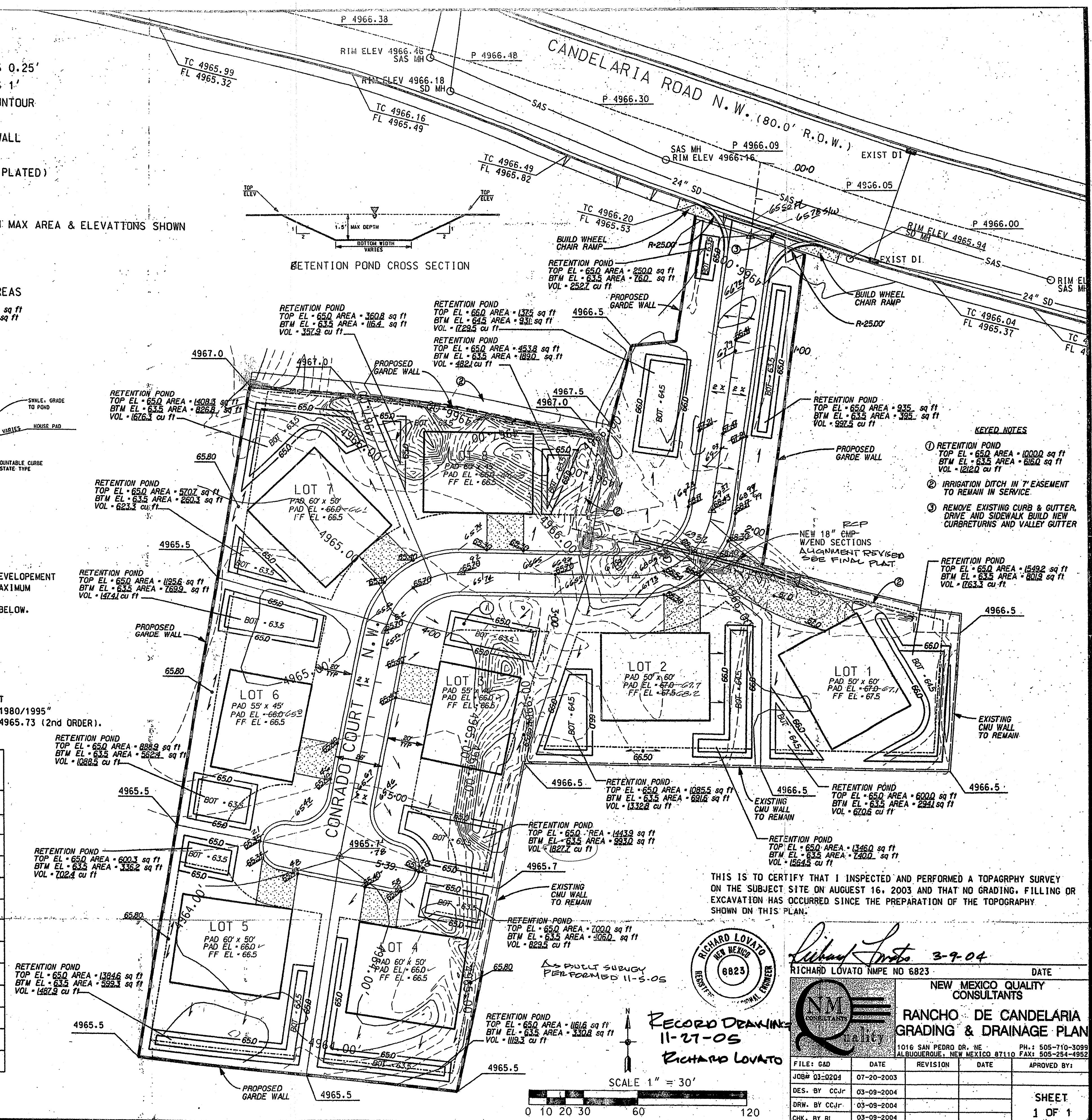
CONCRETE DRIVE

RETENTION POND AREAS
RETENTION POND
TOP EL. XXXX AREA = XXXXX sq ft
BTM EL. XXXX AREA = XXXX sq ft
VOL. XXXX cu ft



DRAINAGE NOTES

- RUNOFF GENERATED ON SITE WILL BE RETAINED ON SITE IN INDIVIDUAL LOT RETENTION PONDS.
- PONDING VOLUMES WERE CALCULATED USING COA DPM CHAPTER 22 METHODS FOR ZONE 2.
- THE FLAT GRADING SCHEME AS DEFINED IN THE DPM IS BEING USED FOR THIS DEVELOPEMENT
- SEE ATTACHED CALCULATIONS FOR MAXIMUM ALLOWABLE IMPERVIOUS AREAS AND MAXIMUM ALLOWABLE HOUSE PAD AREAS.
- INDIVIDUAL LOTS TO BE GRADED TO PROVIDE PONDING VOLUMS SHOWN IN TABLE BELOW.
- REQUIRED PONDING VOLUMS ARE 100 YR 10 DAY STORM VOLUMES.
- HOUSE PADS SHOWN ARE ONLY APPROXIMATE. GRADES SHOWN ESTABLISH STREET GRADES, BUILDING PAD ELEVATIONS AND GRADING AROUND PADS.
- NO CROSS LOT DRAINAGE OR PONDING WILL BE ALLOWED.
- THERE IS NO OFF-SITE DRAINAGE AFFECTING THIS SITE.
- THIS SITE IS IN ZONE X ACCORDING TO FEMA MAP.
- TOPO SURVEY WAS PERFORMED BY NMOC ON AUGUST 16, 2003.
- ELEVATIONS AND CONTOURS SHOWN ARE BASED ON CONTROL STATION 6-G13A RESET THE STATION MARK IS A STANDARD ACS ALUMINUM CAP STAMPED "6-G13A RESET 1980/1995" SET FLUSH WITH THE TOP OF CURB SPIRIT LEVEL ELEVATION (SLD 1929) FEET 4965.73 (2nd ORDER).

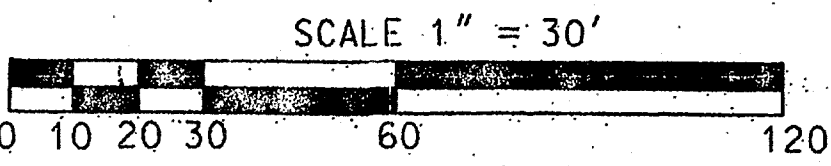


- KEYED NOTES**
- RETENTION POND
TOP EL. 650.0 AREA = 10000 sq ft
BTM EL. 635.5 AREA = 8160 sq ft
VOL. = 12120 cu ft
 - IRRIGATION DITCH IN T EASEMENT TO REMAIN IN SERVICE.
 - REMOVE EXISTING CURB & GUTTER, DRIVE AND SIDEWALK BUILD NEW CURB RETURNS AND VALLEY GUTTER

THIS IS TO CERTIFY THAT I INSPECTED AND PERFORMED A TOPOGRAPHY SURVEY ON THE SUBJECT SITE ON AUGUST 16, 2003 AND THAT NO GRADING, FILLING OR EXCAVATION HAS OCCURRED SINCE THE PREPARATION OF THE TOPOGRAPHY SHOWN ON THIS PLAN.



RECORD DRAWING
11-27-05
RICHARD LOVATO



Richard Lovato 3-9-04
RICHARD LOVATO NMPE NO 6823

NEW MEXICO QUALITY CONSULTANTS
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FILE: GAD	DATE	REVISION	DATE	APPROVED BY:
JOB# 03-0204	07-20-2003			
DES. BY CCJR	03-09-2004			
DRW. BY CCJR	03-09-2004			
CHK. BY RL	03-09-2004			

SHEET 1 OF 1

