

CITY OF ALBUQUERQUE

Planning Department
Brennon Williams, Director



Mayor Timothy M. Keller

January 25, 2021

David Soule, P.E.
Rio Grande Engineering
P.O. Box 93924
Albuquerque, NM 87199

RE: 2619 Corianda NW
Grading and Drainage Plan
Engineer's Stamp Date: 10/29/19
Engineer's Certification Date: 01/15/21
Hydrology File: G13D023D

Dear Mr. Soule:

PO Box 1293

Based upon the information provided in your submittal received 01/15/2021, the Grading and Drainage Plan is approved for Building Permit and Building Pad Certification for 2619 Corianda NW. Please attach a copy of this approved plan in the construction sets for Building Permit processing along with a copy of this letter.

Albuquerque

Prior to approval in support of Permanent Release of Occupancy by Hydrology, Engineer Certification per the DPM checklist will be required.

NM 87103

If you have any questions, please contact me at 924-3995 or rbrissette@cabq.gov.

www.cabq.gov

Sincerely,

Renée C. Brissette, P.E. CFM
Senior Engineer, Hydrology
Planning Department



City of Albuquerque

Planning Department
Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 6/2018)

Project Title: 2619 CORIANDA **Building Permit #:** _____ **Hydrology File #:** _____
DRB#: _____ **EPC#:** _____ **Work Order#:** _____
Legal Description: LOT 5A AND 5B CORIANA SUBDIVISION
City Address: 2619 CORIANDA

Applicant: MIRIAM RAND **Contact:** _____
Address: _____
Phone#: _____ **Fax#:** _____ **E-mail:** _____

Other Contact: RIO GRANDE ENGINEERING **Contact:** DAVID SOULE
Address: PO BOX 93924 ALB NM 87199
Phone#: 505.321.9099 **Fax#:** 505.872.0999 **E-mail:** david@riograndeengineering.com

TYPE OF DEVELOPMENT: _____ PLAT ☒ RESIDENCE (x2) _____ DRB SITE _____ ADMIN SITE

Check all that Apply:

DEPARTMENT:

☒ HYDROLOGY/ DRAINAGE
_____ TRAFFIC/ TRANSPORTATION

TYPE OF SUBMITTAL:

_____ ENGINEER/ARCHITECT CERTIFICATION
☒ PAD CERTIFICATION
_____ CONCEPTUAL G & D PLAN
_____ GRADING PLAN
_____ DRAINAGE REPORT
_____ DRAINAGE MASTER PLAN
_____ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
_____ ELEVATION CERTIFICATE
_____ CLOMR/LOMR
_____ TRAFFIC CIRCULATION LAYOUT (TCL)
_____ TRAFFIC IMPACT STUDY (TIS)
_____ STREET LIGHT LAYOUT
_____ OTHER (SPECIFY) _____
_____ PRE-DESIGN MEETING?

IS THIS A RESUBMITTAL?: ☒ Yes _____ No

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

☒ BUILDING PERMIT APPROVAL
_____ CERTIFICATE OF OCCUPANCY
_____ PRELIMINARY PLAT APPROVAL
_____ SITE PLAN FOR SUB'D APPROVAL
_____ SITE PLAN FOR BLDG. PERMIT APPROVAL
_____ FINAL PLAT APPROVAL
_____ SIA/ RELEASE OF FINANCIAL GUARANTEE
_____ FOUNDATION PERMIT APPROVAL
_____ GRADING PERMIT APPROVAL
_____ SO-19 APPROVAL
_____ PAVING PERMIT APPROVAL
_____ GRADING/ PAD CERTIFICATION
_____ WORK ORDER APPROVAL
_____ CLOMR/LOMR
_____ FLOODPLAIN DEVELOPMENT PERMIT
_____ OTHER (SPECIFY) _____

DATE SUBMITTED: _____ **By:** _____

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: _____

FEE PAID: _____

Weighted E Method

| Basin | Area (sf) | Area (acres) | 100-Year, 6-hr | | | | 100 Yr 24-HOUR | | | |
|------------|--------------|-----------------|------------------------|------------------------|------------------------|------------------------|-----------------------|-------------------|-------------|-------------------|
| | | | Treatment A (acres) | Treatment B (acres) | Treatment C (acres) | Treatment D (acres) | Weighted E (ac-ft) | Volume (ac-ft) | Flow cfs | Volume (ac-ft) |
| HISTORICAL | 29534.00 | 0.678 | 100% | 0.678 | 0% | 0.000 | 0% | 0.000 | 0.530 | 0.030 |
| PROPOSED | 29534.00 | 0.678 | 32% | 0.217 | 10% | 0.068 | 24% | 0.163 | 35% | 0.237 |

Equations:

Weighted E = Ea*Aa + Eb*Ab + Ec*Ac + Ed*Ad / (Total Area)

Volume = Weighted D * Total Area

First flush requirement

293 cubic feet

Flow = Qa * Aa + Qb * Ab + Qc * Ac + Qd * Ad

Where for 100-year, 6-hour storm(zone2)

Ea= 0.53
Eb= 0.78
Ec= 1.13
Ed= 2.12

Qa= 1.56
Qb= 2.28
Qc= 3.14
Qd= 4.7

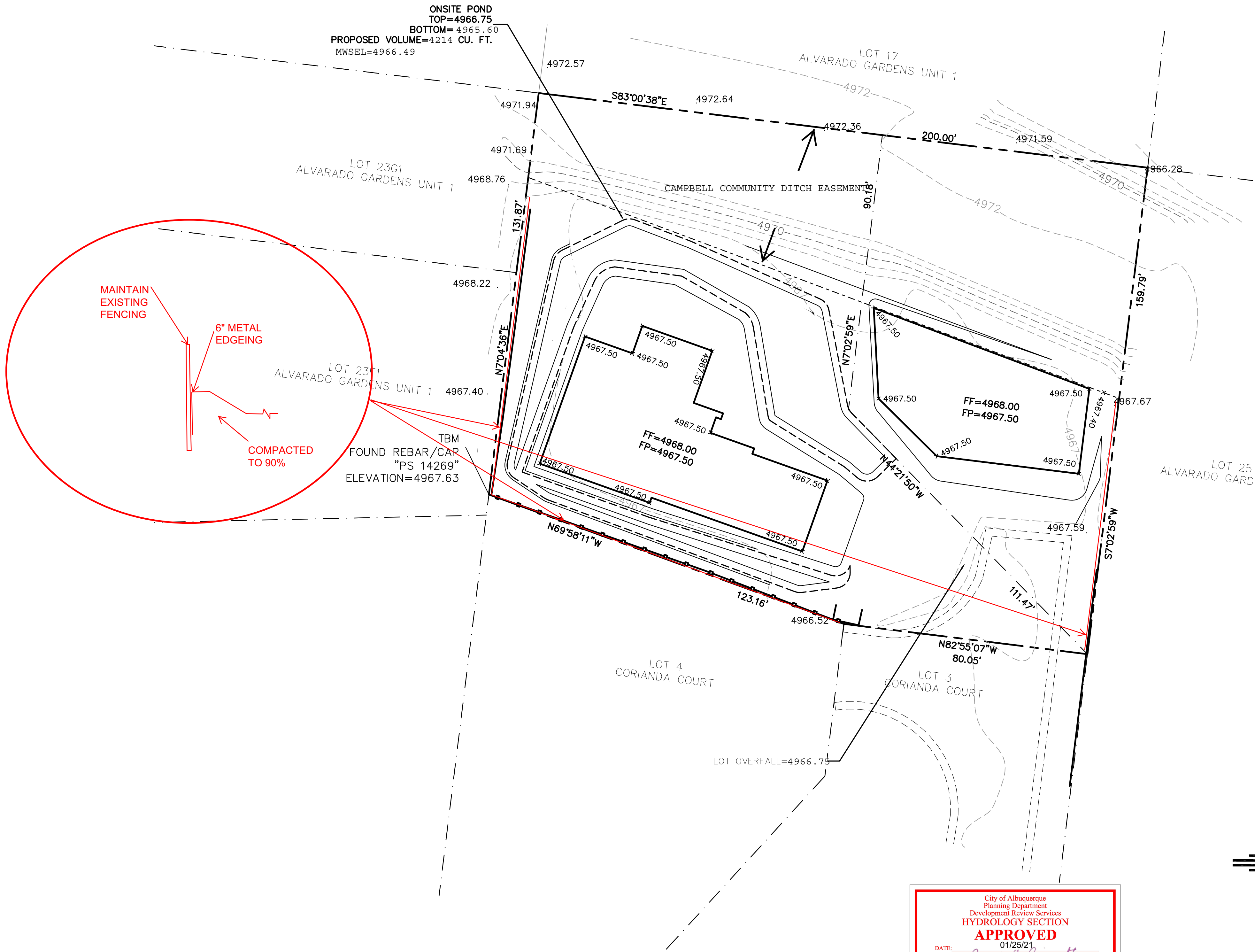
| Developed Conditions | TOTAL VOLUME |
|----------------------|--------------|
| HISTORICAL DISCHARGE | 1304.42 |
| PROPOSED DISCHARGE | 3447.60 |
| PROVIDED | 4114 |

This site is an replatted lot within an existing subdivision governed by G13D26. The lot is required to retain the entire flow onsite. The site will conform to the valley flat area drainage scheme. The site will retain the 100-year 24-hour volume. The ponds overflow to the roadway at top of pond. The surrounding area is flat and no offsite flows impact the site. The first flush volume is retained on site, and pass thru to the right of way. The first flush volume is retained on site

I, DAVID SOULE HAVE PERSONALLY INPECTED THE SITE. I HEREBY CERTIFY THE PAD HAS BEEN CONSTRUCTED SUCH THAT IT IS IN SUBSTANTIAL CONFORMANCE TO THE APPROVED GRADING PLAN DATED 10/29/19 BASED UPON ADDITIONAL CITY COMMENTS, A 6" METAL EDGE AND BERM WAS PLACED AGAINST PROPERTY LINES TO MAINTAIN THE REQUID FLOW ONSITE. ALL VOLUMES SHALL BE VERIFIED PRIOR TO CO



1/15/21



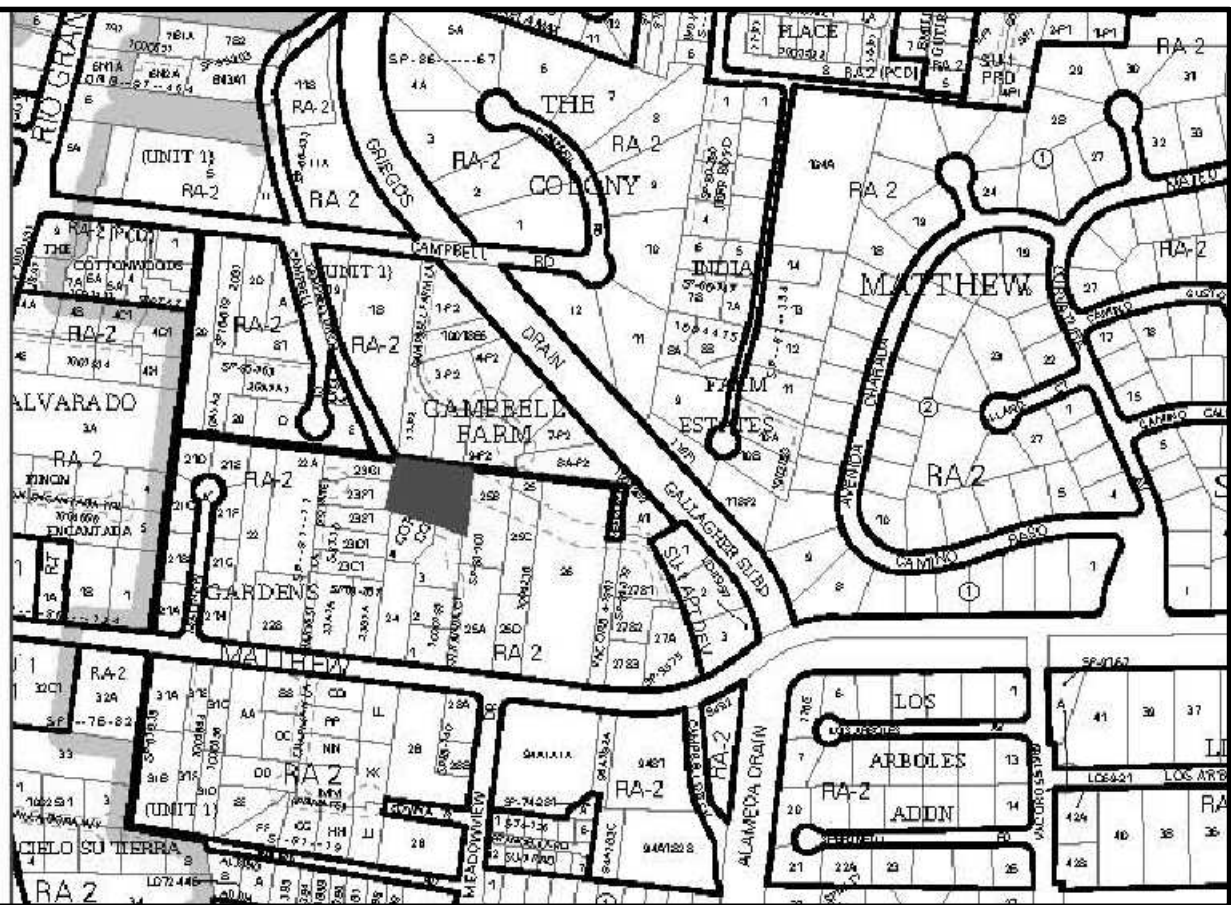
CAUTION:

EXISTING UTILITIES ARE NOT SHOWN. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO ANY EXCAVATION TO DETERMINE THE ACTUAL LOCATION OF UTILITIES & OTHER IMPROVEMENTS.

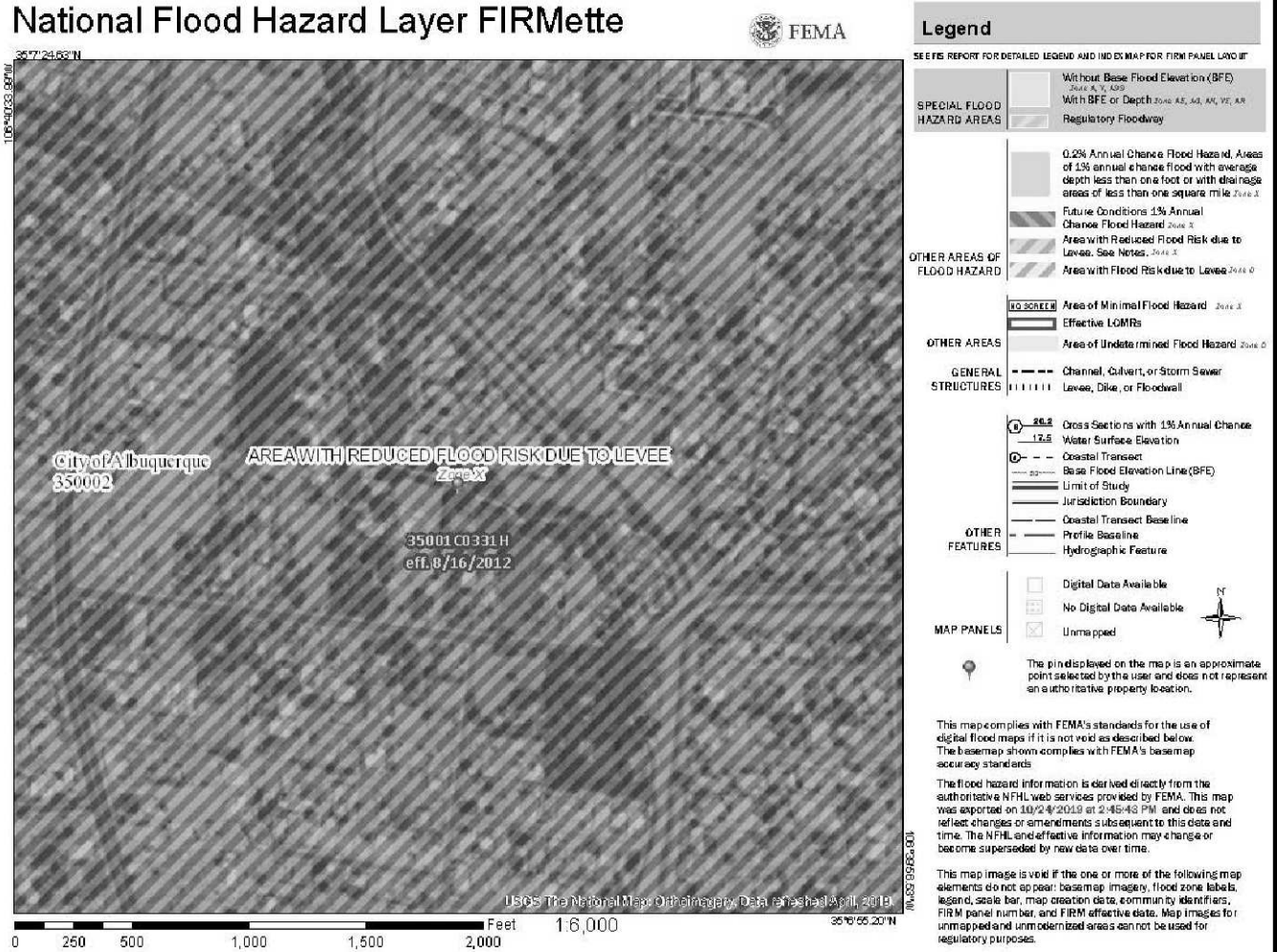


EROSION CONTROL NOTES:

- CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
- CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
- CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
- REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
- ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL ACCEPTANCE OF ANY PROJECT.



VICINITY MAP: G-13-Z



FIRM MAP:

LEGAL DESCRIPTION:

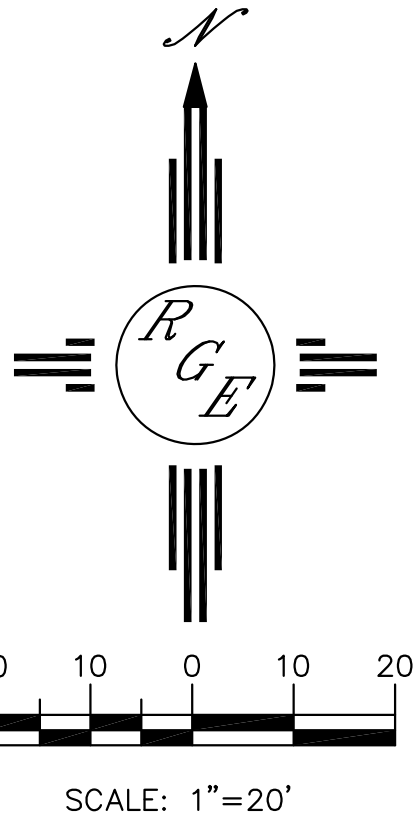
LOTS 5-A and 5-B, CORIANDA COURT


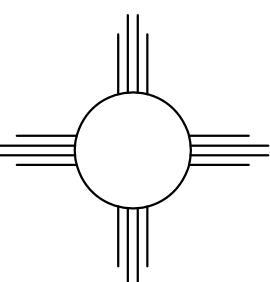
NOTES:

- ALL SPOT ELEVATIONS REPRESENT FLOWLINE ELEVATION UNLESS OTHERWISE NOTED.
- ALL SLOPES SHALL BE 3:1 MAX. AND GRAVEL OR NATIVE SEEDING PRIOR TO CO.
- PROPOSED LOTS HAVE CROSS LOT DRAINAGE EASEMENTS
- ANY PERIMETER FENCING BETWEEN LOTS SHALL ALLOW FOR CROSS LOT DRAINAGE

LEGEND

- EXISTING CONTOUR
- EXISTING INDEX CONTOUR
- PROPOSED CONTOUR
- PROPOSED INDEX CONTOUR
- SLOPE TIE
- EXISTING SPOT ELEVATION
- PROPOSED SPOT ELEVATION
- BOUNDARY
- CENTERLINE
- RIGHT-OF-WAY
- EXISTING CURB AND GUTTER
- PROPOSED CMU SCREEN WALL



| | | |
|-------------------------------------------------------------------------------------------------------|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-------------------------|
| ENGINEER'S SEAL | LOT 5-A AND 5-B CORIANDA | DRAWN BY WCVJ |
|  10/29/19 | | DATE 10-29-19 |
| | GRADING AND DRAINAGE PLAN | 2109086-LAYOUT-10-29-19 |
| |  <i>Rio Grande Engineering</i> 1606 CENTRAL AVENUE SE SUITE 201 ALBUQUERQUE, NM 87106 (505) 872-0398 | SHEET # — |
| DAVID SOULE P.E. #14522 | | JOB # 2109086 |