

# CITY OF ALBUQUERQUE



Timothy M. Keller, Mayor

February 28, 2018

Jackie McDowell  
McDowell Engineering, Inc.  
7820 Beverly Hills Ave. NE  
Albuquerque, NM 87122

**RE: 2609 Corianda Court NW**  
**Request for Permanent C.O. – Accepted**  
**Engineer's Certification Date: 02/23/18**  
**Engineer's Stamp Date: 07/31/17**  
**Hydrology File: G13D026**

Dear Mr. Soule:

PO Box 1293

Based on the Certification received 02/26/18 and site visit on 02/27/18, the site is acceptable for a Permanent Certificate of Occupancy by Hydrology for 2609 Corianda Court NW.

Albuquerque

If you have any questions, please contact me at 924-3995 or [rbrissette@cabq.gov](mailto:rbrissette@cabq.gov).

NM 87103

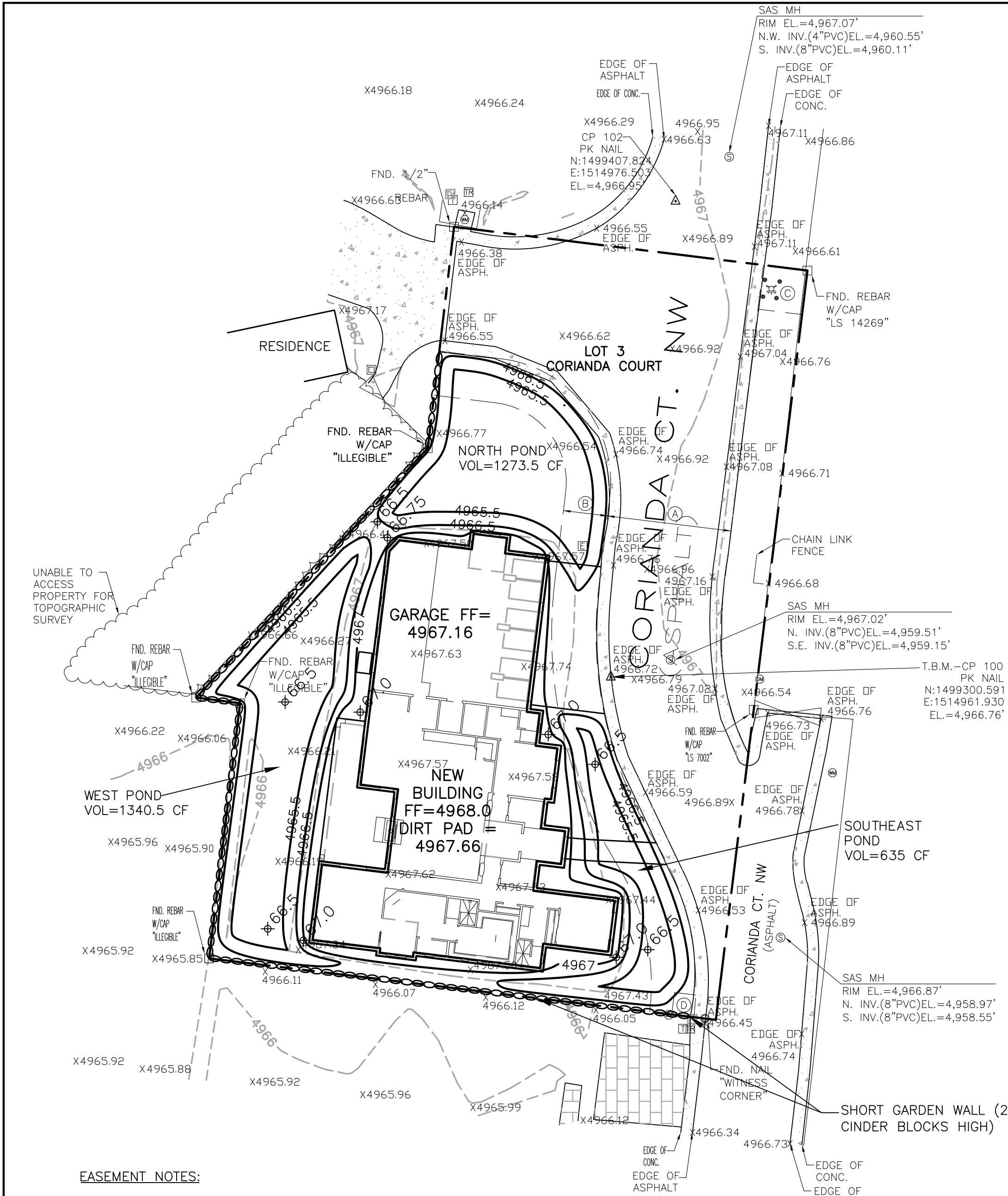
Sincerely,

*Renée C. Brissette*

[www.cabq.gov](http://www.cabq.gov)

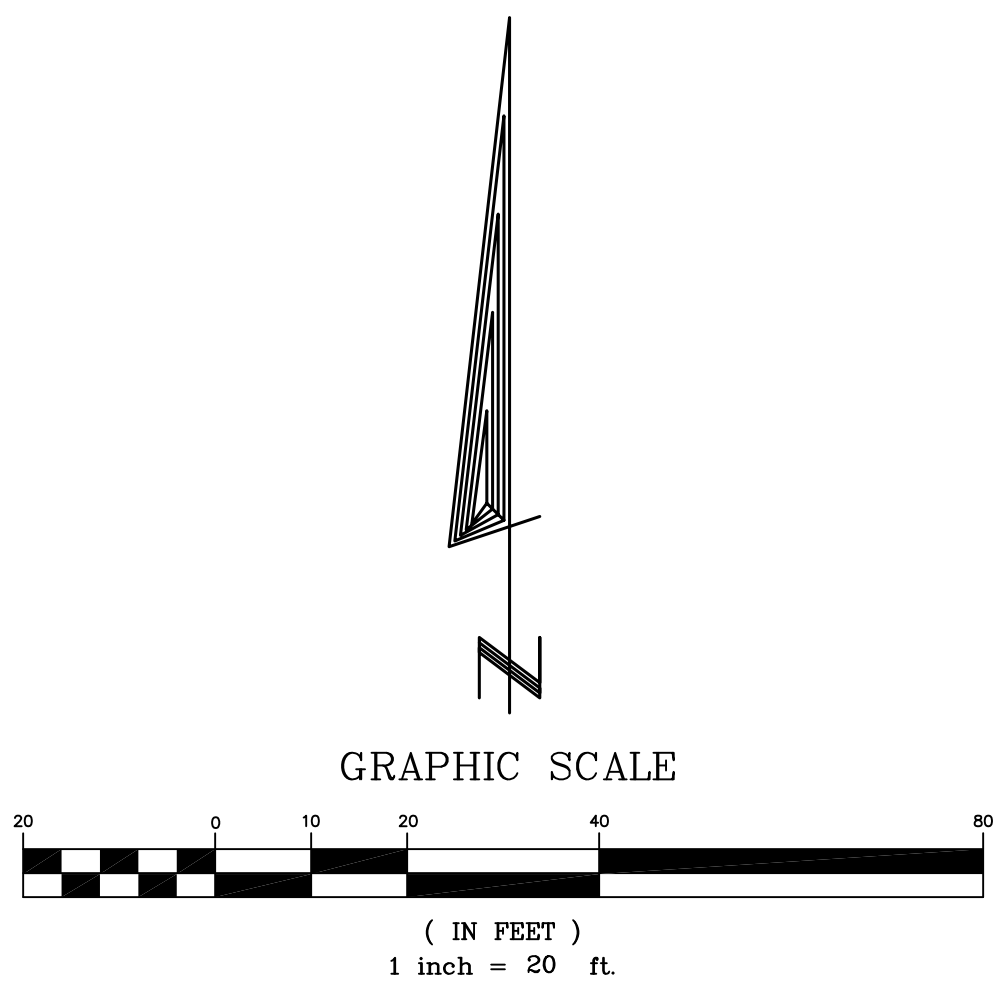
Renée C. Brissette, P.E. CFM  
Senior Engineer, Hydrology  
Planning Department





#### EASEMENT NOTES:

- 28.0' PRIVATE ACCESS, PUBLIC SANITARY SEWER AND WATER EASEMENT  
03/10/2006  
BK. 2006C, PG. 80
- 10.0' PUBLIC UTILITY EASEMENT  
03/10/2006  
BK. 2006C, PG. 80
- 10.0'x10.0' WATER METER EASEMENT  
03/10/2006  
BK. 2006C, PG. 80
- 5.0'x5.0' WATER METER EASEMENT  
03/10/2006  
BK. 2006C, PG. 80



GRADING  
7-3-17  
1=20  
DEMO117L

STANDARD GRADING NOTE:  
THE MAXIMUM GRADED SIDE SLOPE SHALL NOT EXCEED 3 FEET (HORIZONTALLY) TO 1 FOOT (VERTICALLY). AREAS DISTURBED BY GRADING WHICH WILL NOT BE TREATED WITH LANDSCAPING SHALL BE SEED.

#### GENERAL DRAINAGE PLAN NOTES:

- It is recommended that the Owner obtain a Geotechnical Evaluation of the on-site soils prior to foundation/structural design.
- This plan recommends positive drainage away from all structures to prohibit ponding of runoff adjacent to the structure. Future alterations of the grades next to the structures are not recommended.
- Irrigation within 10 feet of any proposed structure is not recommended. Irrigation water adjacent to the structures could cause settlement.
- This plan establishes on-site drainage and assumes no responsibility for subsurface analysis, foundation or structural design, or utility design.
- Local codes may require all footings to be placed in natural undisturbed soil. If the contractor plans to place footings on engineered fill, a certification by a registered Professional Engineer is recommended.
- It is recommended that the Owner obtain the services of a Geotechnical Engineer to test and inspect all earthwork aspects of the project.
- The property boundary shown on this plan is given for information only to describe the project limits. Property boundary information shown hereon does not constitute a boundary survey.
- All work shall be constructed in accordance with the City of Albuquerque Standard Specifications for Public Works Construction with updates.
- All work on this project shall be performed in accordance with applicable Federal, State, and Local laws, rules, and regulations concerning construction safety and health.
- Contractor shall ensure that no site soils/sediment or silt enters the right-of-ways during construction.
- Areas disturbed due to construction shall be restored per City of Albuquerque Spec. 1012 native seed mix.

#### SURVEY NOTES:

##### PROJECT LOCATION

2609 CORIANDA COURT NORTHWEST, ALBUQUERQUE, NEW MEXICO  
LOT 3, CORIANDA COURT

##### SURVEY INFORMATION

TOPOGRAPHIC SURVEY PERFORMED AND COMPILED BY TERRA LAND SURVEYS, LLC. CORRALES, NEW MEXICO JUNE 2017.

##### PROJECT BENCHMARK

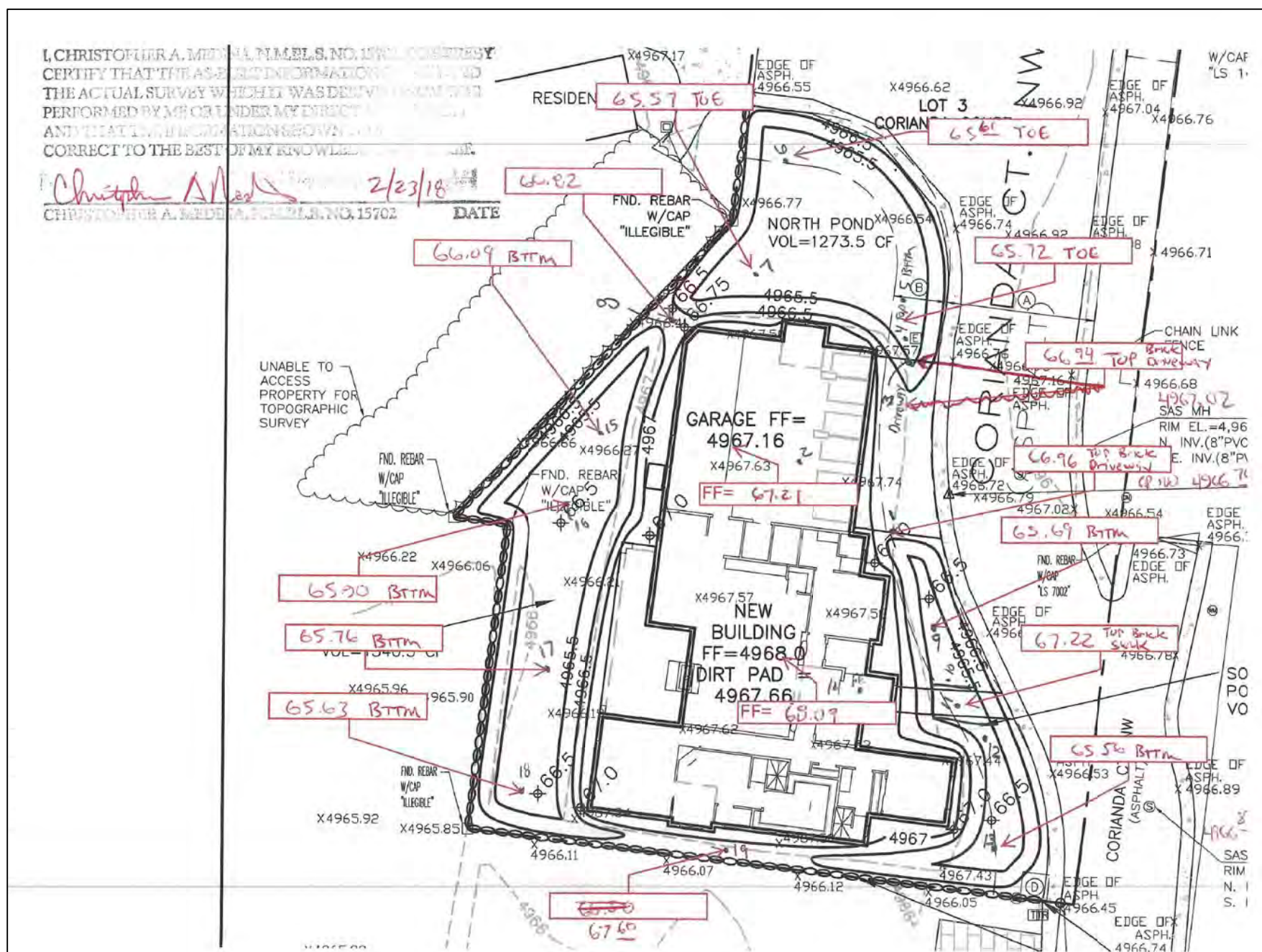
PROJECT BENCHMARK IS A ALBUQUERQUE CONTROL STATION (ACS) BRASS DISC SET IN TOP OF A CONCRETE POST PROJECTING 0.2 FEET ABOVE GROUND STAMPED, "3-G12." TO REACH THE STATION BENCHMARK FROM THE INTERSECTION OF I-40 AND RIO GRANDE BOULEVARD 0.9 MILES TO THE INTERSECTION WITH MATTHEW AVENUE AND THE STATION ON THE LEFT. ELEVATION = 4,965.946 FEET.

##### TEMPORARY BENCHMARK

TEMPORARY BENCHMARK IS CP 100 A SET PK NAIL. ELEVATION=4,966.76 FEET (NAVD 1988 VERTICAL DATUM).

##### NOTES

- FIELD SURVEY PERFORMED IN JUNE 2017.
- TOPOGRAPHIC SURVEY WAS COMPILED UTILIZING GROUND COORDINATES REFERENCED TO THE NAD 83 NEW MEXICO CENTRAL ZONE COORDINATE SYSTEM. PRIMARY HORIZONTAL AND VERTICAL CONTROL WAS ESTABLISHED UTILIZING GPS RTK METHODS (COMBINED GROUND TO GRID FACTOR = 0.999683972 SCALED AROUND 0.0).
- ELEVATIONS SHOWN FOR PIPES ARE INVERT ELEVATIONS UNLESS OTHERWISE SPECIFIED.
- CONTOURS SHOWN HEREON ARE AT A ONE FOOT INTERVAL REFERENCED TO THE NAVD 88 VERTICAL DATUM.
- THIS IS NOT A BOUNDARY SURVEY, APPARENT PROPERTY CORNER AND PROPERTY LINES ARE SHOWN FOR INFORMATION ONLY. BOUNDARY DATA SHOWN IS FROM A RECORD DOCUMENT.



## AS-BUILT ELEVATIONS

#### CERTIFICATE OF OCCUPANCY

I, JACKIE S. MCDOWELL, NMPE # 10903, OF THE FIRM MCDOWELL ENGINEERING, INC., HEREBY CERTIFY THAT THIS PROJECT HAS BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 7-31-17. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON 2-23-18 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT FOR A REQUEST FOR **CERTIFICATE OF OCCUPANCY**.

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING AND DRAINAGE ASPECTS OF THIS PROJECT AND TO CONFIRM THAT THE BUILDING PAD IS AT THE GRADE PROVIDED. THOSE RELYING ON THIS RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

AS-BUILT  
FOR CERTIFICATE OF OCCUPANCY

#### STANDARD WALL AND PAD CERTIFICATION NOTES:

ALL PERMITTER GARDEN WALLS SHALL BE PERMITTED SEPARATELY.

A PAD CERTIFICATION IS REQUIRED BEFORE THE BUILDING PERMIT IS RELEASED.

This is the plan to be used for any garden walls and any openings in the walls shall be placed 3" above final grade in the rear yard to allow for cross lot drainage from west to east (upstream to downstream).

#### DRAINAGE PLAN

##### SCOPE:

Pursuant to the latest City of Albuquerque and Bernalillo County Ordinances, the Drainage Plan shown hereon outlines the drainage management criteria for controlling developed runoff on and exiting the project site. A single family home is proposed for the site with associated parking, access, landscaping, and utility improvements.

##### EXISTING CONDITIONS:

Presently, the 0.39 acre site is partially developed with a paved roadway and a dirt building pad. The site is surrounded by private property with an existing access paved road, Corianda Court, within the easterly portion of the lot. The site is relatively level. As shown on FEMA Panel #331H, the site is not located in a 100 year flood plain.

##### PROPOSED CONDITIONS:

A home is proposed within the center of the lot. Current COA Drainage Ordinance requires that ponds must be provided to handle the First Flush volume which has been calculated and is included on this plan. As shown by the plan, the building is located in the center of the lot. Negligible off-site flows enter the site. On site flows will drain around the structure via swales, and flow to the north to the first flush retention pond. All roof drainage will discharge from the roof to the lot and be directed around the structure to the drainage paths and pond.

Supplemental calculations are shown as part of this Grading and Drainage plan.

##### CALCULATIONS:

The calculations shown hereon define the 100 year-6 hour design storm falling within the project area under existing and developed conditions. The Hydrology is per "Section 22.2, Hydrology of the Development Process Manual, Volume 2, Design Criteria, for the City of Albuquerque, New Mexico in cooperation with Bernalillo County, New Mexico and the Albuquerque Metropolitan Arroyo Flood Control Authority.

##### PROPERTY ADDRESS:

2609 Corianda Ct. NW

##### TOPOGRAPHY:

Topographic information provided by Christopher Median, Terra Land Surveys LLC, dated July, 2017.



#### FEMA FLOODWAY MAP

#### PANEL #331H

#### VICINITY MAP

#### ZONE ATLAS G-13

FLOOD PLAIN NOTE:  
THIS PROPERTY IS IN ZONE "X" PROTECTED BY LEVEE.  
FIRM MAP DATED 8-16-12.

#### LEGEND

	EXISTING	PROPOSED
CONTOUR	6045	6045
PROPERTY LINE		
ROAD		
SETBACK		
WALL		
SPOT ELEVATION	X4966.76	

As requested by the COA in an email dated 7-19-17 the following note is added to the plan.

DRAINAGE CERTIFICATION WITH SURVEY WORK BY PROFESSIONAL SURVEYOR

I, Jackie McDowell, NMPE #10903, of the firm McDowell Engineering, Inc., hereby certify that this project will be graded and will drain in substantial compliance with and in accordance with the design intent of the approved plan dated 7-26-17. The information shown on this design document has been obtained by Christopher Medina, NMPS #15702 of the firm Terra Land Surveys, LLC. I further certify that I have personally visited the project site on July 10, 2017 and have determined by visual inspection that the survey data provided is representative of actual site conditions and is true and correct to the best of my knowledge and belief. This certification is submitted in support of a request for Pad Certification for Building Permit release. The record information presented hereon is not necessarily complete and intended only to verify substantial compliance of the grading and drainage aspects of this project. Those relying on the record document are advised to obtain independent verification of its accuracy before using it for any other purpose.

JACKIE S. MCDOWELL  
NEW MEXICO  
REGISTERED PROFESSIONAL SURVEYOR

7-11-17  
REV. 7-26-17  
REV. 7-31-17

#### ENGINEER'S CERTIFICATION:

I, Jackie S. McDowell, hereby certify that I personally inspected the site shown on this plan on July 10, 2017 and as of that date it appeared that no filling, grading, or excavation had occurred thereon since completion of the topographic survey used to prepare this plan.

CITY OF ALBUQUERQUE, BERNALILLO COUNTY			NEW MEXICO				
LOT 3 CORIANDA COURT							
DEMENNO - GRADING & DRAINAGE PLAN							
<b>McDowell Engineering, Inc.</b> 7820 BEVERLY HILLS AVE. NE • ALBUQUERQUE, NM 87122 TELE: 505-828-2430 • FAX: 505-821-4857							
Designed	JSM	Drawn	STAFF	Checked	JSM	Sheet	of
File	DEMO117L		Date	JUNE, 2017		1	1