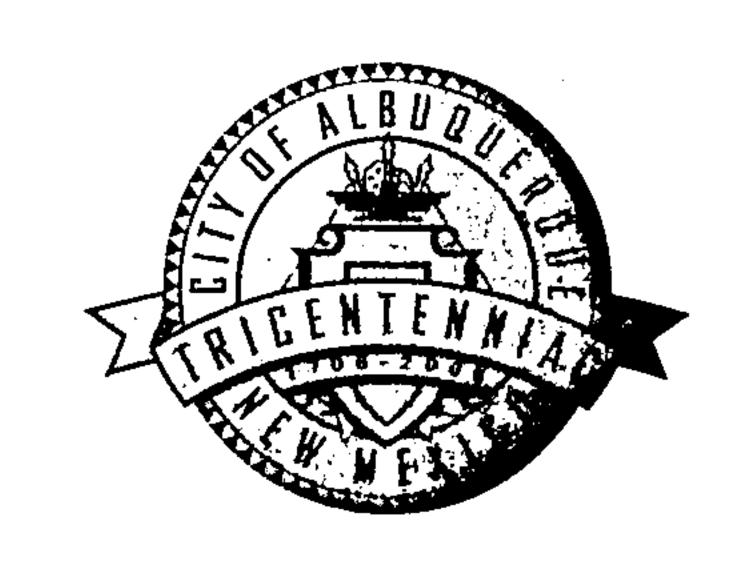
CITY OF ALBUQUERQUE



November 6, 2007

Phil Clark, P.E. Clark Consulting Engineers 19 Ryan Rd. Edgewood, NM 87015

RE: Pinon Encantada (G-13/D027), WO#: 780981

Engineers Certification for Release of Financial Guaranty

Engineers Stamp dated 04/28/06

Engineers Certification dated 11/06/07

Based upon the information provided in your Engineer's Certification Submittal dated 11/06/07, the above referenced plan is adequate to satisfy the Grading and Drainage Certification for Release of Financial Guaranty.

P.O. Box 1293

If you have any questions, you can contact me at 924-3982

Sincerely,

Albuquerque

Timothy Sims

New Mexico 87103

Plan Checker-Hydrology, Planning Dept.

Development and Building Services

C:

Marilyn Maldonado

www.cabq.gov WO#: 780981

File

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (Rev. 12/05)

PROJECT TITLE: Pron Encartada	ZONE MAP/DRG. FILE # G-12/13./DZ 7
DRB#: 1004688 EPC#:	WORK ORDER#: 780981
LEGAL DESCRIPTION: <u>LOTS 1-8, Pinion Encar</u>	tuda
CITY ADDRESS:	
ENGINEERING FIRM Consulting England ADDRESS: Clark Consulting England	ineerscontact: Phil
ADDRESS:	
CITY, STATE Edgewood, New Mexico 87015	TP CODE:
OWNER: Burns / A bboth	. CONTACT:
ADDRESS:	PHONE:
CITY, STATE:	ZIP CODE:
ARCHITECT: Developer - ULtima	CONTACT: Kan Hightowen
ADDRESS:	PHONE: 379-8625
CITY, STATE:	ZIP CODE:
SURVEYOR: Phil Turner	CONTACT: Phi/
ADDRESS:	PHONE: 379-430/
CITY, STATE:	ZIP CODE:
CONTRACTOR: Salls Bros.	CONTACT: Fred - Charlie
	PHONE:
ADDRESS:CITY, STATE:	ZIP CODE:
CITT, BIATE.	ZH CODE.
TYPE OF SUBMITTAL:	TYPE OF APPROVAL SOUGHT:
	SIA/FINANCIAL GUARANTEE RELEASE
	PRELIMINARY PLAT APPROVAL
	S. DEV. PLAN FOR SUB'D APPROVAL
	S. DEV. FOR BLDG. PERMIT APPROVAL
	SECTOR PLAN APPROVAL
	FINAL PLAT APPROVAL
	FOUNDATION PERMIT APPROVAL
	BUILDING PERMIT APPROVAL
	CERTIFICATE OF OCCUPANCY (PERM)
ENGINEER/ARCHITECT CERT (TCL)	CERTIFICATE OF OCCUPANCY (TEMP) GRADING PERMIT APPROVAL
	PAVING PERMIT APPROVAL
OTHER (SPECIFY)	WORK ORDER APPROVAL
	OTHER (SPECIFY)
WAS A PRE-DESIGN CONFERENCE ATTENDED:	
YES .	NOV 0 6 2007 U/
NO	
COPY PROVIDED	HYDROLOGY SECTION
SUBMITTED BY: 2	DATE: 11/6/07
Requests for approvals of Site Development Plans and/or Subdivision Plans	
particular nature, location and scope to the proposed development define levels of submittal may be required based on the following:	e me degree of dramage detail. One or more of the following

- Conceptual Grading and Drainage Plan: Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
- 2. Drainage Plans: Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
- 3. Drainage Report: Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.

CITY OF ALBUQUERQUE



May 16, 2006

Philip Clark, P.E. Clark Consulting Engineers 19 Ryan Road Edgewood, NM 87015

Re:

Pinon Encantada Subdivision (fka Ultima Subdivision), Grading and

Drainage Plan

Engineer's Stamp dated 4-28-06 (G13-D27)

Dear Mr. Clark,

Based upon the information provided in your submittal received 5-01-06, the above referenced plan cannot be approved for Building-Permit until the following comments are addressed:

1. The total impervious area of the lot (including the sidewalk and the roadway) must be no greater than 45%. I have calculated significantly more contributing pavement area than is shown on your calculations, which increases your impervious area past the maximum area allowable. Please show me how you calculated these areas.

2. Note seven says a turned bottom block or drainage opening will be placed on the wall. Per the DPM, the wall must be designed to contain the 100 year 24 hour storm developed runoff. Please provide a detail showing how this will be accomplished.

3. Include a scale and a north arrow on the plan.

- 4. Where is the typical roadway section that was provided on your previous submittal?
- 5. Each individual lot must not exceed the 45% impervious area maximum.
- 6. Call out the finished floor elevation of each lot instead of the concrete slab elevation.

7. All calculations must be stamped, signed, and dated.

- 8. The high point of the street should be four inches above the 100 year 10 day storm water surface elevation (see the City of Albuquerque DPM, Chapter 22, Section 5, Part G).
- Your write up states, "a portion of the site runoff is routed through proposed landscaping." What does this mean? Please elaborate.

If you have any questions, you can contact me at 924-3981.

Sincerely,

Kristal D. Metro, P.E.

Senior Engineer, Planning Dept.

Development and Building Services

www.cabq.gov

New Mexico 87103

P.O. Box 1293

Albuquerque

C: File

- G. Flat Grading Scheme
 A flat grading scheme will be allowed only in the Valley region (within the Conservancy District) of the City and under the following conditions:
 - 1. The site must be flat or can be graded flat.
 - 2. The maximum percent impervious of the lot and the contributing area may not be greater than 45%.
 - Pad elevation shall be a minimum of one (1) foot above the 100 year 10-day storm water surface elevation.
 - 4. The flow between the front yard and back yard cannot be obstructed. The storm water must be allowed to equalize to the same level between the front yard and back yard.
 - A permanent perimeter wall or barrier around the development is required to contain the 100 year 24 hour storm developed runoff.
 - The high point of the street should be four inches above the 100 year 10-day storm water surface elevation.
 - 7. There are no accessible storm drains near the proposed development.

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18: (505) 281-2444 E-Mail coalbquad.com Fax: (505) 281-2444 CALCULATIONS Janushed	Febru Z., 10 days = 3.95" USE 6" Depressed (36) Teau Z., 10 days = 3.95" USE 6" Depressed (36) And S. Using apot elevations 10 day = 66.33 (Sec. 33 (S	1, 127 00 92 on - 6 12/02 on on on one of the o	1945 pop 295/ 2010-1-201 2010-1-2	SNOITAJU. SLOSUICE A'' MIN. S.95" LATIONS A'' MIN.	200 - Super -	1015/2010 10
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Clark Consulting Engineers

2.

LOT	TOTAL AREA (ft ²)	TOTAL AREA (Acres)	PAVEMENT AREA (ft ²)	FOOTPRINT AREA (ft ²)	TOTAL IMPERVIOUS AREA (ft ²)	TOTAL IMPERVIOUS AREA (Acres)	PERCENT IMPERVIOUS AREA
1	14713	0.338	2680	4150	6830	0.157	46%
2	13615	0.313	2356	4150	6506	0.149	48%
3	14384	0.330	3280	4188	7468	0.171	52%
4	12627	0.290	1146	3087	4233	0.097	34%
5	12727	0.292	1064	3087	4151	0.095	33%
6	14384	0.330	3260	4230	7490	0.172	52%
7	13615	0.313	2356	4150	6506	0.149	48%
8	14713	0.338	2680	4150	6830	0.157	46%
	TOTAL	2.543	ACRES				

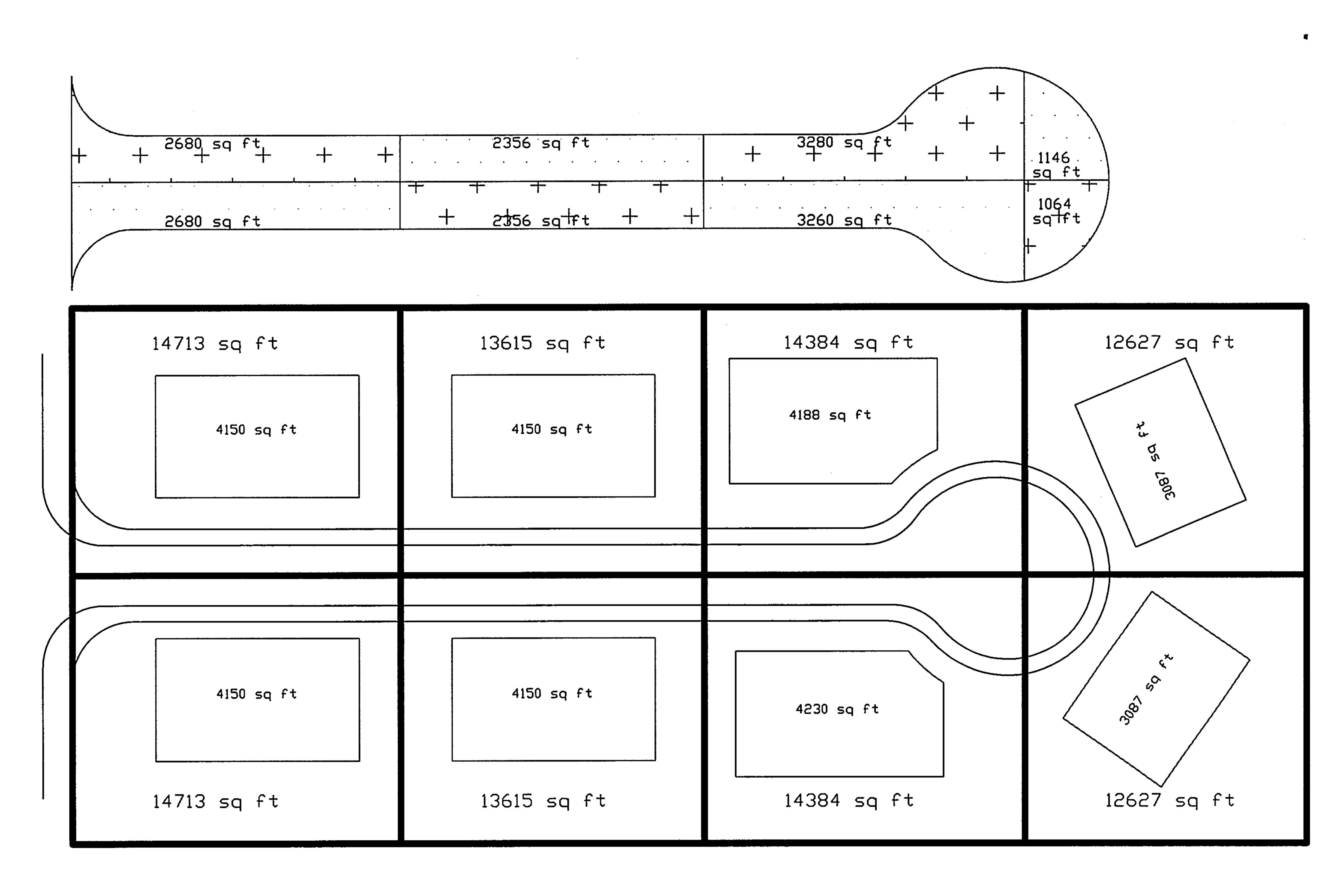
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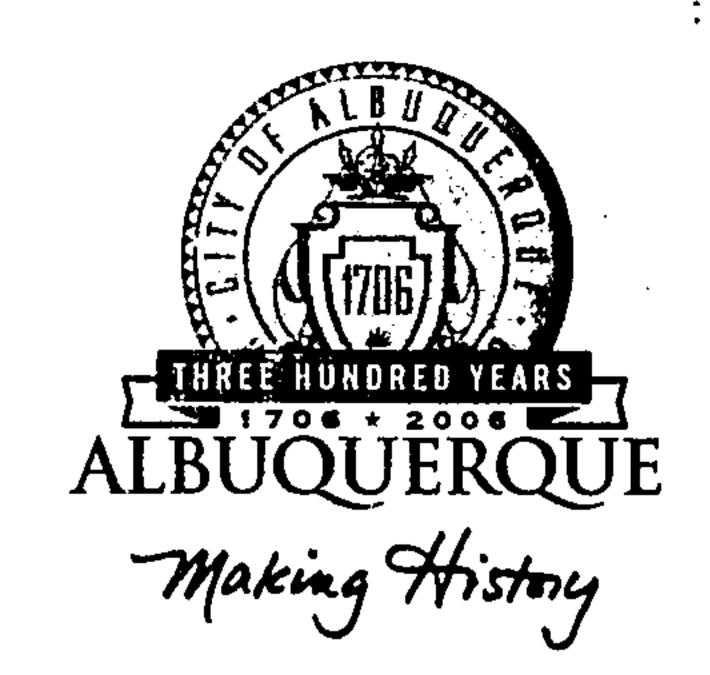
DRAINAGE AND TRANSPORTATION INFORMATION SHEET

•	(REV 01/06 - KDM)
•	Pinon Encantada Syba ZONE MAP: G12/913 WORK ORDER#: 7809.81
PROJECT TITLE: -6/Lyma July.	INDO LACANTADA DUCAL LUNG MAP. ATTY Y
DRB#: EPC#:	WURK URDER#,
LEGAL DESCRIPTION: <u>TR. 2/2a/</u> CITY ADDRESS: <u>26/2</u>	196' Alvarado Gardens
CITY ADDRESS: 26.12	Brande Blud. NW B7107
CITIADDRESS. <u>2016</u> . 201	
ENGINEERING FIRM: Clark Consultin	na Engineers 'CONTACT: Phil
ADDRESS: 19 Ryan Road	PHONE: 281-2444& FAX
CITY, STATE: Edgewood, NM_	ZIP CODE: 87015
OWNER: Abbott Durns	C/o Ulfima Homes CONTACT: Ken Hightowe PHONE: 379-8625
ADDRESS:	710 CODE: 2/7/00 60
CITY, STATE:	ZIP CODE:
	CONTACT:
ARCHITECT: MA	PHONE:
- ADDRESS:	ZIP CODE:
CITY, STATE:	
CUDUESIANCE EIDAA. Torromotrice of M	ow Mexico LICENSED SURVEYOR: Phil Turner
SURVEYING FIRM: Terrametrics of N	PHONE: 379-4301
ADDRESS: PO Box 30192 CATA, STATE: Albuquerque	NM ZIP CODE:87190
Civi, STATE. Albuqueique	
Malli Hun	10204 2/22/00
PROFESSIONAL LICENSED SURVEYOR	SIGNATURE LICENSE NO. DATE
	CONTACT: \
CONTRACTOR:	PHONE:
ADDRESS:	ZIP CODE:
CITY, STATE:	
TYPE OF SUBMITTAL:	CHECK TYPE OF APPROVAL SOUGHT:
DRAINAGE REPORT	SIA/FINANCIAL GUARANTEE RELEASE
DRAINAGE PLAN 1st SUBMIT	TAL PRELIMINARY PLAT APPROVAL
DRAINAGE PLAN RESUBMIT	S. DEV. PLAN FOR SUB'D APPROVAL 6
CONCEPTUAL G & D PLAN	S. DEV. PLAN FOR SUB'D APPROVAL S. DEV. FOR BLDG. PERMIT APPROVAL S.
GRADING PLAN	SECTOR PLAN APPROVAL
EROSION CONTROL PLAN	FINAL PLAT APPROVAL
ENGINEER'S CERT (HYDROI	LOGY) FOUNDATION PERMIT APPROVAL (5)
CLOMR/LOMR	BUILDING PERMIT APPROVAL
TRAFFIC CIRCULATION LAY	YOUT CERTIFICATE OF OCCUPANCY
ENGINEER'S CERT (TCL)	GRADING PERMIT APPROVAL
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ENGINEER'S CERT (DRB SIT	LILINY
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	WORK ORDER APPROVAL
OTHER (SPECIFY)	WORK ORDER APPROVAL OTHER (SPECIFY) [国 © 国] []
OTHER (SPECIFY)	WORK ORDER APPROVAL OTHER (SPECIFY) [国 © 国]
WAS A PRE-DESIGN CONFERENCE A YES - Telecon w	WORK ORDER APPROVAL OTHER (SPECIFY) E G E V E ATTENDED: Ad B. 9 4/28/06 FEB 2.2 2996
WAS A PRE-DESIGN CONFERENCE / YES - Telecon w / D/ NO	WORK ORDER APPROVAL OTHER (SPECIFY) [国 © 国] []
WAS A PRE-DESIGN CONFERENCE A YES - Telecon w	WORK ORDER APPROVAL OTHER (SPECIFY) E G E V E ATTENDED: Ad B. 9 4/28/06 FEB 2.2 2996
WAS A PRE-DESIGN CONFERENCE / YES - Telecon w / Die NO COPY PROVIDED DATE SUBMITTED: 5//	WORK ORDER APPROVAL OTHER (SPECIFY) E G E V E ATTENDED: Ad B. 9 4/28/06 FEB 2.2 2996

Conceptual Grading and Drainage Plan: Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
 Drainage Plans: Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
 Drainage Report: Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.

required based on the following:

CITY OF ALBUQUERQUE



March 29, 2006

Philip W Clark, PE Clark Consulting Engineers 19 Ryan Rd. Edgewood, NM 87015

Pinon Encantada Subdivision Grading and Drainage Plan . Re: Engineer's Stamp dated 2-6-06 (G13/D27)

Dear Mr. Clark,

Based upon the information provided in your submittal dated 2-22-06, the above referenced plan is approved for Preliminary Plat. Prior to Work Order or Final Plat, please resubmit the grading plan and provide all calculations required to adhere to the flat grading scheme (as shown in the DPM, ch. 22, sect 5 - G) which states a number of conditions that must be met in order to adequately ensure that drainage from each lot is fully contained.

The maximum percent impervious of the lot can be no more that 45%. This includes the halfstreet and sidewalk. Please provide a table for each lot denoting maximum house pad size after taking all other impervious surfaces into account.

- Pad elevation shall be a minimum of one foot above the 100-yr, 10-day storm water surface elevation. Show what this elevation is on each lot and provide enough spot elevations on the grading plan to show that the required volume on each lot is provided.
- If there are walls planned between the front and back yard, a turned block will be required.
- The high point on the street should be 4 inches above the 100-yr, 10-day WSE.
- Even though there is a storm drain in Rio Grande, it is only 18 inches in diameter and probably does not have the capacity for this property. But you will need to state this in your narrative.

If you have any questions, you can contact me at 924-3986.

Sincerely,

Bradley L. Bingham, PE

Principal Engineer, Planning Dept. Development and Building Services

file

Albuquerque

P.O. Box 1293

New Mexico 87103

www.cabq.gov

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

PROJECT TITLE: GETTING Subd. (REV 01/06 - KDM)	(1)
PROJECT TITLE: 644-1111-12 Subd	ZONE MAP: <u>G-12/G</u>
1 11 / 1 / 44 ·	RK ORDER#:
	*** **********************************
LEGAL DESCRIPTION: TR. 2/2a/26, Alvarado Garde CITY ADDRESS: 2612 Lio Grande Blvd.	225
Total Afford Afford	NW 87107
ENGINEERING FIRM: Clark Consulting Engineers	CONTACT: Phil
ADDRESS: 19 Ryan Road	PHONE: 281-2444& FAX
CITY, STATE: Edgewood, NM	ZIP CODE: 87015
OWNER: Abbott Burns C/o Ulfima Homes ADDRESS:	
ADDRESS:	DUONE: 300 015
CITY, STATE:	FROME:
ARCHITECT: MA	CONTACT:
ADDRESS:	PHONE:
CITY, STATE:	ZIP CODE:
SURVEYING FIRM: Terrametrics of New Mexico LICE	
ADDRESS: PO Box 30192	ENSED SURVEYOR: Phil Turner
CITY, STATE: Albuquerque NM	PHONE: 379-4301
	ZII CODE.0/190
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