CITY OF ALBUQUERQUE

November 6, 2007

Phil Clark, P.E.
Clark Consulting Engineers
19 Ryan Rd.
Edgewood, NM 87015

RE: Pinon Encantada (G-13/D027), WO#: 780981
Engineers Certification for Release of Financial Guaranty
Engineers Stamp dated 04/28/06
Engineers Certification dated 11/06/07

Based upon the information provided in your Engineer's Certification Submittal dated 11/06/07, the above referenced plan is adequate to satisfy the Grading and Drainage Certification for Release of Financial Guaranty.

If you have any questions, you can contact me at 924-3982

Sincerely,

Timothy Sims
Plan Checker-Hydrology, Planning Dept.
Development and Building Services

C: Marilyn Maldonado
WO#: 780981
File

P.O. Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

DRAINAGE AND TRANSPORTATION INFORMATION SHEET
(Rev. 12/05)

PROJECT TITLE: Pinon Encantada ZONE MAP/DRG. FILE # G-12/13/D27
DRB#: 1004688 EPC#: WORK ORDER#: 780981

LEGAL DESCRIPTION: LOTS 1-8, Pinon Encantada
CITY ADDRESS:

ENGINEERING FIRM: CC Clark Consulting Engineers CONTACT: Phil
ADDRESS: 19 Ryan Road PHONE: 281-2444
CITY, STATE: Edgewood, New Mexico 87015 ZIP CODE:

OWNER: Burns / Abbott CONTACT:
ADDRESS: PHONE:
CITY, STATE: ZIP CODE:

ARCHITECT: Developer - Ultima CONTACT: Ken Hightower
ADDRESS: PHONE: 379-8625
CITY, STATE: ZIP CODE:

SURVEYOR: Phil Turner CONTACT: Phil
ADDRESS: PHONE: 379-4301
CITY, STATE: ZIP CODE:

CONTRACTOR: Salls Bros. CONTACT: Fred - Charlie
ADDRESS: PHONE:
CITY, STATE: ZIP CODE:

TYPE OF SUBMITTAL:
- ✓ DRAINAGE REPORT
- _____ DRAINAGE PLAN 1st SUBMITTAL
- _____ DRAINAGE PLAN RESUBMITTAL
- _____ CONCEPTUAL G & D PLAN
- X GRADING PLAN
- _____ EROSION CONTROL PLAN
- _____ ENGINEER'S CERT (HYDROLOGY)
- _____ CLOMR/LOMR
- _____ TRAFFIC CIRCULATION LAYOUT
- _____ ENGINEER/ARCHITECT CERT (TCL)
- _____ ENGINEER/ARCHITECT CERT (DRB S.P.)
- _____ ENGINEER/ARCHITECT CERT (AA)
- _____ OTHER (SPECIFY)

CHECK TYPE OF APPROVAL SOUGHT:
- X SIA/FINANCIAL GUARANTEE RELEASE
- _____ PRELIMINARY PLAT APPROVAL
- _____ S. DEV. PLAN FOR SUB'D APPROVAL
- _____ S. DEV. FOR BLDG. PERMIT APPROVAL
- _____ SECTOR PLAN APPROVAL
- _____ FINAL PLAT APPROVAL
- _____ FOUNDATION PERMIT APPROVAL
- _____ BUILDING PERMIT APPROVAL
- _____ CERTIFICATE OF OCCUPANCY (PERM)
- _____ CERTIFICATE OF OCCUPANCY (TEMP)
- _____ GRADING PERMIT APPROVAL
- _____ PAVING PERMIT APPROVAL
- _____ WORK ORDER APPROVAL
- _____ OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED:
- _____ YES
- _____ NO
- _____ COPY PROVIDED

RECEIVED
NOV 06 2007
HYDROLOGY SECTION

SUBMITTED BY: DATE: 11/6/07

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope to the proposed development define the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.

2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.

3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.

CITY OF ALBUQUERQUE

May 16, 2006

Philip Clark, P.E.
Clark Consulting Engineers
19 Ryan Road
Edgewood, NM 87015

Re: Pinon Encantada Subdivision (fka Ultima Subdivision), Grading and Drainage Plan

Engineer's Stamp dated 4-28-06 (G13-D27)

Dear Mr. Clark,

Based upon the information provided in your submittal received 5-01-06, the above referenced plan cannot be approved for ~~Building Permit~~ Final Plat until the following comments are addressed:

1. The total impervious area of the lot (including the sidewalk and the roadway) must be no greater than 45%. I have calculated significantly more contributing pavement area than is shown on your calculations, which increases your impervious area past the maximum area allowable. Please show me how you calculated these areas.
2. Note seven says a turned bottom block or drainage opening will be placed on the wall. Per the DPM, the wall must be designed to contain the 100 year 24 hour storm developed runoff. Please provide a detail showing how this will be accomplished.
3. Include a scale and a north arrow on the plan.
4. Where is the typical roadway section that was provided on your previous submittal?
5. Each individual lot must not exceed the 45% impervious area maximum.
6. Call out the finished floor elevation of each lot instead of the concrete slab elevation.
7. All calculations must be stamped, signed, and dated.
8. The high point of the street should be four inches above the 100 year 10 day storm water surface elevation (see the City of Albuquerque DPM, Chapter 22, Section 5, Part G).
9. Your write up states, "a portion of the site runoff is routed through proposed landscaping." What does this mean? Please elaborate.

If you have any questions, you can contact me at 924-3981.

Sincerely,

Kristal D. Metro, P.E.
Senior Engineer, Planning Dept.
Development and Building Services

C: File

P.O. Box 1293
Albuquerque
New Mexico 87103
www.cabq.gov

G. Flat Grading Scheme

A flat grading scheme will be allowed only in the Valley region (within the Conservancy District) of the City and under the following conditions:

1. The site must be flat or can be graded flat.

2. The maximum percent impervious of the lot and the contributing area may not be greater than 45%.

3. Pad elevation shall be a minimum of one (1) foot above the 100 year 10-day storm water surface elevation.

4. The flow between the front yard and back yard cannot be obstructed. The storm water must be allowed to equalize to the same level between the front yard and back yard.

5. A permanent perimeter wall or barrier around the development is required to contain the 100 year 24 hour storm developed runoff.

6. The high point of the street should be four inches above the 100 year 10-day storm water surface elevation.

7. There are no accessible storm drains near the proposed development.

C Clark Consulting Engineers
19 Ryan Road
Edgewood, New Mexico 87015
Tele: (505) 281-2444
E-Mail ccealbq@aol.com
Fax: (505) 281-2444

SHEET 1 OF 1

CALCULATIONS

DATE: 4/24/06
PROJECT: Piñon Encantada G13/D27

* Zone 2, $P_{10\ days}$ = 3.95" (1) USE 6" Depressed (See Plan) 05.8 yards, using spot elevations ... 10-day = W.S.E. 66.33 (See Plan)

(2) provide the finished floor elev / Finished pad will be 1'-0" Above this Elevation.
ASSUME: 4" Min. conc. slab on-grade
∴ FIN. FLR. ensured to be 1' min. Above the 10-day storm ELEV.

* 45% Max Imperv. VS. House Pad Size Max.

	Ac.	45%	(LESS STREET)	Max Pad Size
LOT 1	.34	6645	2206	4439
LOT 2	.31	6077	2032	4045
LOT 3	.33	6469	3085	3384
LOT 4	.29	5684	680	5004
LOT 5	.29	5684	680	5004
LOT 6	.33	6469	3085	3384
LOT 7	.31	6100	2042	4058
LOT 8	~~0.33~~ 0.34	6508	2231	4277
TOTALS 8				33595

∴ Avg. mean Pad Size = 33595/8 ≈ 4200 SF
1. Show this avg. on grading plan

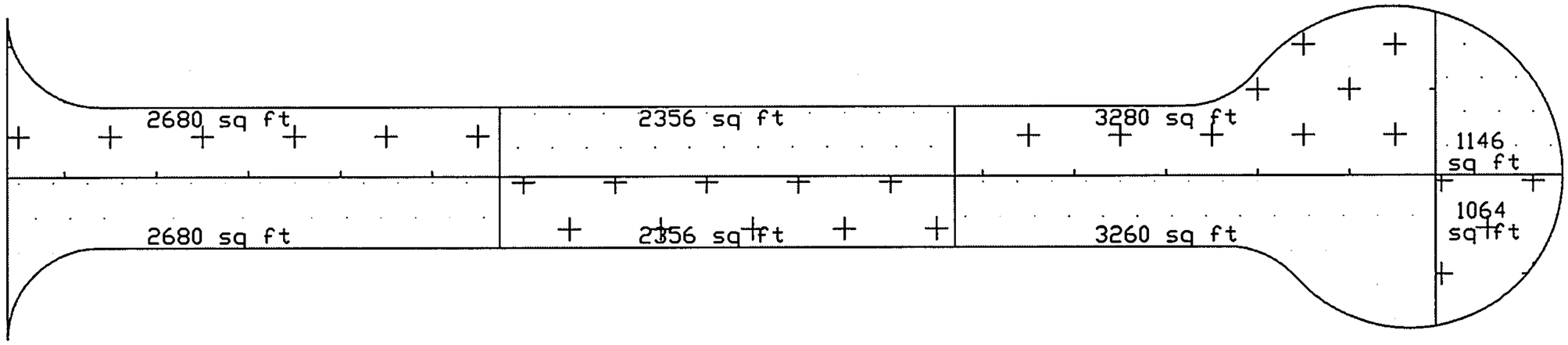
→ Suggest - Building permits be monitored to Not Exceed the Avg. mean, or individually computed LOTS as a whole. Needs to be done by lot

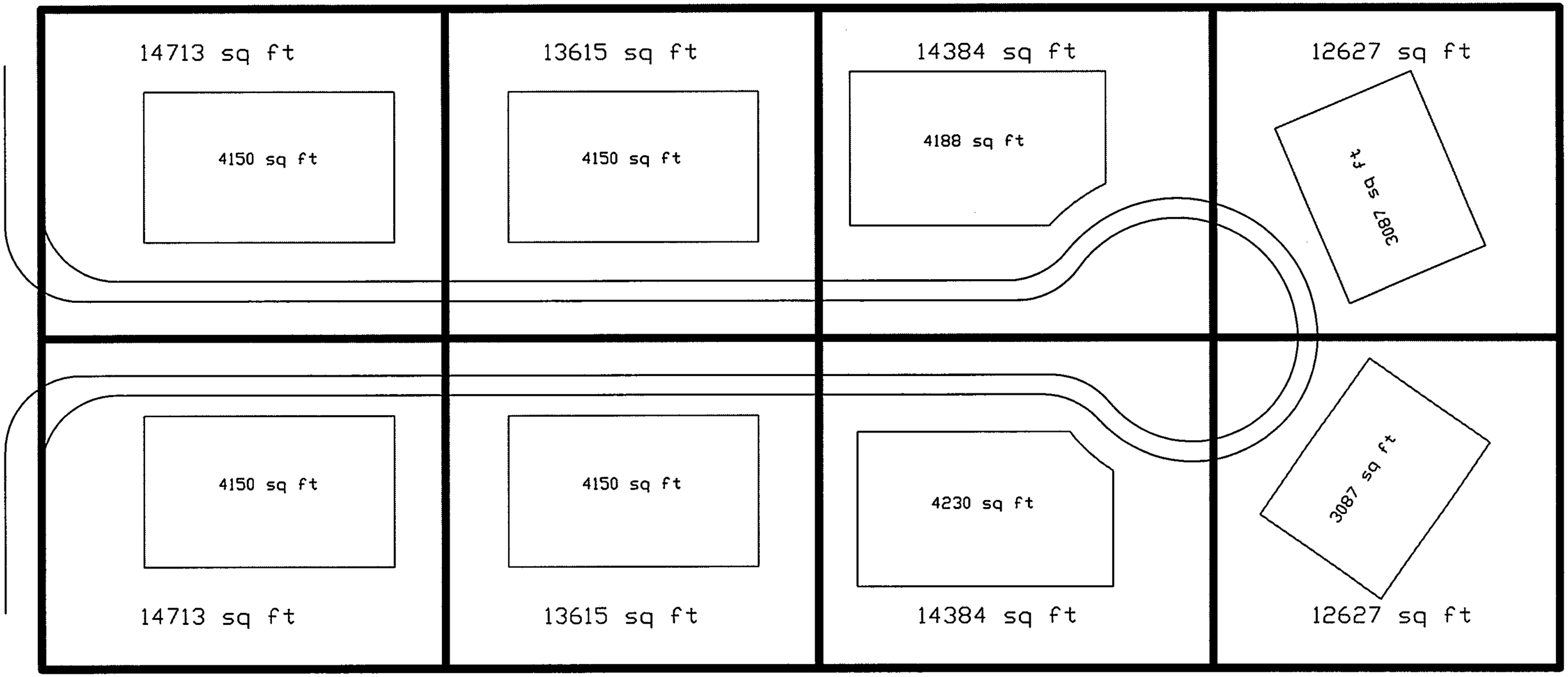
Calculations must be stamped, signed, and dated

RECEIVED
MAY 01 2006
HYDROLOGY SECTION

Designing to Shape the Future

LOT	TOTAL AREA (ft^2)	TOTAL AREA (Acres)	PAVEMENT AREA (ft^2)	FOOTPRINT AREA (ft^2)	TOTAL IMPERVIOUS AREA (ft^2)	TOTAL IMPERVIOUS AREA (Acres)	PERCENT IMPERVIOUS AREA
1	14713	0.338	2680	4150	6830	0.157	**46%**
2	13615	0.313	2356	4150	6506	0.149	**48%**
3	14384	0.330	3280	4188	7468	0.171	**52%**
4	12627	0.290	1146	3087	4233	0.097	**34%**
5	12727	0.292	1064	3087	4151	0.095	**33%**
6	14384	0.330	3260	4230	7490	0.172	**52%**
7	13615	0.313	2356	4150	6506	0.149	**48%**
8	14713	0.338	2680	4150	6830	0.157	**46%**
	TOTAL	**2.543**	**ACRES**				


2680 sq ft
2356 sq ft
3280 sq ft
1146 sq ft
2680 sq ft
2356 sq ft
3260 sq ft
1064 sq ft


14713 sq ft
4150 sq ft
13615 sq ft
4150 sq ft
14384 sq ft
4188 sq ft
12627 sq ft
3087 sq ft
4150 sq ft
4150 sq ft
4230 sq ft
3087 sq ft
14713 sq ft
13615 sq ft
14384 sq ft
12627 sq ft

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 01/06 – KDM)

G-13/D27

PROJECT TITLE: ~~Ultima Subd.~~ Pinon Encantada Subd ZONE MAP: ~~G-12/G-13~~

DRB#: 1004688 EPC#: _____ WORK ORDER#: 7809.81

LEGAL DESCRIPTION: Tr. 2/2a/2b, Alvarado Gardens

CITY ADDRESS: 2612 Rio Grande Blvd. NW 87107

ENGINEERING FIRM: Clark Consulting Engineers CONTACT: Phil

ADDRESS: 19 Ryan Road PHONE: 281-2444& FAX

CITY, STATE: Edgewood, NM ZIP CODE: 87015

OWNER: Abbott/Burns C/o Ultima Homes CONTACT: Ken Hightower

ADDRESS: PHONE: 379-8625

CITY, STATE: ZIP CODE:

ARCHITECT: N/A CONTACT: _____

ADDRESS: PHONE: _____

CITY, STATE: ZIP CODE: _____

SURVEYING FIRM: Terrametrics of New Mexico LICENSED SURVEYOR: Phil Turner

ADDRESS: PO Box 30192 PHONE: 379-4301

CITY, STATE: Albuquerque NM ZIP CODE:87190

PROFESSIONAL LICENSED SURVEYOR SIGNATURE | 10204 LICENSE NO. | 2/22/06 DATE

CONTRACTOR: CONTACT: _____

ADDRESS: PHONE: _____

CITY, STATE: ZIP CODE: _____

TYPE OF SUBMITTAL:

- ____ DRAINAGE REPORT
- ~~X~~ DRAINAGE PLAN 1st SUBMITTAL
- X DRAINAGE PLAN RESUBMITTAL
- ____ CONCEPTUAL G & D PLAN
- ~~X~~ GRADING PLAN
- ____ EROSION CONTROL PLAN
- ____ ENGINEER'S CERT (HYDROLOGY)
- ____ CLOMR/LOMR
- ____ TRAFFIC CIRCULATION LAYOUT
- ____ ENGINEER'S CERT (TCL)
- ____ ENGINEER'S CERT (DRB SITE PLAN)
- ____ OTHER (SPECIFY)

CHECK TYPE OF APPROVAL SOUGHT:

- ____ SIA/FINANCIAL GUARANTEE RELEASE
- X PRELIMINARY PLAT APPROVAL
- ____ S. DEV. PLAN FOR SUB'D APPROVAL
- ____ S. DEV. FOR BLDG. PERMIT APPROVAL
- ____ SECTOR PLAN APPROVAL
- ____ FINAL PLAT APPROVAL
- ____ FOUNDATION PERMIT APPROVAL
- X BUILDING PERMIT APPROVAL
- ____ CERTIFICATE OF OCCUPANCY
- ____ GRADING PERMIT APPROVAL
- ____ PAVING PERMIT APPROVAL
- X WORK ORDER APPROVAL
- ____ OTHER (SPECIFY)

RECEIVED MAY 01 2006 HYDROLOGY SECTION

RECEIVED FEB 22 2006 HYDROLOGY SECTION

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- X YES - Telecon w/ Brad B. 9 4/28/06
- ____ NO
- ____ COPY PROVIDED

DATE SUBMITTED: 5/1/06 BY: _____

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.

CITY OF ALBUQUERQUE

March 29, 2006

Philip W Clark, PE
Clark Consulting Engineers
19 Ryan Rd.
Edgewood, NM 87015

Re: Pinon Encantada Subdivision Grading and Drainage Plan
Engineer's Stamp dated 2-6-06 (G13/D27)

Dear Mr. Clark,

Based upon the information provided in your submittal dated 2-22-06, the above referenced plan is approved for Preliminary Plat. Prior to Work Order or Final Plat, please resubmit the grading plan and provide all calculations required to adhere to the flat grading scheme (as shown in the DPM, ch. 22, sect 5 – G) which states a number of conditions that must be met in order to adequately ensure that drainage from each lot is fully contained.

- The maximum percent impervious of the lot can be no more that 45%. This includes the half-street and sidewalk. Please provide a table for each lot denoting maximum house pad size after taking all other impervious surfaces into account.
- Pad elevation shall be a minimum of one foot above the 100-yr, 10-day storm water surface elevation. Show what this elevation is on each lot and provide enough spot elevations on the grading plan to show that the required volume on each lot is provided.
- If there are walls planned between the front and back yard, a turned block will be required.
- The high point on the street should be 4 inches above the 100-yr, 10-day WSE.
- Even though there is a storm drain in Rio Grande, it is only 18 inches in diameter and probably does not have the capacity for this property. But you will need to state this in your narrative.

If you have any questions, you can contact me at 924-3986.

Sincerely,

Bradley L. Bingham, PE
Principal Engineer, Planning Dept.
Development and Building Services

C: file

P.O. Box 1293
Albuquerque
New Mexico 87103
www.cabq.gov

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 01/06 – KDM)

G-13/D27

PROJECT TITLE: Pinon Encantado ~~Ultima~~ Subd. ZONE MAP: G-12/G-13

DRB#: _____ EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION: Tr. 2/2a/2b, Alvarado Gardens

CITY ADDRESS: 2612 Rio Grande Blvd. NW 87107

ENGINEERING FIRM: Clark Consulting Engineers CONTACT: Phil

ADDRESS: 19 Ryan Road PHONE: 281-2444& FAX

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OWNER: Abbott/Burns C/o Ultima Homes CONTACT: Ken Hightower

ADDRESS: _____ PHONE: 379-8625

CITY, STATE: _____ ZIP CODE: _____

ARCHITECT: N/A CONTACT: _____

ADDRESS: _____ PHONE: _____

CITY, STATE: _____ ZIP CODE: _____

SURVEYING FIRM: Terrametrics of New Mexico LICENSED SURVEYOR: Phil Turner

ADDRESS: PO Box 30192 PHONE: 379-4301

CITY, STATE: Albuquerque NM ZIP CODE:87190

Phil W. Turner 10204 2/22/06

PROFESSIONAL LICENSED SURVEYOR SIGNATURE LICENSE NO. DATE

CONTRACTOR: _____ CONTACT: _____

ADDRESS: _____ PHONE: _____

CITY, STATE: _____ ZIP CODE: _____

TYPE OF SUBMITTAL:

_____ DRAINAGE REPORT
X DRAINAGE PLAN 1st SUBMITTAL
_____ DRAINAGE PLAN RESUBMITTAL
_____ CONCEPTUAL G & D PLAN
X GRADING PLAN
_____ EROSION CONTROL PLAN
_____ ENGINEER'S CERT (HYDROLOGY)
_____ CLOMR/LOMR
_____ TRAFFIC CIRCULATION LAYOUT
_____ ENGINEER'S CERT (TCL)
_____ ENGINEER'S CERT (DRB SITE PLAN)
_____ OTHER (SPECIFY)

CHECK TYPE OF APPROVAL SOUGHT:

_____ SIA/FINANCIAL GUARANTEE RELEASE
X PRELIMINARY PLAT APPROVAL
_____ S. DEV. PLAN FOR SUB'D APPROVAL
_____ S. DEV. FOR BLDG. PERMIT APPROVAL
_____ SECTOR PLAN APPROVAL
_____ FINAL PLAT APPROVAL
_____ FOUNDATION PERMIT APPROVAL
N/A BUILDING PERMIT APPROVAL
_____ CERTIFICATE OF OCCUPANCY
_____ GRADING PERMIT APPROVAL
_____ PAVING PERMIT APPROVAL
_____ WORK ORDER APPROVAL
_____ OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED:

X YES - Telecon w/ Brad B.
_____ NO
_____ COPY PROVIDED

RECEIVED
FEB 22 2006
HYDROLOGY SECTION

DATE SUBMITTED: _____ BY: _____

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

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