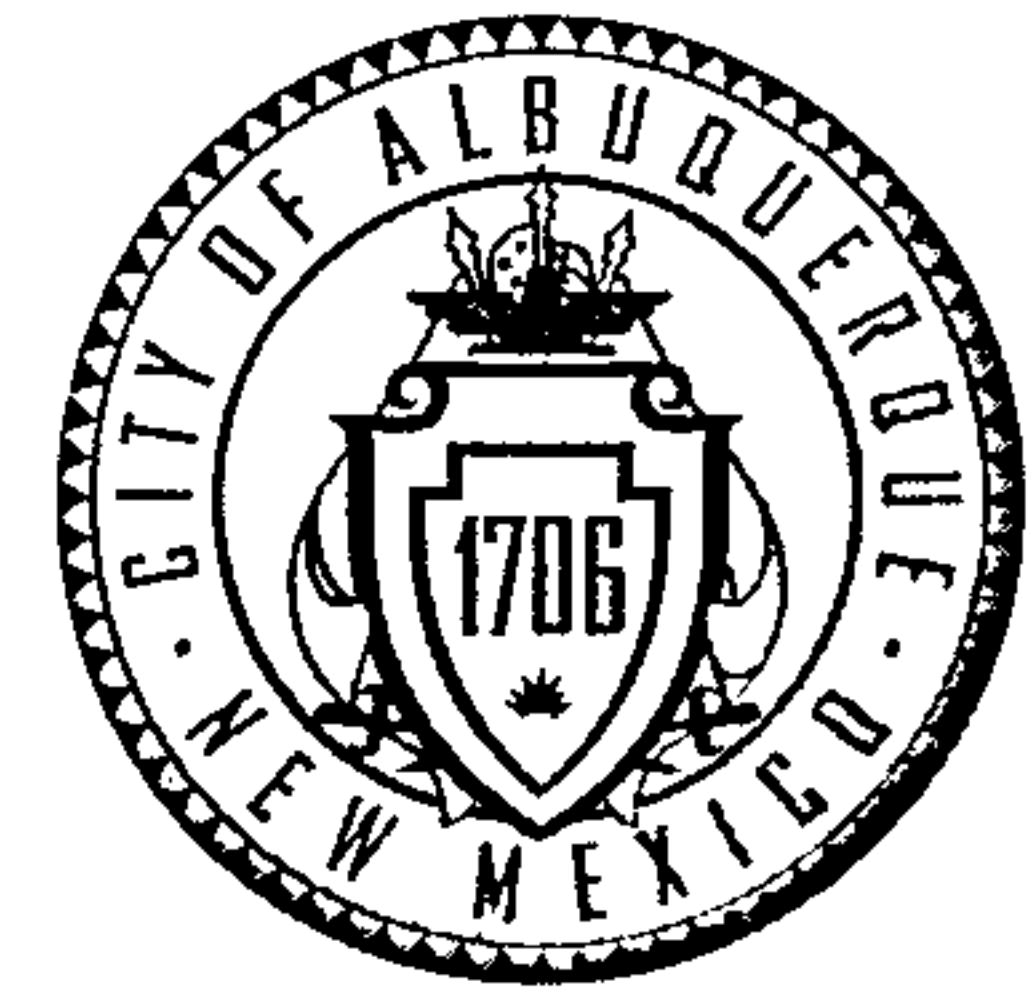


# CITY OF ALBUQUERQUE



January 7, 2014

Sheldon Greer, P.E.  
GND, LLC  
10224 Green River Place  
Albuquerque, NM 87114

**Re: Lot 34-C, 2304 Rio Grande NW  
Request for Permanent C.O. - Accepted  
Engineer's Stamp dated: 03-13-13 (G13/D029)  
Certification dated: 1-02-14**

Dear Mr. Greer,

Based on the Certification received 1/3/2014, the site is acceptable for release of Certificate of Occupancy by the Hydrology Department.

PO Box 1293

Hydrology is asking for an electronic copy, in .pdf format, of this certification for our records. This certification can be e-mailed to: [rrael@cabq.gov](mailto:rrael@cabq.gov).

Albuquerque

If you have any questions, you can contact me at 924-3986 or Rudy Rael at 924-3977.

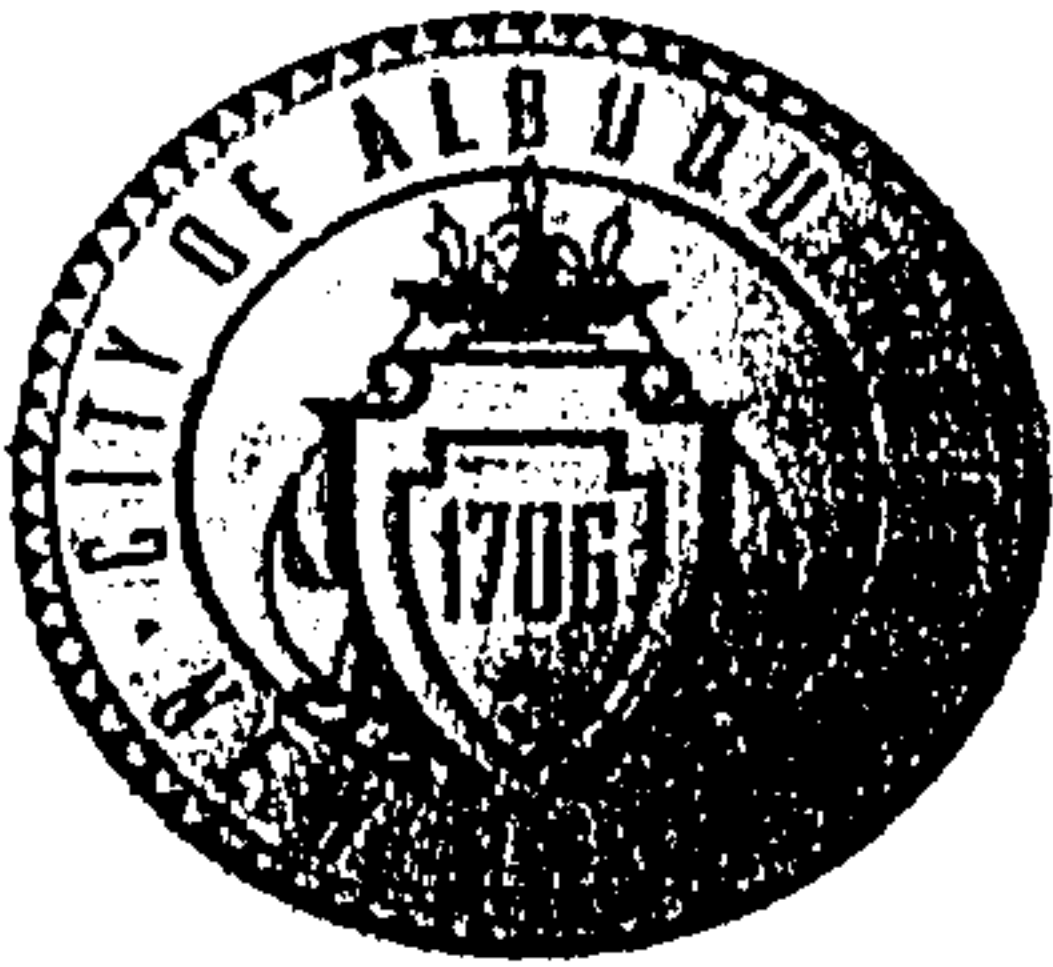
New Mexico 87103

[www.cabq.gov](http://www.cabq.gov)

Sincerely,

Curtis Cherne, P.E.  
Principal Engineer, Planning Dept.  
Development and Review Services

RR/CC  
C: CO Clerk—Katrina Sigala  
email



# City of Albuquerque

Planning Department

Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

Project Title: LOT 34-C 2304 Rio Grande Building Permit #: \_\_\_\_\_ City Drainage #: G13/0029  
DRB#: 1001941 EPC#: \_\_\_\_\_ Work Order#: \_\_\_\_\_

Legal Description: LOT 34-C

City Address: \_\_\_\_\_

Engineering Firm: GND, LLC CONSULTING ENGINEERS Contact: SHELDON GREER

Address: 10224 GREEN RIVER PL ALB NM

Phone#: 505-264-0472 Fax#: \_\_\_\_\_ E-mail: sgreer@gnlcp.com

Owner: ANNA RODRIGUEZ

Contact: ANNA RODRIGUEZ

Address: RIO GRANDE

Phone#: 505-250-0035 Fax#: \_\_\_\_\_

E-mail: \_\_\_\_\_

Architect: \_\_\_\_\_

Contact: \_\_\_\_\_

Address: \_\_\_\_\_

Phone#: \_\_\_\_\_

Fax#: \_\_\_\_\_

E-mail: \_\_\_\_\_

Surveyor: \_\_\_\_\_

Contact: \_\_\_\_\_

Address: \_\_\_\_\_

Phone#: \_\_\_\_\_

Fax#: \_\_\_\_\_

E-mail: \_\_\_\_\_

Contractor: FIRST CHOICE BUILDERS

Contact: FRED RIVERA

Address: \_\_\_\_\_

Phone#: 244-3800

Fax#: \_\_\_\_\_

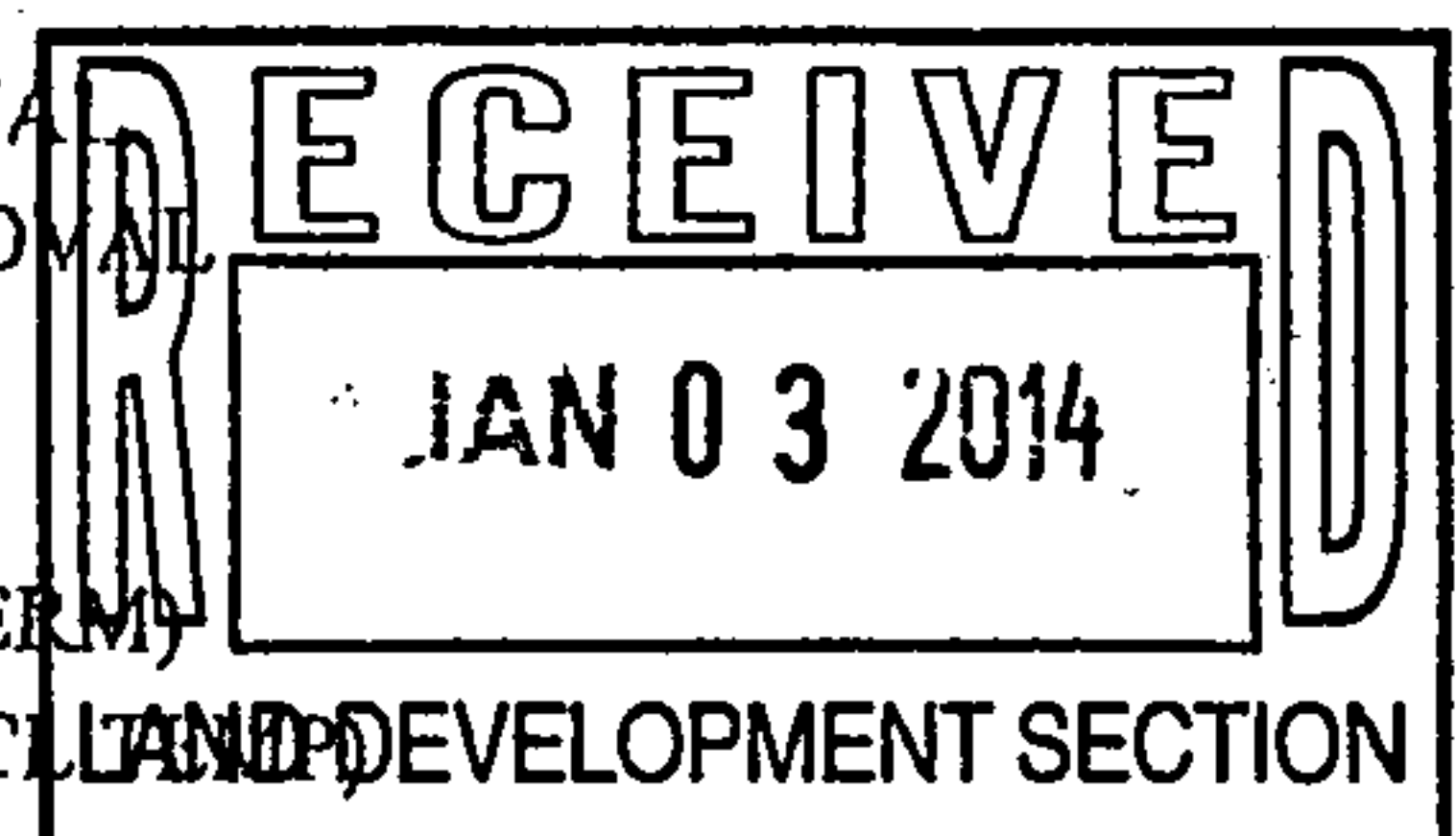
E-mail: \_\_\_\_\_

### TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1st SUBMITTAL
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL G & D PLAN
- ☐ GRADING PLAN
- ☐ EROSION & SEDIMENT CONTROL PLAN (ESC)
- ☒ ENGINEER'S CERT (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEER'S CERT (TCL)
- ☐ ENGINEER'S CERT (DRB SITE PLAN)
- ☐ ENGINEER'S CERT (ESC)
- ☐ SO-19
- ☐ OTHER (SPECIFY)

### CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D APPROVAL
- ☐ S. DEV. FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☒ CERTIFICATE OF OCCUPANCY (PERM)
- ☐ CERTIFICATE OF OCCUPANCY (TCL)
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ BUILDING PERMIT APPROVAL
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ GRADING CERTIFICATION



- ☐ SO-19 APPROVAL
- ☐ ESC PERMIT APPROVAL
- ☐ ESC CERT. ACCEPTANCE
- ☐ OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED: \_\_\_\_\_

Yes

No

Copy Provided

DATE SUBMITTED: 1/3/14

By: \_\_\_\_\_

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more
4. **Erosion and Sediment Control Plan:** Required for any new development and redevelopment site with 1-acre or more of land disturbing area, including project less than 1-acre that are part of a larger common plan of development

# CITY OF ALBUQUERQUE



May 8, 2013

Sheldon Greer, P.E.  
GND, LLC Consulting Engineers  
10224 Green River Place. NW.  
Albuquerque, NM 87114

Re: Lots 34A, B, C and D  
Grading and Drainage Plan  
Engineer's Stamp dated 03-13-13 (G-13/D029)

Dear Mr. Greer,

Based upon the recorded plat received 5/8/2013 and grading and drainage plan received 03-13-13, this project is approved for Building Permit. Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology. Prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist will be required.

PO Box 1293

Albuquerque

If you have any questions, you can contact me at 924-3695.

NM 87103

[www.cabq.gov](http://www.cabq.gov)

Sincerely,

Shahab Biazar, P.E.  
Senior Engineer, Planning Dept.  
Development and Building Services

C: e-mail



# CITY OF ALBUQUERQUE



March 15, 2013

Sheldon Greer, P.E.  
GND, LLC Consulting Engineers  
10224 Green River Place. NW.  
Albuquerque, NM 87114

Re: Lots 34A, B, C and D  
Grading and Drainage Plan  
Engineer's Stamp dated 03-13-13 (G-13/D029)

Dear Mr. Greer,

Based upon the information provided in your submittal received 03-13-13, the above referenced report can not be approved for Building Permit until the following comments are addressed:

- A copy of the final plat approved by DRB is required to accompany the grading and drainage plan prior to building permit approval by Hydrology.

The drainage concerns on the grading plan have been sufficiently addressed and once the above comment is satisfied please resubmit the grading plan to Hydrology for final approval. If you have any questions, you can contact me at 924-3695.

Sincerely,

Shahab Biazar, P.E.  
Senior Engineer, Planning Dept.  
Development and Building Services

C: e-mail

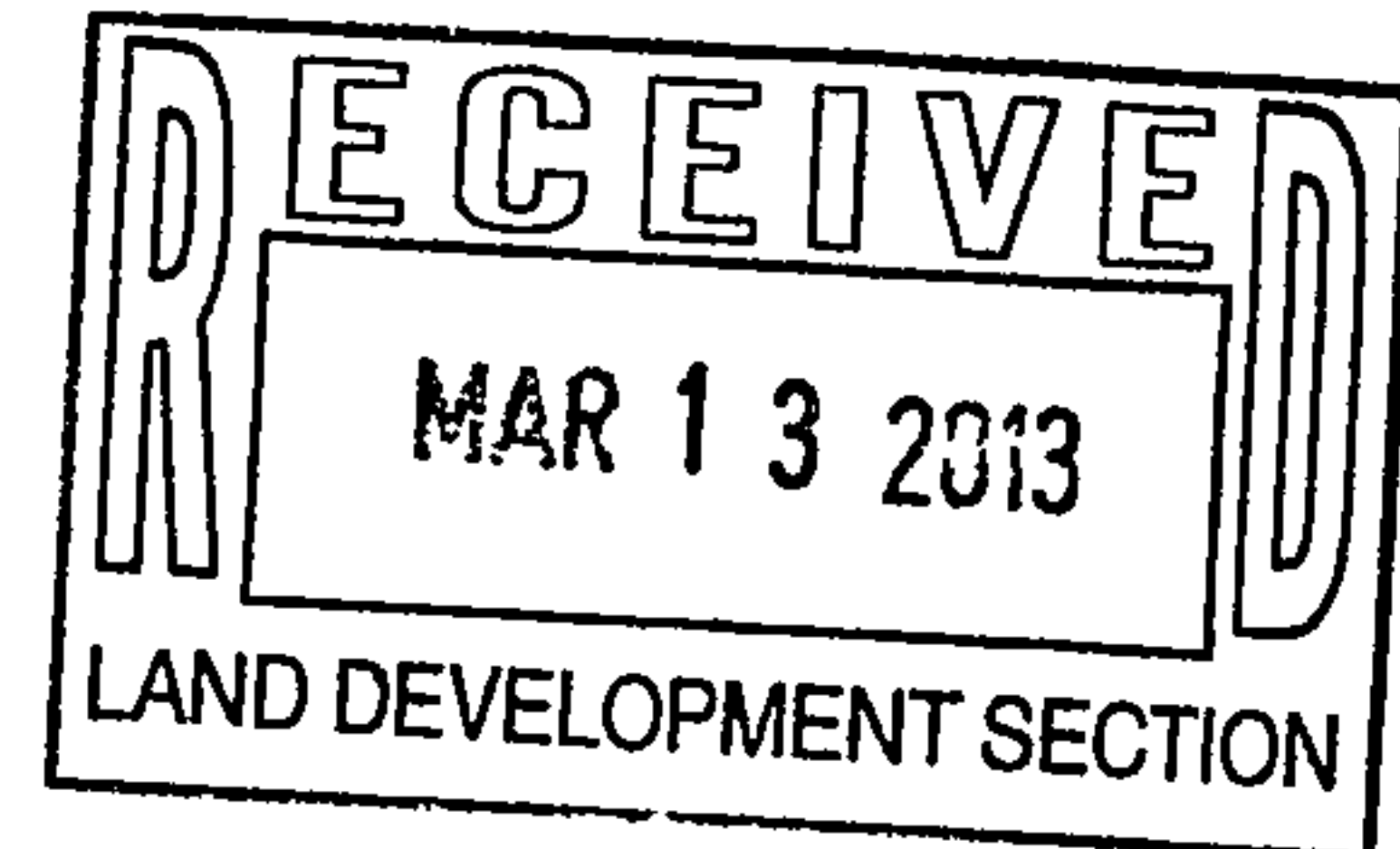
PO Box 1293

Albuquerque

NM 87103

[www.cabq.gov](http://www.cabq.gov)

March 13, 2013



**Mr. Shahab Biazar, P.E**  
Senior Engineer, Planning Dept.  
Development and Building Services

**Re:    Reponse to Comments provide in letter dated March 6, 2013 for:**  
          **Lots 34A, B, C**  
          **Alvarado Gardens Unit 1**  
          **Grading and Drainage Plan**  
          **Engineers Stamp dated 12-31-12 (G13/D029)**

Dear Mr. Biazar,

In response to your comments please consider the following together with revised plans  
Engineer Stamp dated 3-13-13 submitted herewith:

**Comment/Response:**

*Comment #1: The entrance curb cut appears to be too close to the existing inlet. Please shift entrance to the north and provide detail elevations to assure that ADA and 1' water block requirements are met.*

**Response #1: The new driveway as shown is already constructed. It does not interfere with operation of existing inlet nor does the inlet interfere with the use of the driveway.**

**Additional spot elevations have been provided on flowline of roadway that demonstrate that the high point of driveway is 1' above the flowline of the curb and gutter along Rio Grande Blvd.**

*Comment #2: There are several boxes shown with piping which appears to be for the irrigation purposes. Please clarify.*

**Response #2: Notes have been added to Grading Plan for clarity. This is in fact piping for irrigation purposes.**

*Comment #3: Half of the access road drains north to the 7' PNM easement and it is shown to drain east. Is the intent to keep the runoff within the easement? Does the 7' PNM easement also a drainage easement? Is half the road considered also a drainage easement?*

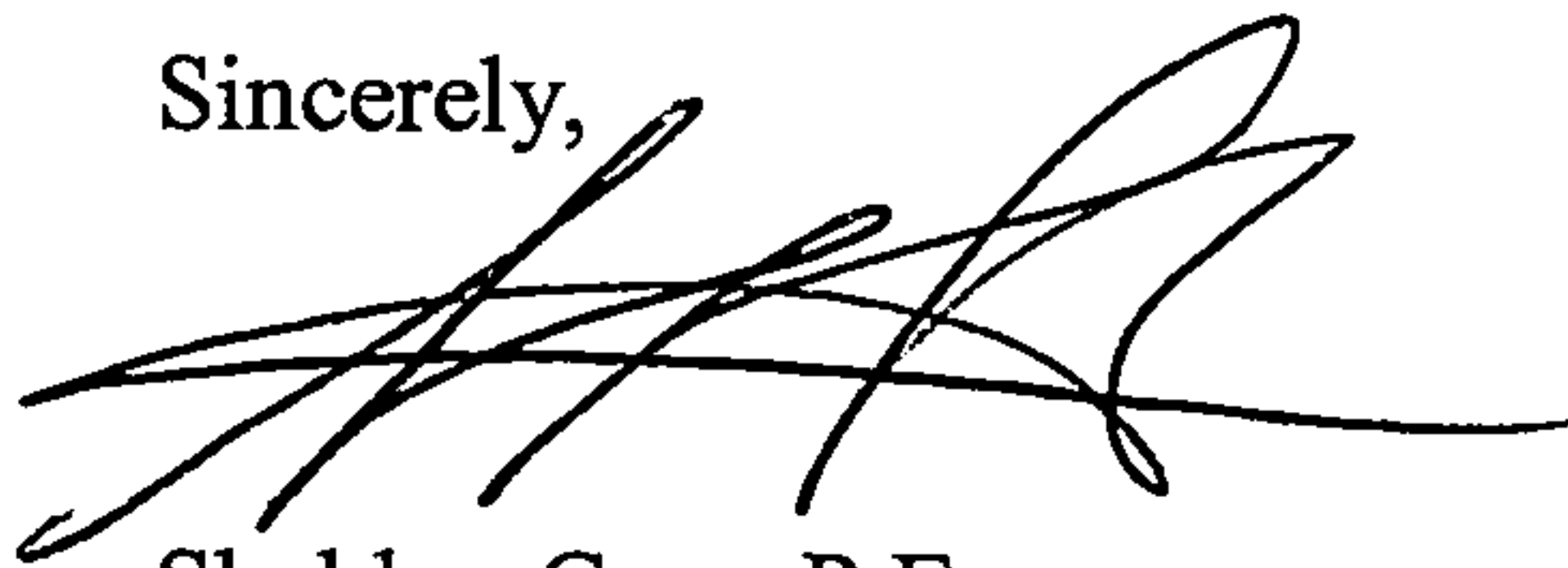
Response to Comments  
Lots 34A, B and C  
Alvarado Gardens Unit 1  
Grading and Drainage Plan

**Response #3:** Berms have been added at each interior property line north of the roadway so that the half of the roadway that drains to the north is contained within each property and will not drain to or across an adjacent lot. This area is not a drainage easement and no easement is required since the runoff is contained within the lot in which it falls. This is a very small quantity of runoff and will be contained within the area adjacent to the roadway.

*Comment #4: Please provide a copy of the plat.*

**Reponse #4:** A copy of the final plat will be provided as soon as it is approved at DRB. You will have opportunity to review plat upon DRB application.

Sincerely,

A handwritten signature in black ink, appearing to read 'Sheldon Greer', with a stylized flourish at the end.

Sheldon Greer P.E.  
Project Engineer

GND Project No. 9092





# City of Albuquerque

Planning Department

Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

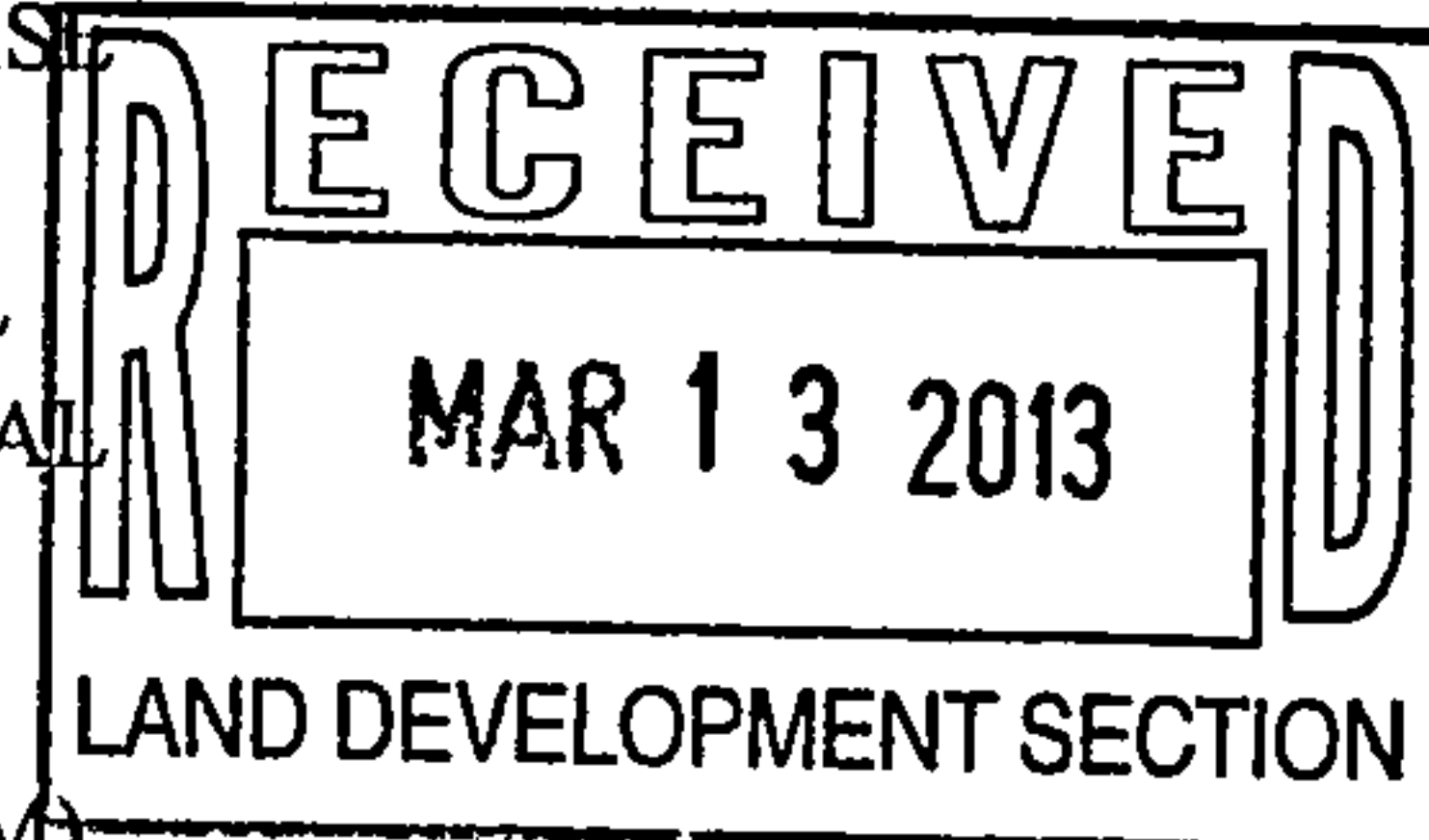
Project Title: 2304 Rto Grande NW City Drainage #: G13/D029  
DRB#: \_\_\_\_\_ EPC#: \_\_\_\_\_ Work Order#: \_\_\_\_\_  
Legal Description: \_\_\_\_\_  
City Address: \_\_\_\_\_  
Engineering Firm: GND LLC Contact: Sheldon Greer  
Address: \_\_\_\_\_  
Phone#: 264-0472 Fax#: \_\_\_\_\_ E-mail: sgreer@swcp.com  
Owner: Anna & Adam Rodriguez Contact: \_\_\_\_\_  
Address: \_\_\_\_\_  
Phone#: \_\_\_\_\_ Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_  
Architect: \_\_\_\_\_ Contact: \_\_\_\_\_  
Address: \_\_\_\_\_  
Phone#: \_\_\_\_\_ Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_  
Surveyor: \_\_\_\_\_ Contact: \_\_\_\_\_  
Address: \_\_\_\_\_  
Phone#: \_\_\_\_\_ Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_  
Contractor: First choice Equity Builders Contact: Fred  
Address: \_\_\_\_\_  
Phone#: \_\_\_\_\_ Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

### TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT  
☐ DRAINAGE PLAN 1st SUBMITTAL  
☒ DRAINAGE PLAN RESUBMITTAL  
☐ CONCEPTUAL G & D PLAN  
☐ GRADING PLAN  
☐ EROSION & SEDIMENT CONTROL PLAN (ESC)  
☐ ENGINEER'S CERT (HYDROLOGY)  
☐ CLOMR/LOMR  
☐ TRAFFIC CIRCULATION LAYOUT (TCL)  
☐ ENGINEER'S CERT (TCL)  
☐ ENGINEER'S CERT (DRB SITE PLAN)  
☐ ENGINEER'S CERT (ESC)  
☐ SO-19  
☐ OTHER (SPECIFY) SO-19

### CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE  
☐ PRELIMINARY PLAT APPROVAL  
☐ S. DEV. PLAN FOR SUB'D APPROVAL  
☐ S. DEV. FOR BLDG. PERMIT APPROVAL  
☐ SECTOR PLAN APPROVAL  
☒ FINAL PLAT APPROVAL  
☐ CERTIFICATE OF OCCUPANCY (PERM)  
☐ CERTIFICATE OF OCCUPANCY (TCL TEMP)  
☐ FOUNDATION PERMIT APPROVAL  
☒ BUILDING PERMIT APPROVAL  
☐ GRADING PERMIT APPROVAL  
☐ PAVING PERMIT APPROVAL  
☐ WORK ORDER APPROVAL  
☐ GRADING CERTIFICATION  
☐ SO-19 APPROVAL  
☐ ESC PERMIT APPROVAL  
☐ ESC CERT. ACCEPTANCE  
☐ OTHER (SPECIFY)



WAS A PRE-DESIGN CONFERENCE ATTENDED: \_\_\_\_\_

Yes \_\_\_\_\_ No \_\_\_\_\_ Copy Provided \_\_\_\_\_

DATE SUBMITTED: 3-13-13

By: SHeldon GREER

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

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2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more
4. **Erosion and Sediment Control Plan:** Required for any new development and redevelopment site with 1-acre or more of land disturbing area, including project less than 1-acre than are part of a larger common plan of development

# CITY OF ALBUQUERQUE



March 6, 2013

Sheldon Greer, P.E.  
GND, LLC Consulting Engineers  
10224 Green River Place. NW.  
Albuquerque, NM 87114

Re: Lots 34A, B, C and D  
Grading and Drainage Plan  
Engineer's Stamp dated 12-31-12 (G13/D029)

Dear Mr. Greer,

Based upon the information provided in your submittal received 4-08-13, the above referenced report can not be approved for building permit based on the following comments:

- The entrance curb cut appears to be too close to the existing inlet. Please shift entrance to the north and provide detail elevations to assure that ADA and 1' water block requirements are met.
- There are several boxes shown with piping which appears to be for the irrigation purposes. Please clarify.
- Half of the access road drains north to the 7' PNM easement and it is shown to drain east. Is the intent to keep the runoff within the easement? Does the 7' PNM easement also a drainage easement? Is half the road considered also a drainage easement?
- Please provide a copy of the plat.

PO Box 1293

Albuquerque

NM 87103

[www.cabq.gov](http://www.cabq.gov)

If you have any questions, you can contact me at 924-3695.

Sincerely,

Shahab Biazar, P.E.  
Senior Engineer, Planning Dept.  
Development and Building Services

C: e-mail



for DRB

# DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2012)

PROJECT TITLE: 2304 Rio Grande NW ZONE/MAP: G-13  
DRB#: \_\_\_\_\_ EPC#: \_\_\_\_\_ WORK ORDER#: \_\_\_\_\_

LEGAL DESCRIPTION: \_\_\_\_\_  
CITY ADDRESS: \_\_\_\_\_

ENGINEERING FIRM: Sheldon Greer CONTACT: 264-0472  
ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_  
CITY, STATE: \_\_\_\_\_ ZIP CODE: \_\_\_\_\_  
EMAIL: \_\_\_\_\_

OWNER: Annie & Adam Rodriguez CONTACT: 250-0035  
ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_  
CITY, STATE: \_\_\_\_\_ ZIP CODE: \_\_\_\_\_

ARCHITECT: \_\_\_\_\_ CONTACT: \_\_\_\_\_  
ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_  
CITY, STATE: \_\_\_\_\_ ZIP CODE: \_\_\_\_\_  
EMAIL: \_\_\_\_\_

SURVEYOR: \_\_\_\_\_ CONTACT: \_\_\_\_\_  
ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_  
CITY, STATE: \_\_\_\_\_ ZIP CODE: \_\_\_\_\_

CONTRACTOR: First Choice Equity Builders CONTACT: Fred  
ADDRESS: 1100 Lomas Blvd NW Suite 3 PHONE: 244-3800  
CITY, STATE: Alb., Nm ZIP CODE: 87102

## TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☒ DRAINAGE PLAN 1<sup>st</sup> SUBMITTAL
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL G & D PLAN
- ☐ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☐ ENGINEER'S CERT (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT
- ☐ ENGINEER'S CERT (TCL)
- ☐ ENGINEER'S CERT (DRB SITE PLAN)
- ☐ OTHER (SPECIFY) \_\_\_\_\_

## CHECK TYPE OF APPROVAL SOUGHT:

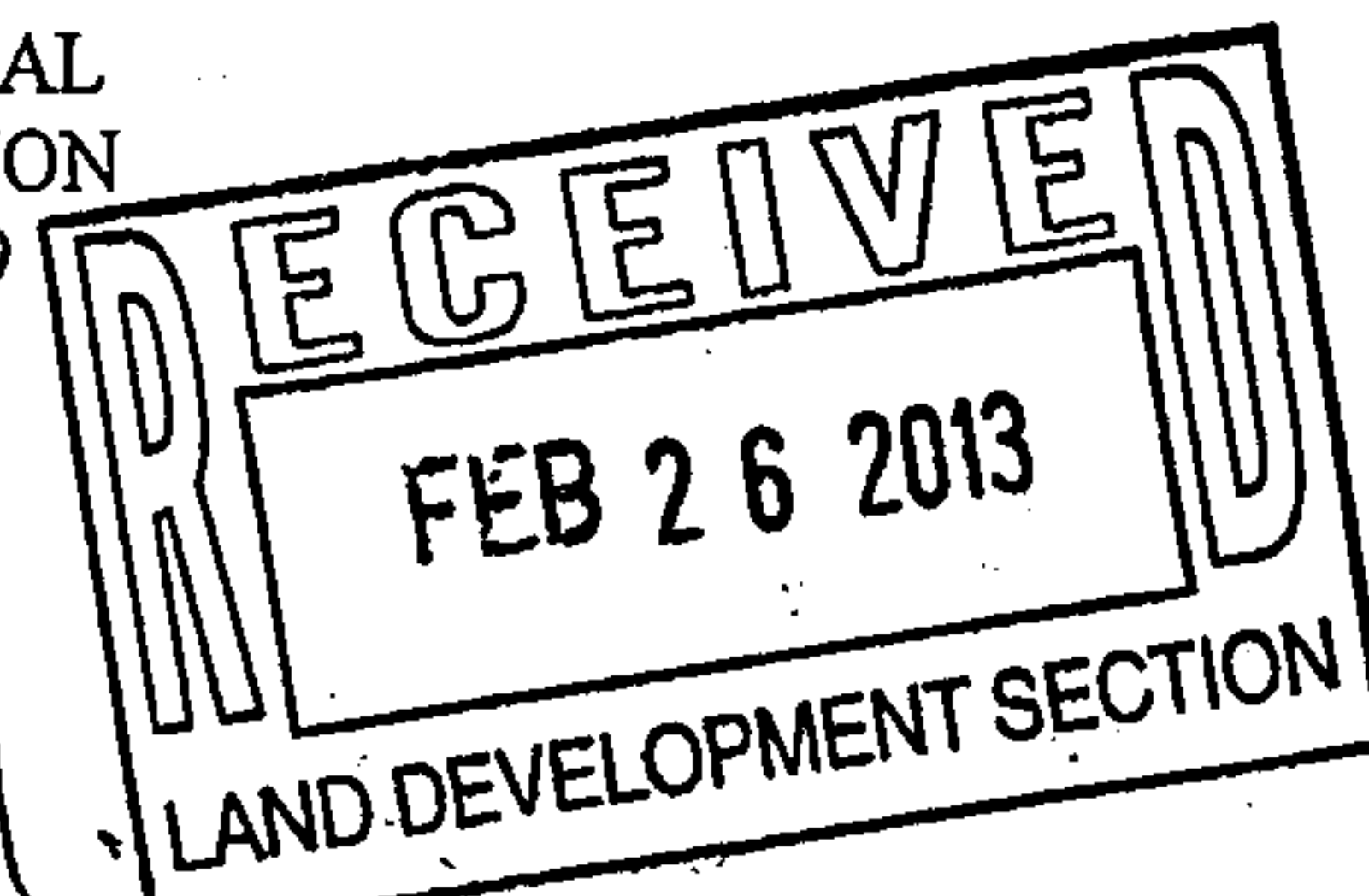
- ☐ SIA/FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D APPROVAL
- ☐ S. DEV. FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☒ FINAL PLAT APPROVAL
- ☐ FOUNDATION PERMIT APPROVAL
- ☒ BUILDING PERMIT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY (PERM)
- ☐ CERTIFICATE OF OCCUPANCY (TEMP)
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ GRADING CERTIFICATION
- ☐ OTHER (SPECIFY) SO-19 \_\_\_\_\_

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
- ☐ NO
- ☐ COPY PROVIDED

\$ 80.00

DATE SUBMITTED: 2/26/13 BY: [Signature]



Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.