

EXISTING CONDITIONS

THE EXISTING SITE CONSISTS OF 1 LOT WITH 1 EXISTING RESIDENTIAL HOME. THE APPROVAL TO SUBDIVIDE THIS LOT INTO 3 LOTS IS IN PROCESS. IT IS ANTICIPATED THAT THIS PROCESS WILL BE COMPLETE CONCURRENT WITH THE REVIEW AND APPROVAL OF THIS GRADING AND DRAINAGE PLAN. THE SUBDIVISION ESTABLISHES 3 LOTS. 1 LOT WILL CONTAIN THE EXISTING HOME, AND 2 ADDITIONAL LOTS ARE CREATED. SINGLE FAMILY RESIDENTIAL HOMES ARE ANTICIPATED TO BE CONSTRUCTED ON THE TWO ADDITIONAL LOTS. THE SUBDIVISION REQUIRED THE CONSTRUCTION OF A DRIVEWAY, AS SHOWN, AND EXTENSION OF UTILITIES ALONG THE NORTH PORTION OF THE PROPERTY TO PROVIDE ACCESS AND SERVICES TO THE TWO NEW LOTS. THE DRIVEWAY AND UTILITIES IMPROVEMENTS HAVE BEEN COMPLETED.

THE EXISTING SITE SOILS CONSIST OF SOILS CLASSIFIED BY THE USDA, NRCS SOIL SURVEY AS MAP UNITS Gc-GILA CLAY LOAM AND Af-AQUA LOAM. BOTH ARE BOTTOMLAND SOILS CONSISTING OF MATERIAL FROM ERODED ALLUVIUM DERIVED FROM IGNEOUS AND SEDIMENTARY ROCK. BOTH ARE CLASSIFIED AS WELL DRAINED MATERIAL WITH A SHALLOW DEPTH (0 TO 24 INCHES) OVERLYING GRAVELLY SANDY LOAM. RECENT TRENCHING ON SITE HAS VERIFIED THE CONSISTENCY OF THESE SOIL TYPES AND THE PRESENCE OF GRAVELLY MATERIAL UNDERLYING THE SHALLOW SURFACE MATERIALS.

STORM WATER DOES NOT DISCHARGE FROM THE PROPERTY. THE SITE ELEVATION IS BELOW THE ADJACENT PROPERTIES ON THE NORTH, SOUTH, AND EAST AND BELOW RIO GRANDE BLVD. ON THE WEST. EACH OF THE ADJACENT PROPERTIES ALSO GENERALLY APPEAR TO RETAIN ITS STORM WATER WITHIN ITS PROPERTY BOUNDARIES. STORM WATER IN RIO GRANDE IS CONTAINED WITHIN THE CURB AND GUTTER AND STORM DRAIN SYSTEM AND FLOW FROM SOUTH TO NORTH ACROSS THE FRONTAGE OF THE PROPERTY.

THE EXISTING SITE DOES SLOPE MILDLY FROM NORTHWEST TO SOUTHEAST SO THAT THE EXISTING DRAINAGE PATTERNS WOULD ACCUMULATE RUNOFF IN THE SOUTHEAST PORTION OF THE PROPERTY. THE EXISTING

PROPOSED CONDITIONS

THE PROPOSED SITE IMPROVEMENTS WILL INCLUDE THE CONSTRUCTION OF TWO SINGLE-FAMILY RESIDENTIAL HOMES. RUNOFF FROM EACH LOT WILL BE CONTAINED WITHIN THE PROPERTY BOUNDARY OF EACH LOT. THE ELEVATION OF EACH STRUCTURE IS SUCH THAT THE FINISHED FLOOR ELEVATION IS AT LEAST 1 FOOT ABOVE THE 100-YEAR, 10-DAY RETENTION VOLUME ELEVATION WITHOUT ACCOUNTING FOR STORM WATER INFILTRATION.

HYDROLOGY:

PER SECTION 22.2, HYDROLOGY, ALBUQUERQUE, NM - DEVELOPMENT PROCESS MANUAL (DPM), VOLUME II

METHOD OF ANALYSIS: PART A - PROCEDURE FOR 40 ACRE AND SMALLER BASINS

PRECIPITATION ZONE: (TABLE A-1)
ZONE 2

RAINFALL DEPTH: (INCHES)	(TABLE A-2)	
P60	= 2.01	100-YEAR
P360	= 2.35	
P1440	= 2.75	
P4045	= 3.30	
P10045	= 3.95	

RETURN PERIOD FACTORS:	(TABLE A-3)	
PERIOD	FACTOR	
50	0.90	
25	0.80	
10	0.667	
5	0.567	
2	0.434	

LAND TREATMENTS: (PER TABLE A-4)
(SEE TABLE THIS SHEET)

EXCESS PRECIPITATION (E): (INCHES)	(TABLE A-8)	
LAND TREATMENT	E100-6	
EA	0.53	
EB	0.78	
EC	1.13	
ED	2.12	

PEAK DISCHARGE (Qp): (CFS)	(TABLE A-9)	
LAND TREATMENT	Qp100-6	
QPA	1.56	
QPB	2.28	
QPC	3.14	
QPD	4.70	

CALCULATIONS:

$$\text{TOTAL } Q_p = Q_{pA} + Q_{pB} + Q_{pC} + Q_{pD} \quad (a-10)$$

$$\text{WEIGHTED } E \text{ (INCHES)} = (E_A A_A + E_B A_B + E_C A_C + E_D A_D) / (A_A + A_B + A_C + A_D) \quad (a-5)$$

$$V_{360} = ((\text{WEIGHTED } E / 12)) * (A_A + A_B + A_C + A_D) \quad (a-6)$$

$$V_{1440} = V_{360} + (A_D * ((P_{1440} - P_{360}) / 12)) \quad (a-7)$$

$$V_{10045} = V_{360} + (A_D * ((P_{10045} - P_{360}) / 12)) \quad (a-9)$$

HYDROLOGIC DATA - DEVELOPED CONDITION

BASIN	BASIN AREA (Acres)	A	B	C	D	YIELD (cfs/ac)	Q _{p100-6} (cfs)	V ₁₀₀₋₆ (cfs)	V ₁₀₀₋₂₄ (cfs)	V _{100-100AY} (cfs)
D1	0.56	0(0.00)	48(0.28)	11(0.08)	43(0.24)	3.41	1.91	0.065	0.073	0.087
D2	0.51	0(0.00)	47(0.24)	10(0.08)	43(0.22)	3.41	1.74	0.069	0.067	0.086
D3	0.35	0(0.00)	54(0.19)	12(0.04)	34(0.12)	3.21	1.12	0.037	0.041	0.053

FLAT GRADING SCHEME DATA

*PERCENT IMPERVIOUS (SEE NOTE BELOW):

*TOTAL STORAGE VOLUME REQUIRED (V_{100-100AY}):

*TOTAL STORAGE VOLUME PROVIDED:

*MAXIMUM WATER SURFACE ELEVATION (100-YR, 10-DAY):

*FINISHED FLOOR ELEVATION:

LOT 34-A (BASIN D1)

= 43%

= 0.10 AC-FT

= 0.17 AC-FT

= 4965.59

= 4967.50

LOT 34-B (BASIN D2)

= 43%

= 0.06 AC-FT

= 0.15 AC-FT

= 4964.60

= 4966.00

LOT 34-C (BASIN D3)

= 43%

= 0.05 AC-FT

= 0.10 AC-FT

= 4964.50

= 4966.00

*TYPED ON ORIGINAL PLAN
CORRECTED

NOTE: THE PERCENT IMPERVIOUS USED FOR DETERMINATION OF REQUIRED STORAGE VOLUME FOR EACH LOT INCLUDES THE AREA OF ALL DRIVEWAYS, PLUS AN ADDITIONAL AREA OF 200 SQ. FT. FOR PATIOS, SIDEWALKS, ETC.

CRITERIA (DPM SECTION 5.G. FLAT GRADING SCHEME)

PER SECTION 22.5.G, FLAT GRADING SCHEME, ALBUQUERQUE, NM - DEVELOPMENT PROCESS MANUAL (DPM), VOLUME II, DESIGN CRITERIA

A FLAT GRADING SCHEME WILL BE ALLOWED ONLY IN THE VALLEY REGION OF THE CITY AND UNDER THE FOLLOWING CONDITIONS:

1. THE SITE MUST BE FLAT OR CAN BE GRADED FLAT
2. THE MAXIMUM PERCENT IMPERVIOUS OF THE LOT AND THE CONTRIBUTING AREA MAY NOT BE GREATER THAN 45%.
3. PAD ELEVATION SHALL BE A MINIMUM OF ONE (1) FOOT ABOVE THE 100-YEAR, 10-DAY STORM WATER SURFACE ELEVATION.
4. THE FLOW BETWEEN THE FRONT AND BACK YARD CANNOT BE OBSTRUCTED. THE STORM WATER MUST BE ALLOWED TO EQUALIZE TO THE SAME LEVEL BETWEEN THE FRONT YARD AND BACK YARD.
5. A PERMANENT PERIMETER WALL OR BARRIER AROUND THE PROPERTY IS REQUIRED TO CONTAIN THE 100-YEAR, 10-DAY STORM WATER SURFACE ELEVATION.
6. THE HIGH POINT OF THE STREET SHOULD BE FOUR INCHES ABOVE THE 100-YEAR, 10-DAY STORM WATER SURFACE ELEVATION.
7. THERE ARE NO ACCESSIBLE STORM DRAINS NEAR THE PROPOSED DEVELOPMENT.

DRAINAGE CERTIFICATION

I, SHELTON GREER, NMPE 17154, OF THE FIRM, GND, LLC, CONSULTING ENGINEERS, HEREBY CERTIFY THAT THIS PROJECT HAS BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 8/22/13. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY LEONARD MATINEZ, NMPLS 2801, OF THE FIRM, SBS CONSTRUCTION AND ENGINEERING, LLC. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON 1/22/14, AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR CERTIFICATE OF OCCUPANCY.

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING AND DRAINAGE ASPECTS OF THIS PROJECT. THOSE RELYING ON THIS RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

SHELTON GREER, NMPE 17154

DATE 1/2/14



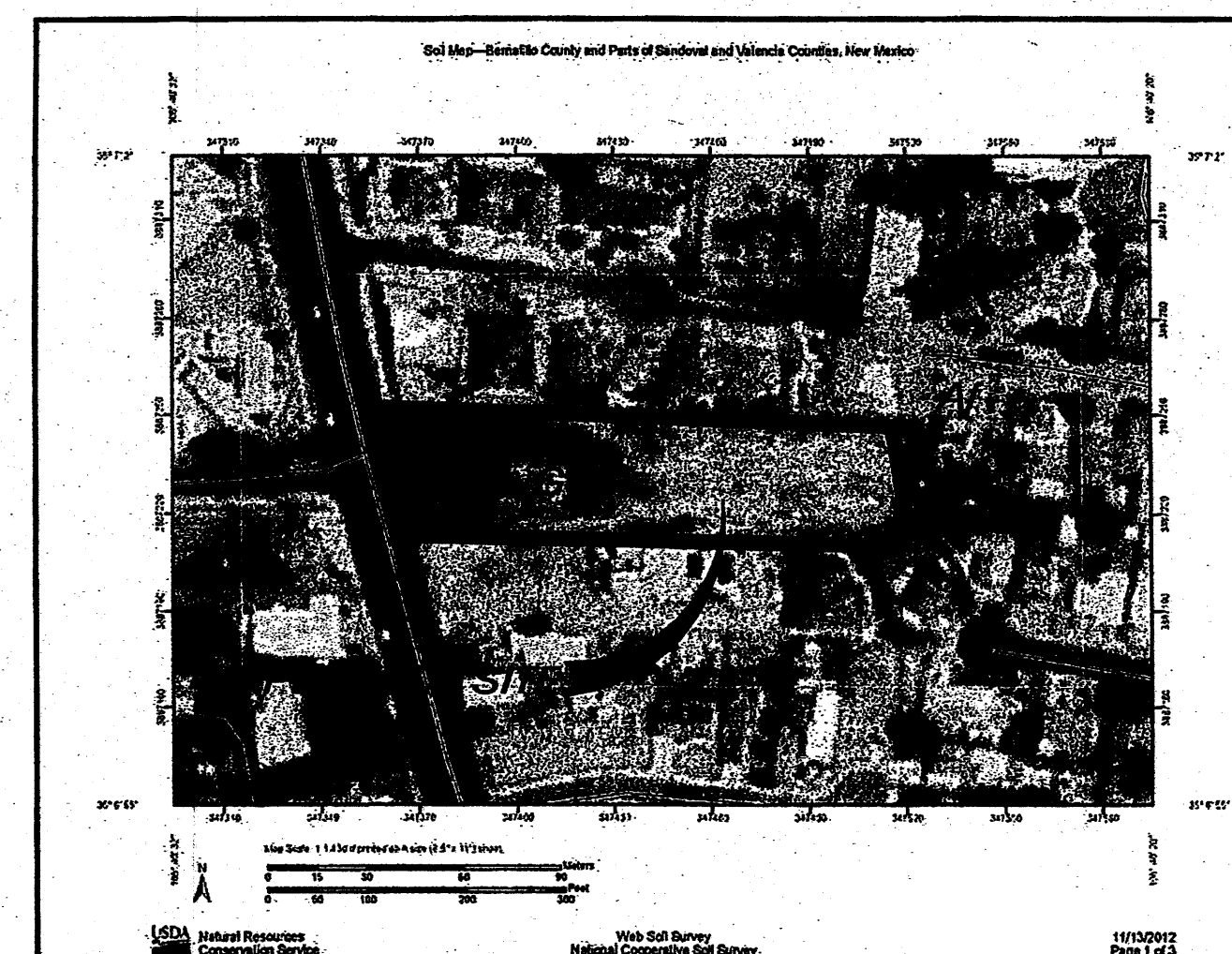
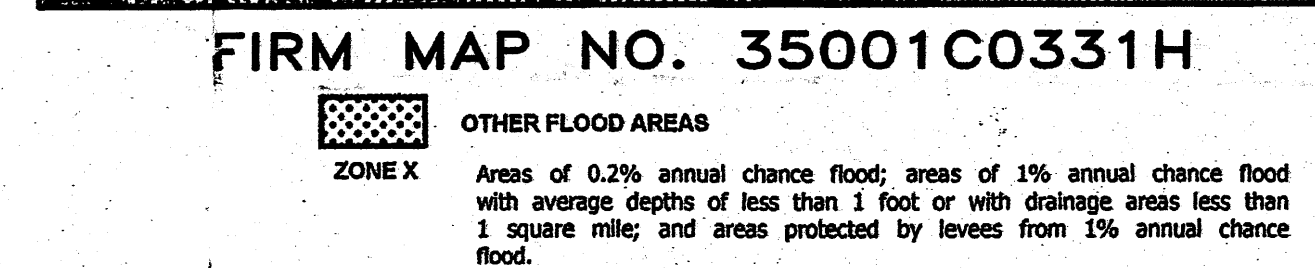
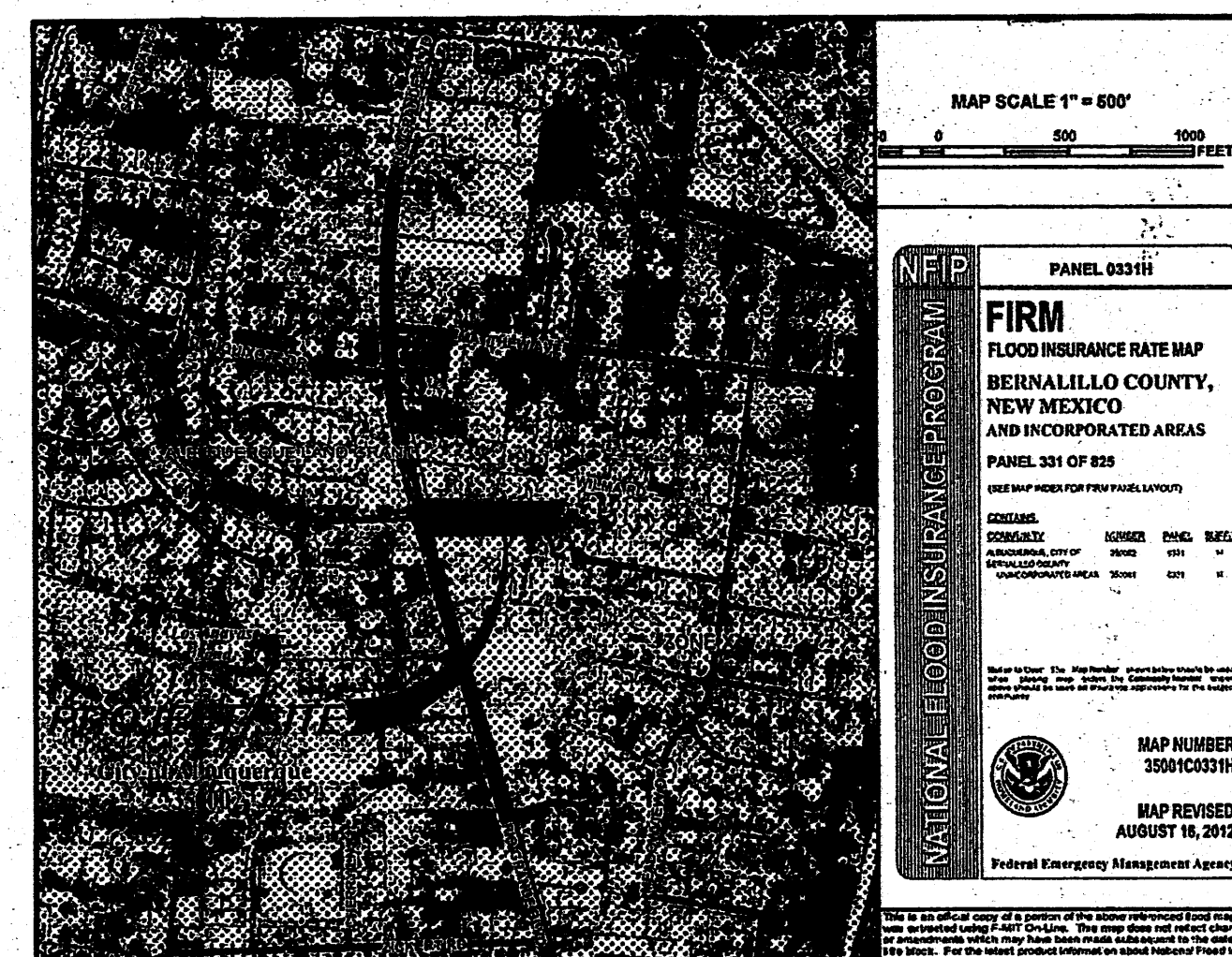
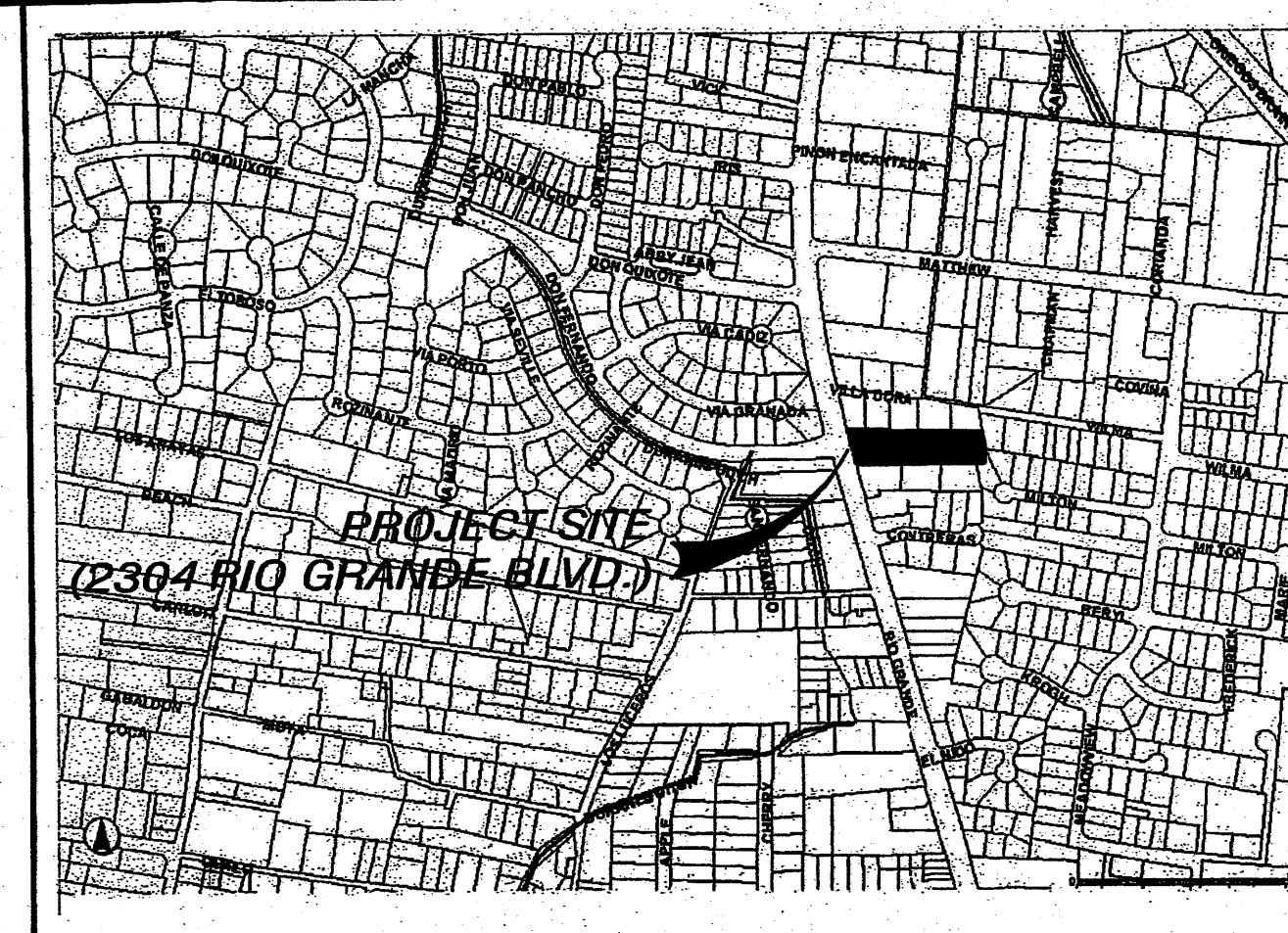
NOTE: CERTIFICATION FOR
LOT 34-C ONLY

Legal

A CERTAIN TRACT OF LAND BEING AND COMPRISING THE SOUTH ONE HALF (S1/2) OF LOT NUMBERED THIRTY-FOUR (34) OF ALVARADO GARDENS UNIT NO. 1, A SUBDIVISION TO THE PLAT THEREOF, FILED IN THE OFFICE OF THE CLERK OF BERNILLO COUNTY, NEW MEXICO ON AUGUST 15, 1932 IN PLAT BOOK C2, PAGE 10.

SAID TRACT IS IN SUBDIVISION PROCESS TO CREATE LOTS AS SHOWN, DRB #1001941.

ASSOCIATED INFRASTRUCTURE IMPROVEMENTS APPROVED WITH DRC PROJECT #724282.




GND, LLC
CONSULTING ENGINEERS

10224 Green River Plaza NW
Albuquerque, NM 87114
Phone: (505) 264-0472

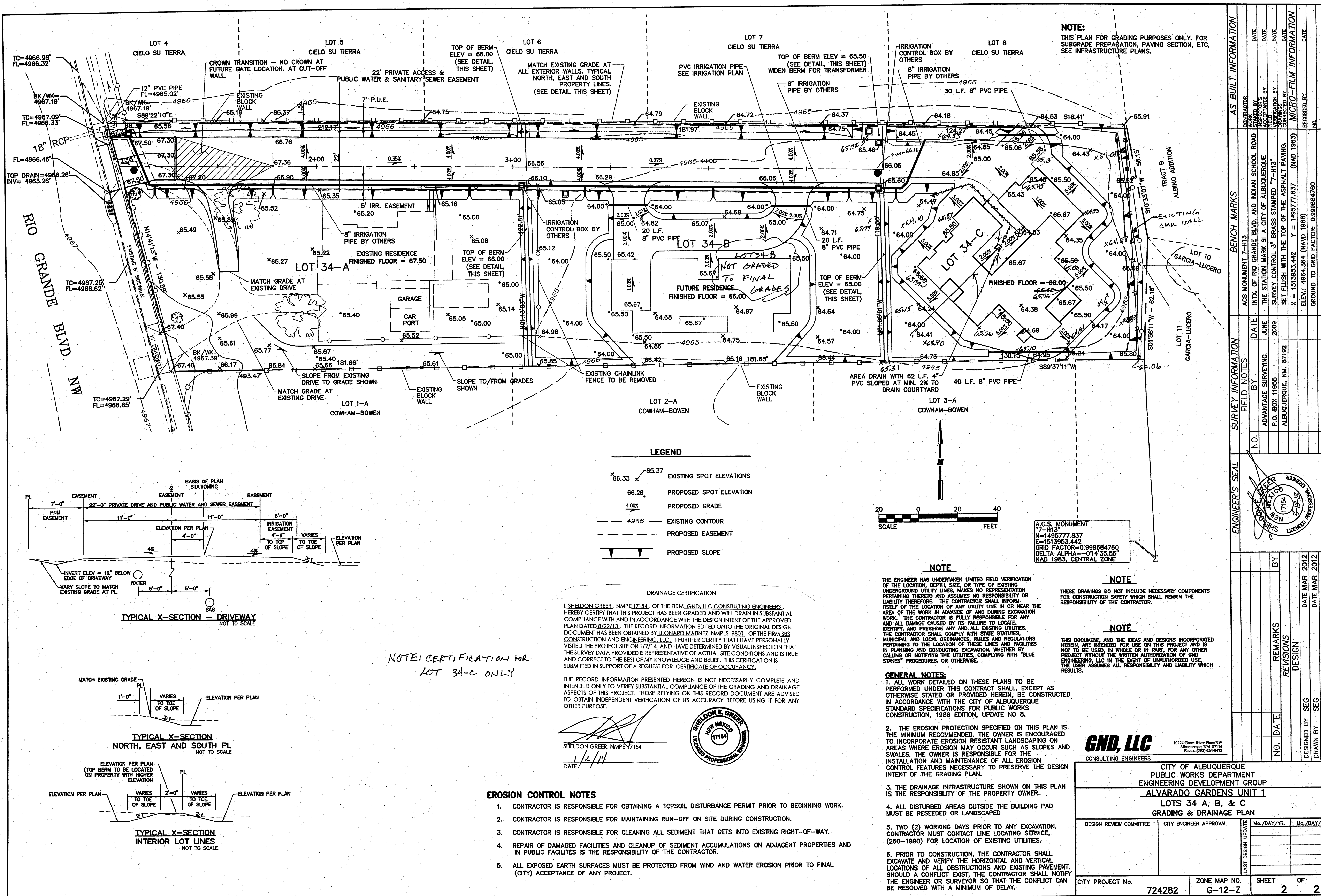
CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING DEVELOPMENT GROUP
ALVARADO GARDENS UNIT 1
LOTS 34 A, B, & C
GRADING & DRAINAGE PLAN

DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	Mo./DAY/YR.	Mo./DAY/YR.

CITY PROJECT NO. 724282
ZONE MAP NO. G-12-Z

ALBUQUERQUE CITY DEPARTMENT ENGINEERING GROUP		ENGINEER'S SEAL		SURVEY INFORMATION		BENCH MARKS		AS BUILT INFORMATION	
				FIELD NOTES		ACS MONUMENT 7-H13			
				BY		DATE			
				ADVANTAGE SURVEYING		JUNE			
NO. DATE		REMARKS		P.O. BOX 11955		SURVEY CONTROL 3" BRASS STAMPED "7"-H13"		WORK STARTED BY DATE	
		REVISIONS		ALBUQUERQUE, NM. 87192		SET FLUSH WITH THE TOP OF THE ASPHALT PAVING.		FIELD ACCEPTANCE BY DATE	
		DESIGN				X = 1513953.442 Y = 1495777.837 (NAD 1983)		DRAWINGS CORRECTED BY DATE	
DESIGNED BY SEG		DATE MAR 2012				ELEV.: 4964.364 (NAD 1988)		MICRO-FILM INFORMATION	
DRAWN BY SEG		DATE MAR 2012				GROUND TO GRID FACTOR: 0.999684760		RECORDED BY DATE	

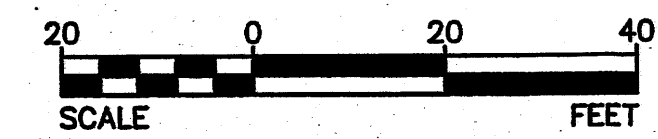
LAND DEVELOPMENT SECTION



NOTE:
THIS PLAN FOR GRADING PURPOSES ONLY. FOR
SUBGRADE PREPARATION, PAVING SECTION, ETC.
SEE INFRASTRUCTURE PLANS.

LEGEND

66.33	EXISTING SPOT ELEVATIONS
66.29	PROPOSED SPOT ELEVATION
4.00%	PROPOSED GRADE
4966	EXISTING CONTOUR
- - - -	PROPOSED EASEMENT
▲▲▲	PROPOSED SLOPE



A.C.S. MONUMENT
7-H13
N=1495777.837
E=1513953.442
GRID FACTOR=0.999684760
DELTA ALPHA=-0°14'35.56"
NAD 1983, CENTRAL ZONE

NOTE
THE ENGINEER HAS UNDERTAKEN LIMITED FIELD VERIFICATION OF THE LOCATION, DEPTH, SIZE, OR TYPE OF EXISTING UNDERGROUND UTILITY LINES. MAKES NO REPRESENTATION PERTAINING THERETO AND ASSUMES NO RESPONSIBILITY OR LIABILITY THEREFORE. THE CONTRACTOR SHALL INFORM ITSELF OF THE LOCATION OF ANY UTILITY LINE IN OR NEAR THE AREA OF THE WORK IN ADVANCE OF AND DURING EXCAVATION WORK. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY, AND PRESERVE ANY AND ALL EXISTING UTILITIES. THE CONTRACTOR SHALL COMPLY WITH STATE STATUTES, MUNICIPAL AND LOCAL ORDINANCES, RULES AND REGULATIONS PERTAINING TO THE LOCATION OF THESE LINES AND FACILITIES IN PLANNING AND CONDUCTING EXCAVATION, WHETHER BY CALLING OR NOTIFYING THE UTILITIES, COMPLYING WITH "BLUE STAKES" PROCEDURES, OR OTHERWISE.

NOTE
THESE DRAWINGS DO NOT INCLUDE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY WHICH SHALL REMAIN THE RESPONSIBILITY OF THE CONTRACTOR.

NOTE
THIS DOCUMENT, AND THE IDEAS AND DESIGNS INCORPORATED HEREIN, ARE INTENDED FOR USE ON THIS PROJECT AND IS NOT TO BE USED, IN WHOLE OR IN PART, FOR ANY OTHER PROJECT WITHOUT THE WRITTEN AUTHORIZATION OF GND ENGINEERING, LLC. IN THE EVENT OF UNAUTHORIZED USE, THE USER ASSUMES ALL RESPONSIBILITY AND LIABILITY WHICH RESULTS.

- GENERAL NOTES:
1. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED UNDER THIS CONTRACT SHALL, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREIN, BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1986 EDITION, UPDATE NO. 8.
 2. THE EROSION PROTECTION SPECIFIED ON THIS PLAN IS THE MINIMUM RECOMMENDED. THE OWNER IS ENCOURAGED TO INCORPORATE EROSION RESISTANT LANDSCAPING ON AREAS WHERE EROSION MAY OCCUR SUCH AS SLOPES AND SWALES. THE OWNER IS RESPONSIBLE FOR THE INSTALLATION AND MAINTENANCE OF ALL EROSION CONTROL FEATURES NECESSARY TO PRESERVE THE DESIGN INTENT OF THE GRADING PLAN.
 3. THE DRAINAGE INFRASTRUCTURE SHOWN ON THIS PLAN IS THE RESPONSIBILITY OF THE PROPERTY OWNER.
 4. ALL DISTURBED AREAS OUTSIDE THE BUILDING PAD MUST BE RESEEDDED OR LANDSCAPED
 5. TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, (260-1990) FOR LOCATION OF EXISTING UTILITIES.
 6. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL OBSTRUCTIONS AND EXISTING PAVEMENT. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER OR SURVEYOR SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM OF DELAY.

EROSION CONTROL NOTES

1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
3. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
4. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL (CITY) ACCEPTANCE OF ANY PROJECT.

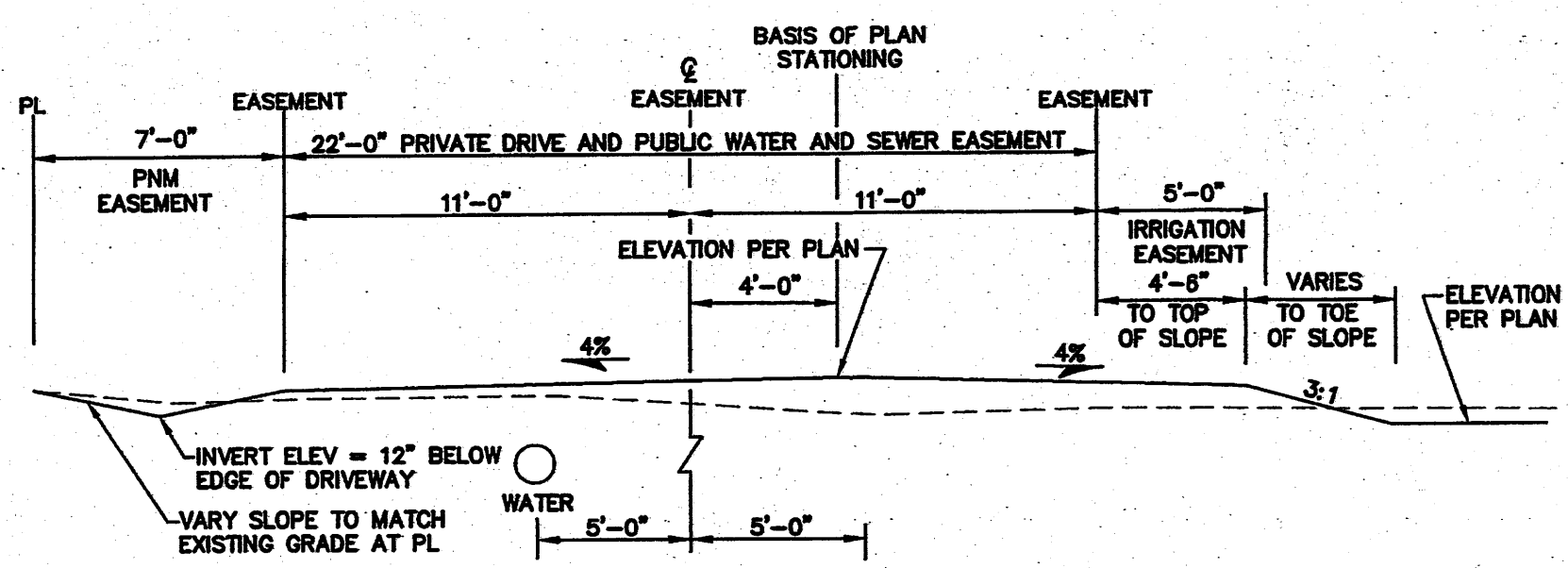
DRAINAGE CERTIFICATION
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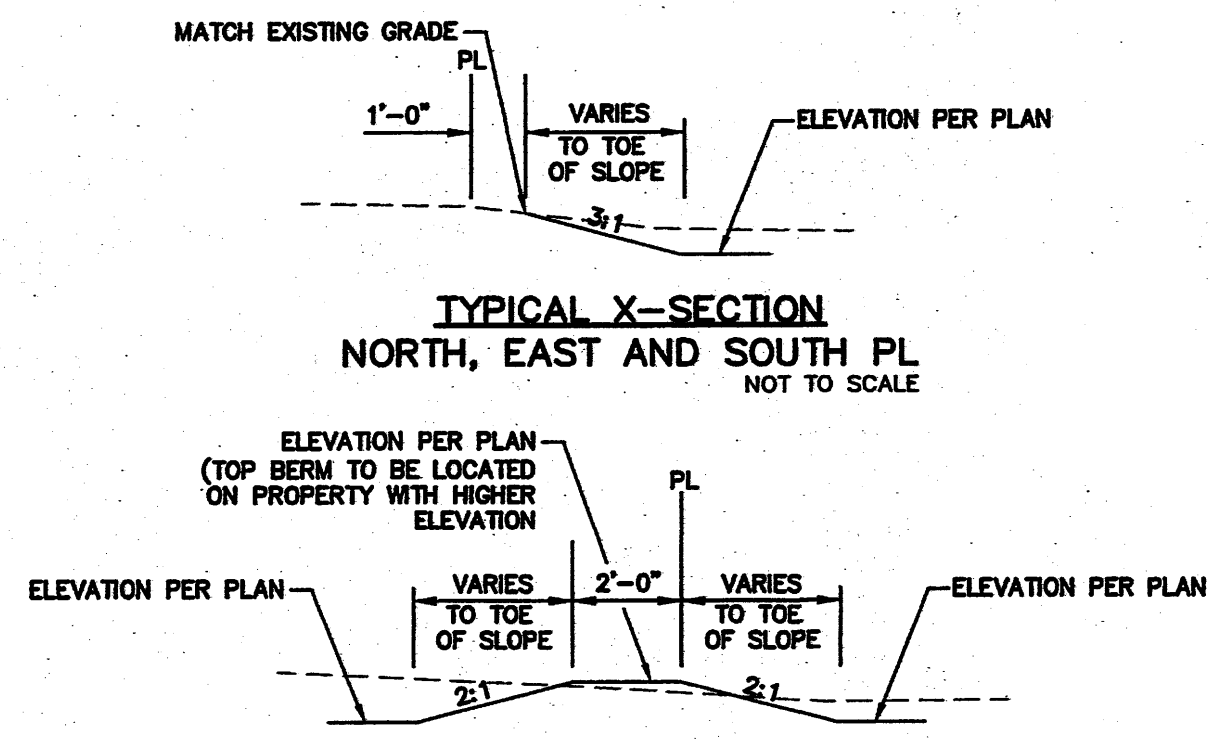
SHELDON GREER, NMPE 17154
1/2/14
DATE



TYPICAL X-SECTION - DRIVEWAY
NOT TO SCALE



TYPICAL X-SECTION
NORTH, EAST AND SOUTH PL
NOT TO SCALE



TYPICAL X-SECTION
INTERIOR LOT LINES
NOT TO SCALE

AS BUILT INFORMATION				BENCH MARKS				SURVEY INFORMATION				ENGINEER'S SEAL			
CONTRACTOR	DATE	DATE	DATE	NO.	BY	DATE	DATE	NO.	BY	DATE	DATE	NO.	BY	DATE	DATE
WORK STATIONED BY	DATE	DATE	DATE												
ACCEPTANCE BY	DATE	DATE	DATE												
FIELD DRAWINGS	DATE	DATE	DATE												
CORRECTED BY	DATE	DATE	DATE												
MICRO-FILM INFORMATION	DATE	DATE	DATE												
RECORDED BY	DATE	DATE	DATE												
NO.															

REMARKS

DESIGN

REVISIONS

DATE MAR 2012

DATE MAR 2012

DATE MAR 2012

DESIGNED BY SEG

DRAWN BY SEG

CHECKED BY SEG

CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING DEVELOPMENT GROUP
ALVARADO GARDENS UNIT 1
LOTS 34 A, B, & C
GRADING & DRAINAGE PLAN

DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	Mo./DAY/YR.	Mo./DAY/YR.

CITY PROJECT No. 724282

ZONE MAP NO. G-12-Z

SHEET 2 OF 2

613/ D029



VICINITY MAP
ZONE ATLAS G-13-Z

PUBLIC UTILITY EASEMENTS

PUBLIC UTILITY EASEMENTS SHOWN ON THIS PLAT ARE GRANTED FOR THE COMMON AND JOINT USE OF:

- PUBLIC SERVICE COMPANY OF NEW MEXICO ("PNM"), A NEW MEXICO CORPORATION, (PNM ELECTRIC) FOR INSTALLATION, MAINTENANCE, AND SERVICE OF OVERHEAD AND UNDERGROUND ELECTRICAL LINES, TRANSFORMERS, AND OTHER EQUIPMENT AND RELATED FACILITIES REASONABLY NECESSARY TO PROVIDE ELECTRICAL SERVICES.
- NEW MEXICO GAS COMPANY FOR INSTALLATION, MAINTENANCE, AND SERVICE OF NATURAL GAS LINES, VALVES, AND OTHER EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE NATURAL GAS SERVICES.
- QUEST CORPORATION DBA CENTURY LINK QC FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF SUCH LINES, CABLE, AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE COMMUNICATION SERVICES.
- CABLE TV FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF SUCH LINES, CABLE, AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE CABLE SERVICES.

INCLUDED, IS THE RIGHT TO BUILD, REBUILD, CONSTRUCT, RECONSTRUCT, LOCATE, RELOCATE, CHANGE, REMOVE, REPLACE, MODIFY, RENEW, OPERATE AND MAINTAIN FACILITIES FOR PURPOSES DESCRIBED ABOVE, TOGETHER WITH FREE ACCESS TO, FROM, AND OVER SAID EASEMENTS, WITH THE RIGHT AND PRIVILEGE OF GOING UPON, OVER AND ACROSS ADJOINING, LANDS OF GRANTOR FOR THE PURPOSES SET FORTH HEREIN AND WITH THE RIGHT TO UTILIZE THE RIGHT OF WAY AND EASEMENT TO EXTEND SERVICES TO CUSTOMERS OF GRANTEE, INCLUDING SUFFICIENT WORKING AREA SPACE FOR ELECTRIC TRANSFORMERS, WITH THE RIGHT AND PRIVILEGE TO TRIM AND REMOVE TREES, SHRUBS OR BUSHES WHICH INTERFERE WITH THE PURPOSES SET FORTH HEREIN, NO BUILDING, SIGN, POOL, (ABOVEGROUND OR SUBSURFACE), HOT TUB, CONCRETE OR WOOD POOL DECKING, OR OTHER STRUCTURE SHALL BE ERRECTED OR CONSTRUCTED ON SAID EASEMENT NOR SHALL ANY WELL BE DRILLED OR OPERATED THEREON. PROPERTY OWNERS SHALL BE SOLELY RESPONSIBLE FOR CORRECTING ANY VIOLATIONS OF NATIONAL ELECTRICAL SAFETY CODE BY CONSTRUCTION OF POOLS, DECKING OR ANY STRUCTURES ADJACENT TO OR NEAR EASEMENTS SHOWN ON THIS PLAT.

EASEMENTS FOR ELECTRIC TRANSFORMER/ SWITCHGEARS, AS INSTALLED, SHALL EXTEND TEN (10) FEET IN FRONT OF TRANSFORMER/ SWITCHGEAR DOORS AND FIVE (5) FEET ON EACH SIDE.

DISCLAIMER

IN APPROVING THIS PLAT, PUBLIC SERVICE COMPANY OF NEW MEXICO (PNM) AND NEW MEXICO GAS COMPANY (NMGC) DID NOT CONDUCT A TITLE SEARCH OF THE PROPERTIES SHOWN HEREON. CONSEQUENTLY, PNM AND NMGC DO NOT WAIVE OR RELEASE ANY EASEMENT OR EASEMENT RIGHTS WHICH MAY HAVE BEEN GRANTED BY PRIOR PLAT, REPLAT OR OTHER DOCUMENT AND WHICH ARE NOT SHOWN ON THIS PLAT.

SUBDIVISION DATA/NOTES

- PLAT WAS COMPILED FROM A FIELD SURVEY AND EXISTING RECORD INFORMATION. BEARINGS ARE NEW MEXICO STATE PLANE GRID BEARINGS. CENTRAL ZONE. NAD 1983 AND ARE BASED UPON ACS MONUMENTS "7-H13" AND "8-H13", AS SHOWN HEREON.
- DISTANCES ARE GROUND DISTANCES.
- PLAT SHOWS ALL EASEMENTS OF RECORD.
- DATA WITHIN PARENTHESES () ARE RECORD PER PLAT FILED AUGUST 15, 1932 IN PLAT BOOK C2, FOLIO 10.
- GROSS ACREAGE = 1.4646 ACRES
- NUMBER OF EXISTING TRACTS = 1.
- NUMBER OF TRACTS CREATED = 3.
- PROPERTY SURVEYED JANUARY, 2009.
- NO PROPERTY WITHIN THE AREA OF THIS PLAT SHALL AT ANY TIME BE SUBJECT TO A DEED RESTRICTION, COVENANT, OR BINDING AGREEMENT PROHIBITING SOLAR COLLECTORS FROM BEING INSTALLED ON BUILDINGS OR ERRECTED ON THE TRACTS OR PARCELS WITHIN THE AREA OF PROPOSED PLAT. THE FOREGOING REQUIREMENT SHALL BE A CONDITION TO APPROVAL OF THIS PLAT.
- ALL CORNERS MARKED O SET WITH 1/2" REBAR AND CAP LS13240 UNLESS OTHERWISE INDICATED.
- 22' PRIVATE ACCESS EASEMENT GRANTED BY THIS PLAT FOR THE BENEFIT OF THE LOTS CREATED BY THIS PLAT, AND TO BE MAINTAINED BY OWNERS OF LOT 34A, LOT 34B & LOT 34C.
- A GRADING AND DRAINAGE PLAN PREPARED BY A LICENSED ENGINEER REGISTERED IN THE STATE OF NEW MEXICO SHALL BE SUBMITTED BY THE OWNER AND APPROVED BY THE CITY OF ALBUQUERQUE PRIOR TO THE ISSUANCE OF BUILDING PERMIT FOR EACH LOT CREATED BY THIS PLAT.

**PLAT OF
LOTS 34-A, 34-B & 34-C
ALVARADO GARDENS UNIT 1
BEING A REPLAT OF THE SOUTH 1/2 OF LOT 34
ALVARADO GARDENS UNIT 1
PROJECTED SECTION 6, T 10 N, R 3 E, NMPM, TOWN OF ALBUQUERQUE GRANT
CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO
NOVEMBER 2012**

LEGAL DESCRIPTION

A CERTAIN TRACT OF LAND BEING AND COMPRISING THE SOUTH ONE HALF (S1/2) OF LOT NUMBERED THIRTY-FOUR (34) OF ALVARADO GARDENS UNIT NO. 1, A SUBDIVISION TO THE CITY OF ALBUQUERQUE, NEW MEXICO, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON AUGUST 15, 1932 IN PLAT BOOK C2, PAGE 10, SAID TRACT BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

BEGINNING AT THE SOUTHEAST CORNER OF THE TRACT HEREIN DESCRIBED, BEING THE SAME AS THE SOUTHEAST CORNER OF SAID LOT 34, FROM WHENCE POINT A TIE TO A.C.S. MONUMENT "7-H13" BEARS S02°54'01"E, A DISTANCE OF 2088.24 FEET AND RUNNING THENCE FROM SAID POINT OF BEGINNING, S89°37'11"W, A DISTANCE OF 507.42 TO THE SOUTHWEST CORNER OF THE TRACT HEREIN DESCRIBED, BEING THE SAME AS THE SOUTHWEST CORNER OF SAID LOT 34 AND BEING A POINT ON THE EASTERLY RIGHT OF WAY LINE OF RIO GRANDE BLVD.; THENCE, ALONG SAID RIGHT-AWAY, N15°11'49"W, A DISTANCE OF 131.17 FEET TO THE NORTHWEST CORNER OF THE TRACT HEREIN DESCRIBED; THENCE, LEAVING SAID RIGHT OF WAY, S89°22'10"E, A DISTANCE OF 533.34 FEET TO THE NORTHEAST CORNER OF THE TRACT HEREIN DESCRIBED; THENCE S10°33'07"E, A DISTANCE OF 55.15 FEET TO AN ANGLE POINT; THENCE S01°55'11"W, A DISTANCE OF 62.18 FEET TO THE SOUTHEAST CORNER OF THE TRACT HEREIN DESCRIBED AND THE PLACE OF BEGINNING. SAID TRACT CONTAINS 1.4646 ACRES (63,796.46 SQUARE FEET) MORE OR LESS.

FREE CONSENT

SURVEYED AND REPLATTED AS SHOWN HEREON, AND NOW TO BE DESIGNATED AS LOTS 34-A, 34-B AND 34-C, ALVARADO GARDENS UNIT 1, WITH THE FREE CONSENT OF AND IN ACCORDANCE WITH THE DESIRES AND WISHES OF THE UNDERSIGNED OWNERS THEREOF, THE UNDERSIGNED HAVE REPRESENTED THEMSELVES TO HAVE COMPLETE AND INDEFEASIBLE TITLE IN FEE SIMPLE AND ACKNOWLEDGE THAT THIS PLAT IS WITHIN THE COVENANTS AND RESTRICTIONS ON THIS PROPERTY. THE UNDERSIGNED ALSO CONSENT TO THE GRANTING OF ALL EASEMENTS SHOWN HEREON AND HEREBY DEDICATE ADDITIONAL STREET RIGHT-OF-WAY TO THE CITY OF ALBUQUERQUE IN FEE SIMPLE WITH WARRANTY COVENANTS.

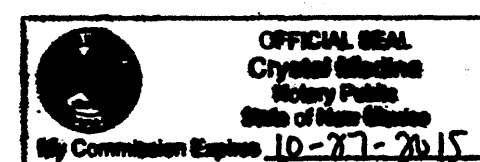
Adam G. Rodriguez 11-29-2012 Ana Rodriguez 11/29/2012
ADAM G. RODRIGUEZ DATE ANA RODRIGUEZ DATE

NOTARY ACKNOWLEDGEMENT

STATE OF NEW MEXICO } SS
COUNTY OF BERNALILLO
THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 29th DAY OF November 2012.
BY: Adam G. Rodriguez
MY COMMISSION EXPIRES: 10-27-2015
Cristal Medina
NOTARY PUBLIC

NOTARY ACKNOWLEDGEMENT

STATE OF NEW MEXICO } SS
COUNTY OF BERNALILLO
THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 29th DAY OF November 2012.
BY: Ana Rodriguez
MY COMMISSION EXPIRES: 10-27-2015
Cristal Medina
NOTARY PUBLIC



PURPOSE OF PLAT

THE PURPOSE OF THIS PLAT IS TO CREATE THREE (3) LOTS FROM ONE (1) EXISTING LOT, GRANT EASEMENTS & DEDICATE ADDITIONAL RIGHT OF WAY AS SHOWN HEREON.

APPROVALS PROJECT NO. 100194 APPLICATION NO. 13DEB70490

FOR: Del P. Acosta
CITY SURVEYOR
Allen P. Pate
TRAFFIC ENGINEERING, TRANSPORTATION DIVISION
A.B.C.W.U.A.
Carmel S. Dumont
PARKS AND RECREATION DEPARTMENT
A.M.A.F.C.A.
Cristal Medina
CITY ENGINEER
Keith D. Dade
DRB CHAIRPERSON, PLANNING DEPARTMENT

12-7-12
DATE
4-22-13
DATE
04/03/13
DATE
4-3-13
DATE
4-3-13
DATE
4-3-13
DATE
4-25-13
DATE

UTILITY APPROVALS

Fernando Vigil
PUBLIC SERVICE COMPANY OF NEW MEXICO (PNM)
Rosita P. Pugh
QUEST CORPORATION DBA CENTURY LINK QC
COMCAST CABLE
NEW MEXICO GAS COMPANY (NMGC)

3-15-13
DATE
3-22-2013
DATE
3/2/13
DATE
3/22/2013
DATE

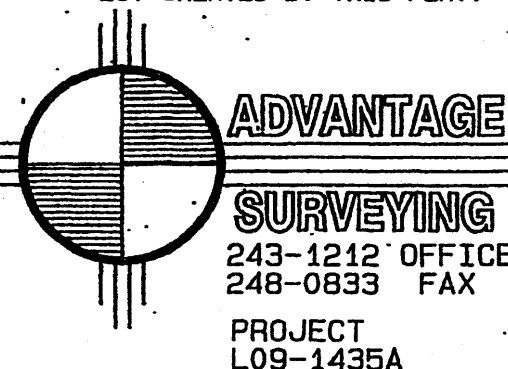
THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND PAID ON UPC NO. 101805902352420147
PROPERTY OWNER OF RECORD Rodriguez Adam G & Ana G
BERNALILLO COUNTY TREASURERS OFFICE 4/25/13

SURVEYORS CERTIFICATION

I, MICHAEL T. SHOOK, A DULY QUALIFIED REGISTERED PROFESSIONAL SURVEYOR UNDER THE LAWS OF THE STATE OF NEW MEXICO, DO HEREBY CERTIFY THAT THIS PLAT AND DESCRIPTION WERE PREPARED BY ME OR UNDER MY SUPERVISION, SHOWS ALL EASEMENTS AS SHOWN ON THE PLAT OF RECORD OR MADE KNOWN TO ME BY THE OWNERS AND/OR THE PROPRIETORS OF THE SUBDIVISION SHOWN HEREON, UTILITY COMPANIES AND OTHER PARTIES EXPRESSING AN INTEREST AND MEETS THE MINIMUM REQUIREMENTS FOR MONUMENTATION AND SURVEYS OF THE CITY OF ALBUQUERQUE SUBDIVISION ORDINANCE, AND FURTHER, MEETS THE MINIMUM STANDARDS FOR LAND SURVEYING IN THE STATE OF NEW MEXICO (EFFECTIVE NOVEMBER 1, 1989 AND REVISIONS FEBRUARY 2, 1994 TO MAY 1, 2007); AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

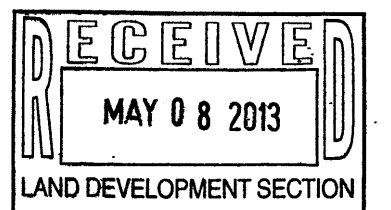
Michael T. Shook
MICHAEL T. SHOOK
NMLS NO. 13240

11-29-12
DATE

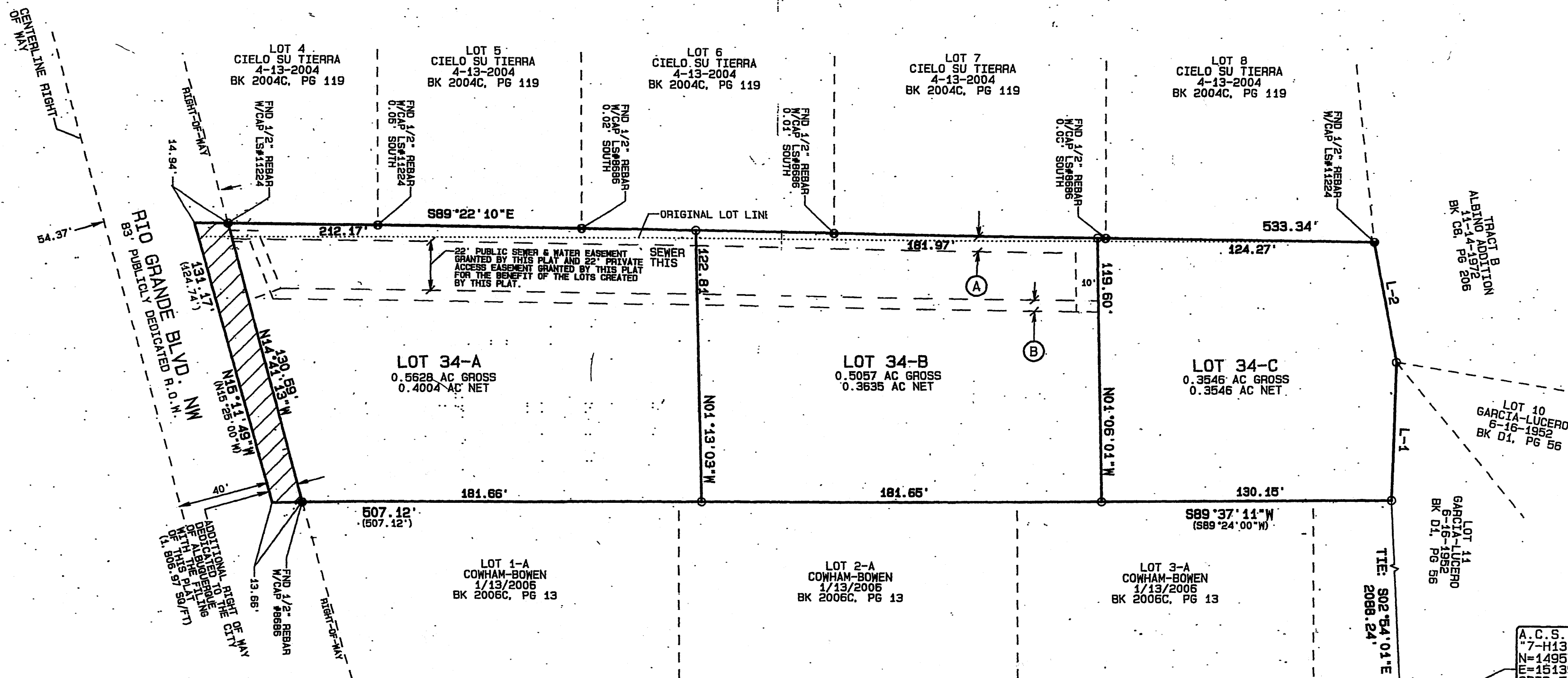


PLAT OF LOTS 34-A, 34-B & 34-C ALVARADO GARDENS UNIT 1

BEING A REPLAT OF THE SOUTH 1/2 OF LOT 34
ALVARADO GARDENS UNIT 1
PROJECTED SECTION 6, T 10 N, R 3 E, NMPM, TOWN OF ALBUQUERQUE GRANT
CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO
NOVEMBER 2012



SCALE 1"=40'
0 40 80



EASEMENTS

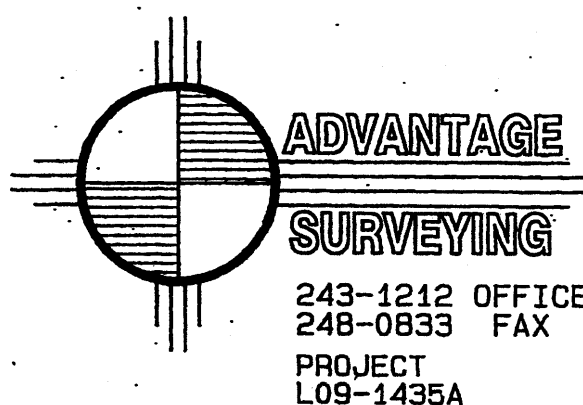
- (A) 7' PUBLIC UTILITY EASEMENT FILED: 1/16/2013 DOC#2013005521
- (B) 5' PRIVATE IRRIGATION EASEMENT (GRANTED BY THIS PLAT) FOR THE BENEFIT OF THE LOTS CREATED BY THIS PLAT.

LINE TABLE

L-1= 501°56'11"W 62.18'
(S01°43'00"W) (62.18')
L-2= S10°33'07"E 56.15'
(S09°12'00"E)

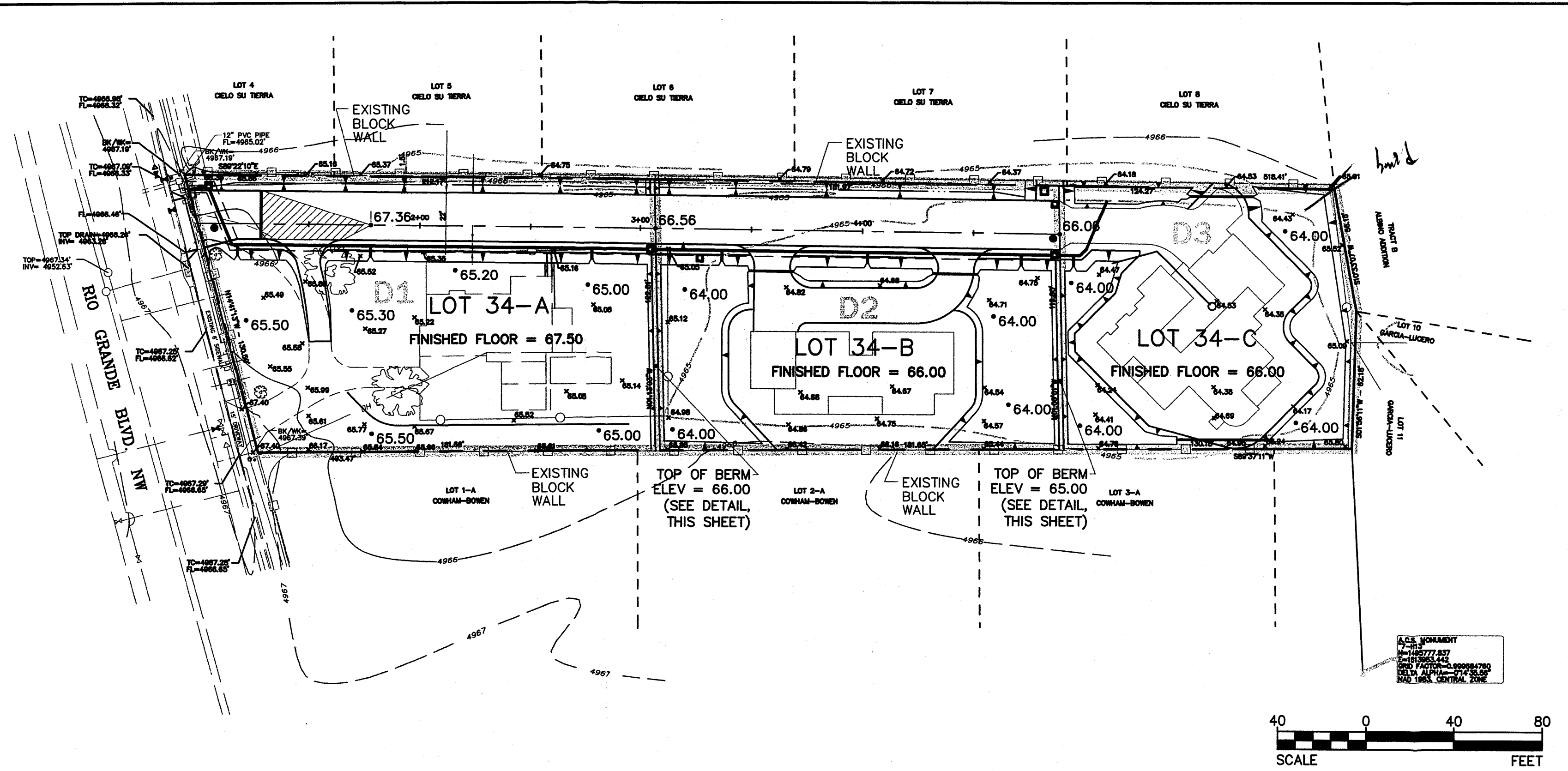
A.C.S. MONUMENT
"7-H13"
N=1495777.837
E=1513953.442
GRID FACTOR=0.999684760
DELTA ALPHA=-0°14'35.56"
NAD 1983, CENTRAL ZONE

A.C.S. MONUMENT
"8-H13"
N=1495058.484
E=1514348.572
GRID FACTOR=0.999684701
DELTA ALPHA=-0°14'32.76"
NAD 1983, CENTRAL ZONE



DOC# 2013049689

05/06/2013 10:14 AM Page: 2 of 2
PLAT R: \$25.00 B: 2013C P: 0043 M: Toulous Olivere, Bernalillo Cou



EXISTING CONDITIONS

THE EXISTING SITE CONSISTS OF 1 LOT WITH 1 EXISTING RESIDENTIAL HOME. THE APPROVAL TO SUBDIVIDE THIS LOT INTO 3 LOTS IS IN PROCESS. IT IS ANTICIPATED THAT THIS PROCESS WILL BE COMPLETE CONCURRENT WITH THE REVIEW AND APPROVAL OF THIS GRADING AND DRAINAGE PLAN. THE SUBDIVISION ESTABLISHES 3 LOTS. 1 LOT WILL CONTAIN THE EXISTING HOME, AND 2 ADDITIONAL LOTS ARE CREATED. SINGLE FAMILY RESIDENTIAL HOMES ARE ANTICIPATED TO BE CONSTRUCTED ON THE TWO ADDITIONAL LOTS. THE SUBDIVISION REQUIRED THE CONSTRUCTION OF A DRIVEWAY, AS SHOWN, AND EXTENSION OF UTILITIES ALONG THE NORTH PORTION OF THE PROPERTY TO PROVIDE ACCESS AND SERVICES TO THE TWO NEW LOTS. THE DRIVEWAY AND UTILITIES IMPROVEMENTS HAVE BEEN COMPLETED.

THE EXISTING SITE SOILS CONSIST OF SOILS CLASSIFIED BY THE USDA, NRCS SOIL SURVEY AS MAP UNITS Gc-GILA CLAY LOAM AND A7-AQUA LOAM. BOTH ARE BOTTOMLAND SOILS CONSISTING OF MATERIAL FROM ERODED ALLUVIUM DERIVED FROM IGNEOUS AND SEDIMENTARY ROCK. BOTH ARE CLASSIFIED AS WELL DRAINED MATERIAL WITH A SHALLOW DEPTH (0 TO 24 INCHES) OVERLYING GRAVELLY SANDY LOAM. RECENT TRENCHING ON SITE HAS VERIFIED THE CONSISTENCY OF THESE SOIL TYPES AND THE PRESENCE OF GRAVELLY MATERIAL UNDERLYING THE SHALLOW SURFACE MATERIALS.

STORM WATER DOES NOT DISCHARGE FROM THE PROPERTY. THE SITE ELEVATION IS BELOW THE ADJACENT PROPERTIES ON THE NORTH, SOUTH, AND EAST AND BELOW RIO GRANDE BLVD. ON THE WEST. EACH OF THE ADJACENT PROPERTIES ALSO GENERALLY APPEAR TO RETAIN ITS STORM WATER WITHIN ITS PROPERTY BOUNDARIES. STORM WATER IN RIO GRANDE IS CONTAINED WITHIN THE CURB AND GUTTER AND STORM DRAIN SYSTEM AND FLOW FROM SOUTH TO NORTH ACROSS THE FRONTAGE OF THE PROPERTY.

THE EXISTING SITE DOES SLOPE MILDLY FROM NORTHWEST TO SOUTHEAST SO THAT THE EXISTING DRAINAGE PATTERNS WOULD ACCUMULATE RUNOFF IN THE SOUTHEAST PORTION OF THE PROPERTY. THE EXISTING

PROPOSED CONDITIONS

THE PROPOSED SITE IMPROVEMENTS WILL INCLUDE THE CONSTRUCTION OF TWO SINGLE-FAMILY RESIDENTIAL HOMES. RUNOFF FROM EACH LOT WILL BE CONTAINED WITHIN THE PROPERTY BOUNDARY OF EACH LOT. THE ELEVATION OF EACH STRUCTURE IS SUCH THAT THE FINISHED FLOOR ELEVATION IS AT LEAST 1 FOOT ABOVE THE 100-YEAR, 10-DAY RETENTION VOLUME ELEVATION WITHOUT ACCOUNTING FOR STORM WATER INFILTRATION.

HYDROLOGY:

PER SECTION 22.2, HYDROLOGY, ALBUQUERQUE, NM - DEVELOPMENT PROCESS MANUAL (DPM), VOLUME II

METHOD OF ANALYSIS: PART A - PROCEDURE FOR 40 ACRE AND SMALLER BASINS

PRECIPITATION ZONE: (TABLE A-1)
ZONE 2

RAINFALL DEPTH: (TABLE A-2)
(INCHES)

	100-YEAR
P60	= 2.01
P360	= 2.35
P1440	= 2.75
P4045	= 3.30
P10045	= 3.95

RETURN PERIOD FACTORS:	PERIOD	FACTOR
	50	0.90
	25	0.80
	10	0.667
	5	0.567
	2	0.434

LAND TREATMENTS: (PER TABLE A-4)
(SEE TABLE THIS SHEET)

EXCESS PRECIPITATION (E):	LAND TREATMENT	E100-6
(INCHES)	EA	0.53
	Ea	0.78
	Ec	1.13
	Ed	2.12

PEAK DISCHARGE (Qp):	LAND TREATMENT	Qp100-6
(CFS)	QPA	1.56
	QPB	2.28
	QPC	3.14
	QPD	4.70

CALCULATIONS:

$$\text{TOTAL } Q_p = Q_{pA}A + Q_{pB}B + Q_{pC}C + Q_{pD}D \quad (a-10)$$

$$\text{WEIGHTED } E \text{ (INCHES)} = (E_{AA}A + E_{AB}B + E_{AC}C + E_{AD}D) / (A + B + C + D) \quad (a-5)$$

$$V_{360} = ((\text{WEIGHTED } E / 12)) * (A + B + C + D) \quad (a-6)$$

$$V_{1440} = V_{360} + (A * ((P_{1440} - P_{360}) / 12)) \quad (a-7)$$

$$V_{10045} = V_{360} + (A * ((P_{10045} - P_{360}) / 12)) \quad (a-9)$$

HYDROLOGIC DATA - DEVELOPED CONDITION

BASIN	BASIN AREA (Acres)	LAND TREATMENT PERCENTAGES (ACREAGE) BY TYPE				YIELD (cfs/ac)	Q _{p100-6} (cfs)	V ₁₀₀₋₆ (ac-ft)	V ₁₀₀₋₂₄ (ac-ft)	V ₁₀₀₋₁₀₀₄₅ (ac-ft)
		A (Aa)	B (Ab)	C (Ac)	D (Ad)					
D1	0.56	0(0.00)	46(0.26)	11(0.06)	43(0.24)	3.41	1.91	0.065	0.073	0.087
D2	0.51	0(0.00)	47(0.24)	10(0.05)	43(0.22)	3.41	1.74	0.059	0.067	0.080
D3	0.35	0(0.00)	54(0.19)	12(0.04)	34(0.12)	3.21	1.12	0.037	0.041	0.053

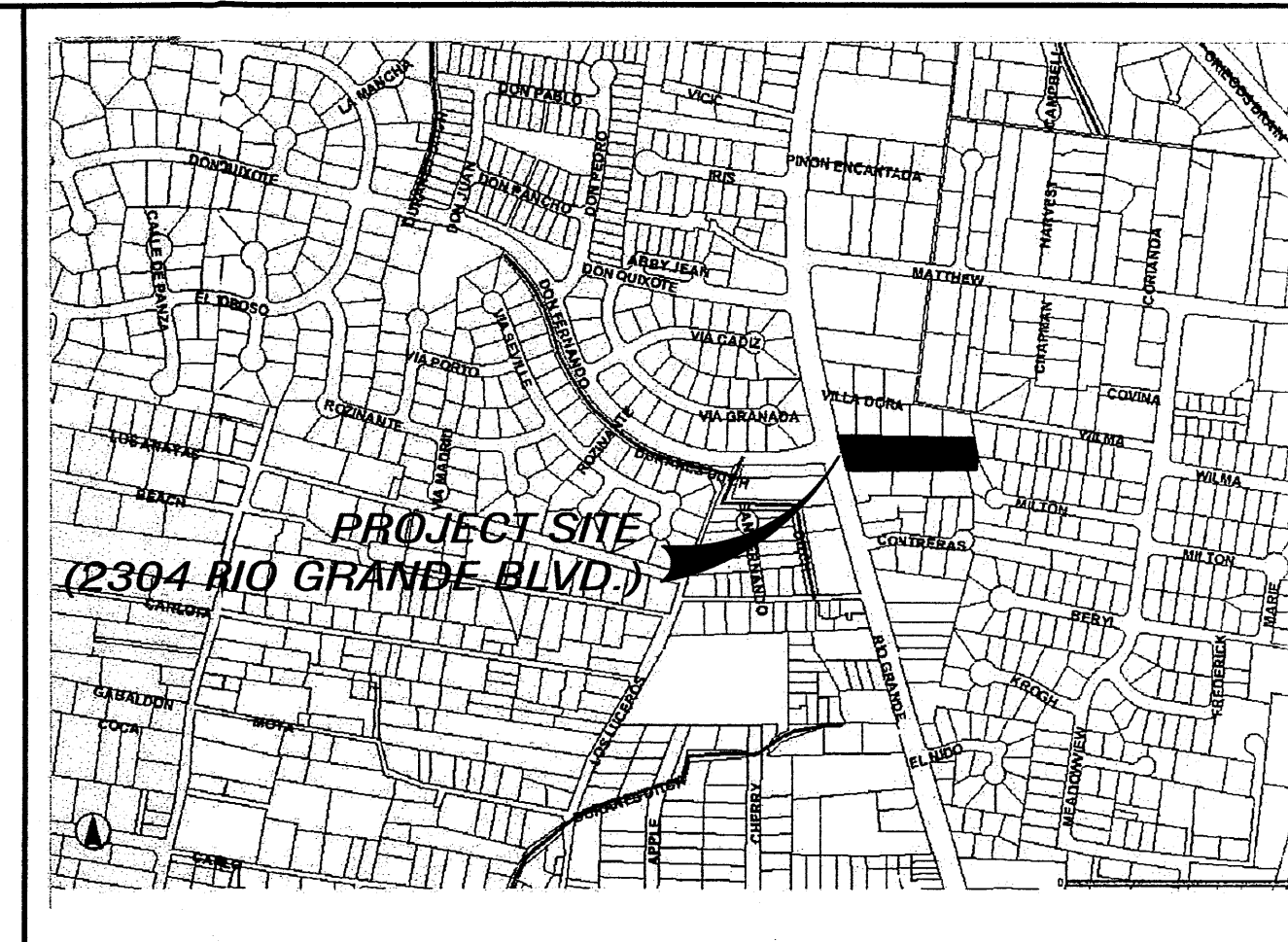
FLAT GRADING SCHEME DATA

	LOT 34-A (BASIN D1)	LOT 34-B (BASIN D2)	LOT 34-C (BASIN D3)
*PERCENT IMPERVIOUS (SEE NOTE BELOW):	= 43%	= 43%	= 43%
*TOTAL STORAGE VOLUME REQUIRED (V ₁₀₀₋₁₀₀₄₅):	= 0.10 AC-FT	= 0.9 AC-FT	= 0.5 AC-FT
*TOTAL STORAGE VOLUME PROVIDED:	= 0.17 AC-FT	= 0.15 AC-FT	= 0.10 AC-FT
*MAXIMUM WATER SURFACE ELEVATION (100-YR, 10-DAY):	= 4965.59	= 4964.60	= 4964.50
*FINISHED FLOOR ELEVATION:	= 4967.50	= 4966.00	= 4966.00

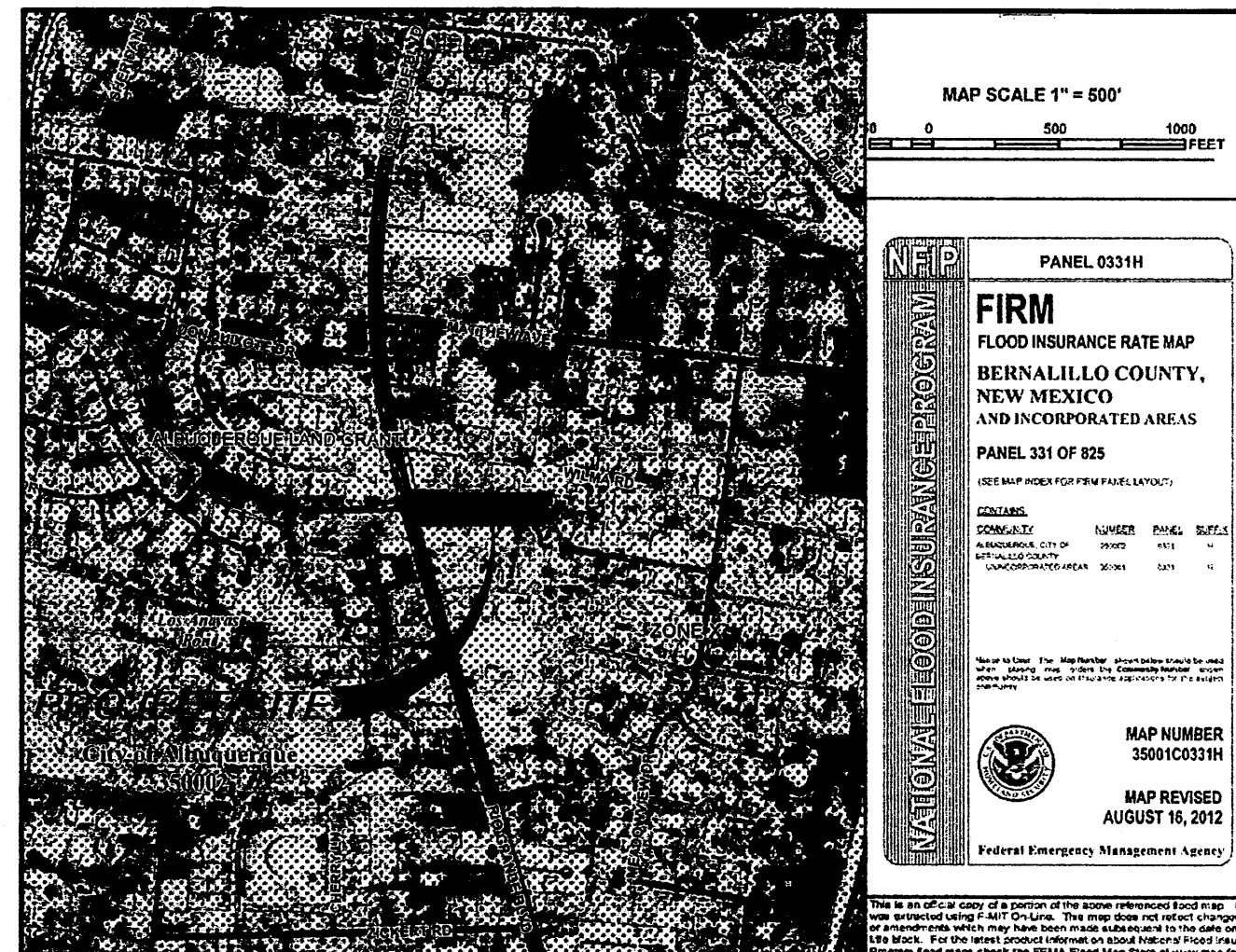
NOTE: THE PERCENT IMPERVIOUS USED FOR DETERMINATION OF REQUIRED STORAGE VOLUME FOR EACH LOT INCLUDES THE AREA OF ALL DRIVEWAYS, PLUS AN ADDITIONAL AREA OF 200 SQ. FT. FOR PATIOS, SIDEWALKS, ETC.

LEGEND

D1
PROPOSED BASIN LINE AND DESIGNATION

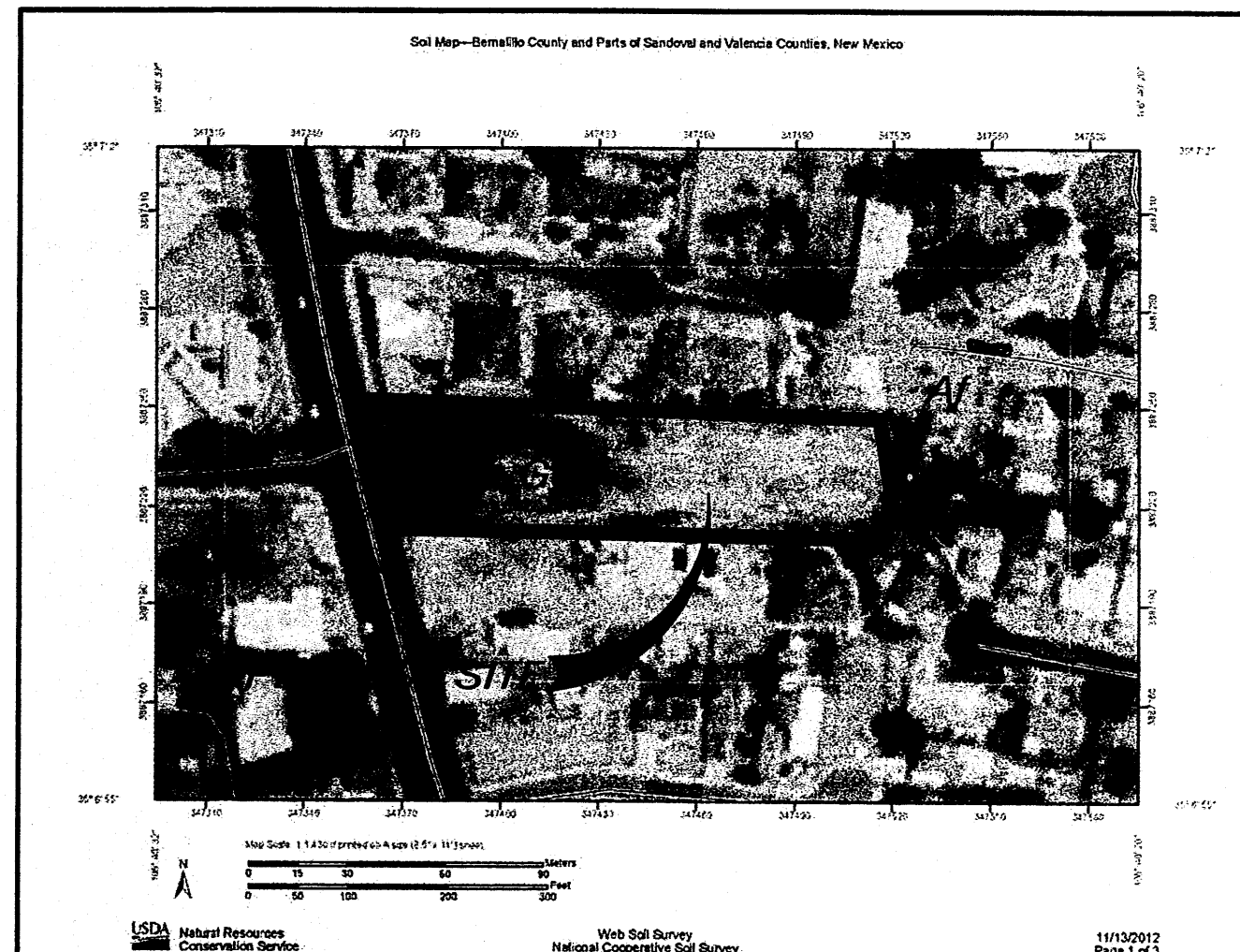


VICINITY MAP
ZONE ATLAS G-12

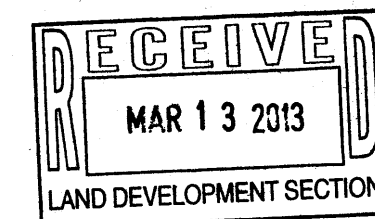


FIRM MAP NO. 35001C0331H

OTHER FLOOD AREAS
Zones X
Areas of 0.2% annual chance flood; areas of 1% annual chance flood with average depths of less than 1 foot or with drainage areas less than 1 square mile; and areas protected by levees from 1% annual chance flood.



USDA-NRCS SOIL MAP



Legal

A CERTAIN TRACT OF LAND BEING AND COMPRISING THE SOUTH ONE HALF (S1/2) OF LOT NUMBERED THIRTY-FOUR (34) OF ALVARADO GARDENS UNIT NO. 1, A SUBDIVISION TO THE PLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON AUGUST 15, 1932 IN PLAT BOOK C2, PAGE 10.

SAID TRACT IS IN SUBDIVISION PROCESS TO CREATE LOTS AS SHOWN, DRB #1001941.

ASSOCIATED INFRASTRUCTURE IMPROVEMENTS APPROVED WITH DRC PROJECT #724282.

GND, LLC
CONSULTING ENGINEERS

CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING DEVELOPMENT GROUP

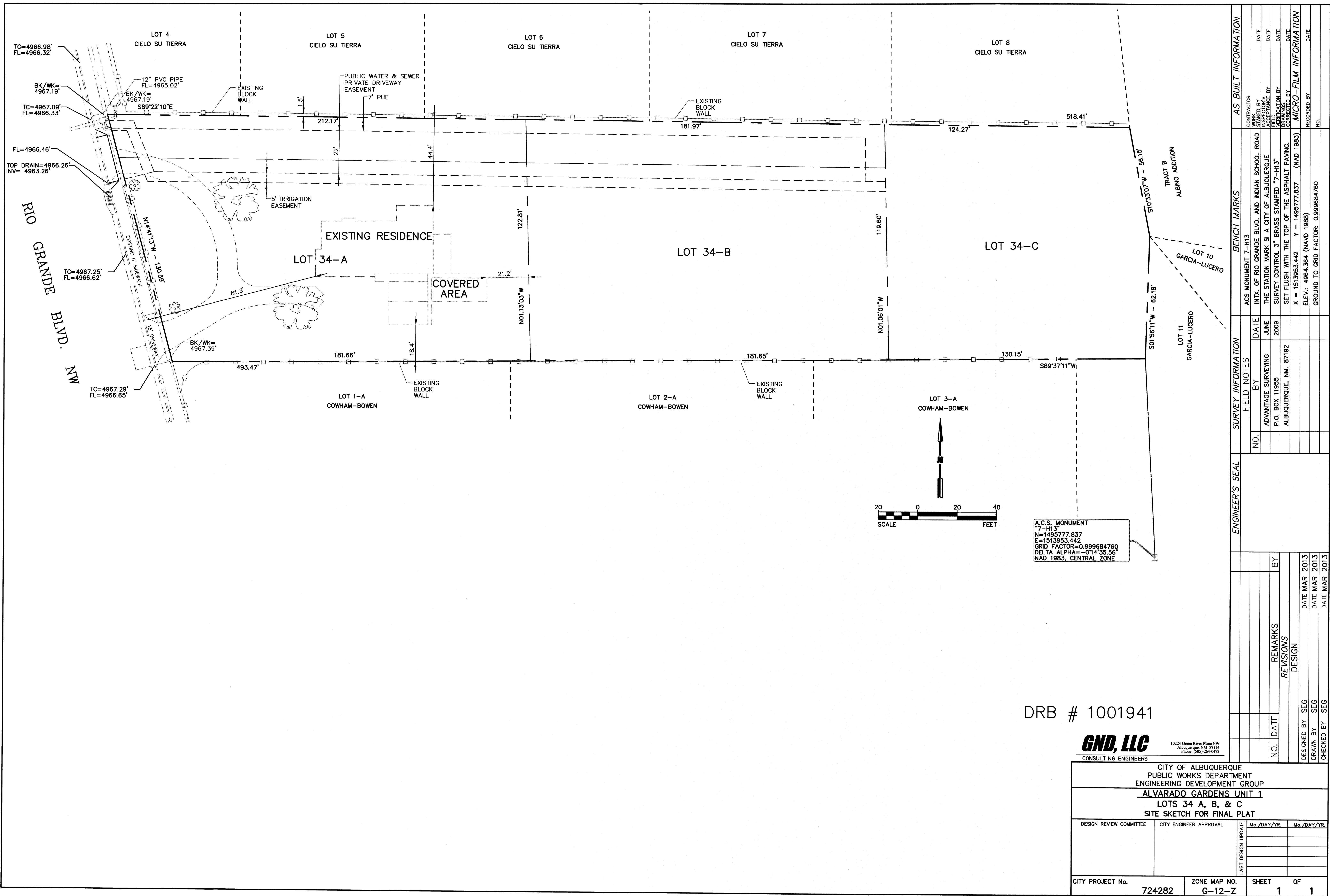
ALVARADO GARDENS UNIT 1
LOTS 34 A, B, & C
GRADING & DRAINAGE PLAN

DESIGN REVIEW COMMITTEE CITY ENGINEER APPROVAL
LAST DESIGN UPDATE

Mo./DAY/YR. Mo./DAY/YR.

CITY PROJECT No. 724282 ZONE MAP No. G-12-Z SHEET 1 OF 2

CONSULTING ENGINEERS		FIDUCI: 1503 J-204-0412		DESIGN		DRAWING	
CITY OF ALBUQUERQUE PUBLIC WORKS DEPARTMENT ENGINEERING DEVELOPMENT GROUP							
<u>ALVARADO GARDENS UNIT 1</u> LOTS 34 A, B, & C GRADING & DRAINAGE PLAN							
CITY REVIEW COMMITTEE		CITY ENGINEER APPROVAL		LAST DESIGN UPDATE		Mo./DAY/YR.	
CITY PROJECT No.		ZONE MAP No.		SHEET		OF	
724282		G-12-7		2		2	



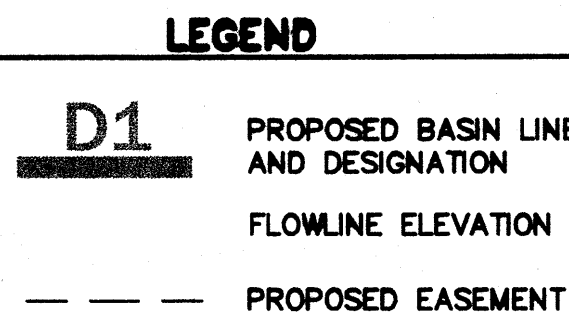
DRB # 1001941

GND, LLC
CONSULTING ENGINEERS

10234 Green River Place NW
Albuquerque, NM 87114
Phone: (505) 364-0472

CITY OF ALBUQUERQUE PUBLIC WORKS DEPARTMENT ENGINEERING DEVELOPMENT GROUP ALVARADO GARDENS UNIT 1 LOTS 34 A, B, & C SITE SKETCH FOR FINAL PLAT			
DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	LAST DESIGN UPDATE	
		Mo./DAY/YR.	Mo./DAY/YR.
CITY PROJECT No.	ZONE MAP NO.	SHEET	OF
724282	G-12-Z	1	1

SURVEY INFORMATION				BENCH MARKS				AS BUILT INFORMATION			
FIELD NOTES				ACS MONUMENT 7-H13				CONTRACTOR			
NO.	BY	DATE		INTX. OF RIO GRANDE BLVD. AND INDIAN SCHOOL ROAD	DATE	STATIONED BY	DATE	WORK	DATE	STATIONED BY	DATE
	ADVANTAGE SURVEYING	JUNE		THE STATION MARK SI A CITY OF ALBUQUERQUE		FIELD		BY		FIELD	
	P.O. BOX 11955	2009		SURVEY CONTROL 3" BRASS STAMPED "7-H13"		ADJUSTMENT BY		ADJUSTMENT BY		ADJUSTMENT BY	
	ALBUQUERQUE, NM. 87192			SET FLUSH WITH THE TOP OF THE ASPHALT PAVING.		CORRECTED BY		CORRECTED BY		CORRECTED BY	
				X = 1513953.442 Y = 1495777.837 (NAD 1983)							
				ELEV: 4964.364 (NAVD 1988)							
				GROUND TO GRID FACTOR: 0.999684760							



1. THE SITE MUST BE FLAT OR CAN BE GRADED FLAT
2. THE MAXIMUM PERCENT IMPERVIOUS OF THE LOT AND THE CONTRIBUTING AREA MAY NOT BE GREATER THAN 45%.
3. PAD ELEVATION SHALL BE A MINIMUM OF ONE (1) FOOT ABOVE THE 100-YEAR, 10-DAY STORM WATER SURFACE ELEVATION.
4. THE FLOW BETWEEN THE FRONT AND BACK YARD CANNOT BE OBSTRUCTED. THE STORM WATER MUST BE ALLOWED TO EQUALIZE TO THE SAME LEVEL BETWEEN THE FRONT YARD AND BACK YARD.
5. A PERMANENT PERIMETER WALL OR BARRIER AROUND THE PROPERTY IS REQUIRED TO CONTAIN THE 100-YEAR, 10-DAY STORM WATER SURFACE ELEVATION.
6. THE HIGH POINT OF THE STREET SHOULD BE FOUR INCHES ABOVE THE 100-YEAR, 10-DAY STORM WATER SURFACE ELEVATION.
7. THERE ARE NO ACCESSIBLE STORM DRAINS NEAR THE PROPOSED DEVELOPMENT.

