CITY OF ALBUQUERQUE



September 7, 2016

David Soule, PE Rio Grande Engineering 1606 Central SE Suite 201 Albuquerque, NM 87106

Re: Las Ventanas at San Isidro

3737 San Isidro NW

Request Permanent C.O. - Accepted

Engineer's Stamp Dated 3-23-13 (File: G13D031)

Certification dated: 8-31-16

Dear Mr. Soule,

Based on the Certification received 8/6/2016, the site is acceptable for release of Certificate of Occupancy by Hydrology.

PO Box 1293

• Both ponds are present however neither is landscaped. During the landscaping phase the volume (size), shape and integrity of the ponds must be maintained per the City of Albuquerque drainage ordinance.

Albuquerque

• The ponds must be stabilized with landscaping within 90 days from the date of this letter.

New Mexico 87103 If you have any questions, you can contact me at 924-3986 or Totten Elliott at 924-3982.

www.cabq.gov

Abiel Carrillo, P.E.

Sincerely,

Principal Engineer, Planning Department

Development and Review Services

TE/AC

C: email Cordova, Camille C.; Miranda, Rachel; Sandoval, Darlene M.; Blocker,

Lois



City of Albuquerque Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 09/2015)

Project Title: Las Ventanas at San Isidro	Building Permit #: City Drainage #: G13D031
DRB#: 1010378 EPC#:	Work Order#:
Legal Description: Jots 10a1.10b1.10b2 block A Candelaria Plaza	
City Address: 3735 San Isidro nw	· · · · · · · · · · · · · · · · · · ·
Engineering Firm: RIO GRANDE ENGINEERING	Contact: DAVID SOULE
Address: PO BOX 93924, ALBUQUERQUE, NM 87199	·
Phone#: 505.321.9099 Fax#: 505.872.0999	E-mail: DAVID@RIOGRANDEENGINEERING.COM
Owner: Scott Ashcraft	Contact:
Address: 10616 ROYAL BIRKDALE NE ALB NM 87111	
Phone#: Fax#:	E-mail:
Architect: none	. Contact:
Address:	
Phone#: Fax#:	E-mail:
Other Contact:	Contact:
Address:	
Phone#: Fax#:	E-mail:
TYPE OF SUBMITTAL: X ENGINEER ARCHITECT CERTIFICATION CONCEPTUAL G & D PLAN GRADING PLAN DRAINAGE MASTER PLAN DRAINAGE REPORT CLOMR/LOMR TRAFFIC CIRCULATION LAYOUT (TCL) TRAFFIC IMPACT STUDY (TIS) EROSION & SEDIMENT CONTROL PLAN (ESC)	FOUNDATION PERMIT APPROVAL SECTION RADING PERMIT APPROVAL SO-19 APPROVAL PAVIS PERMIT APPROVAL GRADING/PAD'CERTIFICATION
EROSION & SEDIMENT CONTROL PLAN (ESC)	WORK ORDER APPROVAL CLOMR/LOMR
OTHER (SPECIFY)	PRE-DESIGN MEETING OTHER (SPECIFY)
IS THIS A RESUBMITTAL?: X Yes No	
DATE SUBMITTED: 8/31/16 By:	

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: ____

CITY OF ALBUQUERQUE



August 3, 2016

David Soule, PE Rio Grande Engineering 1606 Central SE Suite 201 Albuquerque, NM 87106

Re: Las Ventanas at San Isidro

3739 San Isidro NW

Request Permanent C.O. - Accepted

Engineer's Stamp Dated 3-23-13 (File: G13D031)

Certification dated: 7-29-16

Dear Mr. Soule,

Based on the Certification received 7/29/2016, the site is acceptable for release of Certificate of Occupancy by Hydrology.

PO Box 1293

• Both ponds are present however neither is landscaped. During the landscaping phase the integrity of the ponds must be maintained per the City of Albuquerque drainage ordinance.

Albuquerque

 The ponds must be stabilized with landscaping within 90 days from the date of this letter.

New Mexico 87103 If you have any questions, you can contact me at 924-3986 or Totten Elliott at 924-3982.

www.cabq.gov

Sincerety

Abiel Carrillo, P.E.

Principal Engineer, Planning Department

Development and Review Services

TE/AC

C: email

Cordova, Camille C.; Miranda, Rachel; Sandoval, Darlene M.; Blocker,

Lois



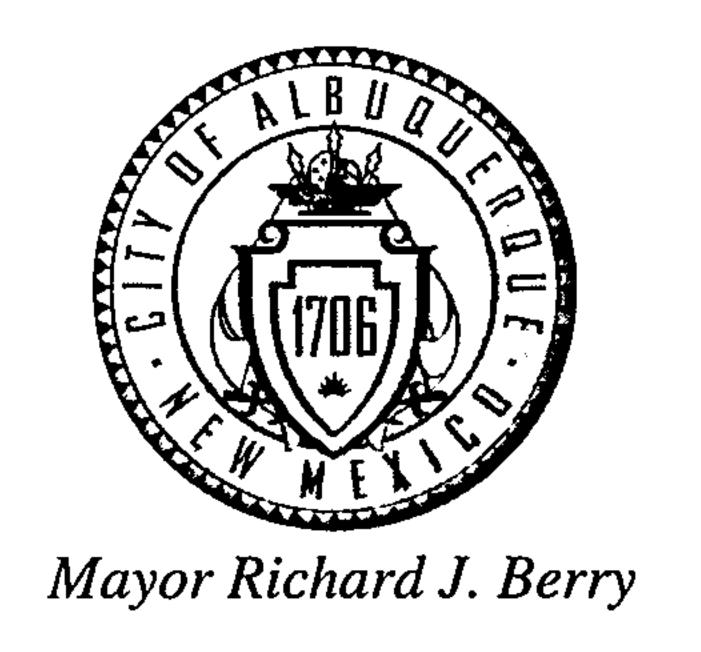
Planning Department

Development & Building Services Division

Project Title: Las Ventanas at San Isidro	Building Permit #: City Drainage #: _G13D031
DRB#: 1010378 EPC#:	Work Order#:
Legal Description: lots 10a1,10b1,10b2 block A Candelaria Plaza	· · · · · · · · · · · · · · · · · · ·
City Address: 4735 San Isidro nw	· · · · · · · · · · · · · · · · · · ·
3139 Engineering Firm: RIO GRANDE ENGINEERING	Contact: DAVID SOULE
Address: PO BOX 93924, ALBUQUERQUE, NM 87199	
Phone#: 505.321.9099 Fax#: 505.872.0999	E-mail: DAVID@RIOGRANDEENGINEERING.CO
Owner: Scott Ashcraft	Contact:
Address: 10616 ROYAL BIRKDALE NE ALB NM 87111	
Phone#: Fax#:	E-mail:
Architect: none	Contact:
Address:	
Phone#: Fax#:	E-mail:
Other Contact:	Contact:
Address:	······································
Phone#:	E-mail:
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Check all that Apply: DEPARTMENT: X HYDROLOGY/ DRAINAGE	CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:
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CITY OF ALBUQUERQUE

Suzanne Lubar, Director



March 29, 2016

David Soule, P.E.
Rio Grande Engineering
PO Box 93924
Albuquerque, New Mexico 87199

RE: Las Ventanas at San Isidro
37.35 San Isidro NW
Grading and Drainage Plan
Engineers Stamp Date 3/23/16 (G13D031)

Dear Mr. Soule,

PO Box 1293

Based upon the information provided in your submittal received 3/24/16, this plan is approved for Grading Permit and Building Permit.

Albuquerque

Please inform the owner/contractor to attach a copy of this approved plan to the construction sets in the permitting process prior to sign-off by Hydrology.

New Mexico 87103

Prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist will be required.

www.cabq.gov

If you have any questions, please contact me at 924-3986 or Rudy Rael at 924-3977.

Sincerely,

Abiel Carrillo, P.E.

Principal Engineer, Hydrology

Planning Department

RR/AC C: File

Weighted E Method

2.72 CFS

0.87 CFS

											100-	-Year, 6-hr.	,	100 yr 10-da
Basin	Area	_Area [Treati	ment A	Trea	tment B	Treatr	ment C	Treati	ment D	Weighted E	Volume	Flow	Volume
<u> </u>	(sf)	(acres)	%	(acres)	%	(acres)	%	(acres)	%	(acres)	(ac-ft)	(ac-ft)	cfs	(ac-ft)
historical	34590.00	0.794	0%	0	40%	0.318	20%	0.159	40%	0.318	1.386	0.092	2.72	0.134
pasin 10b1 🔲	10466.00	0.240	0%	0	35%	0.084	15%	0.036	50%	0.120	1.503	0.030	0.87	0.046
pasin 10b2 🔲	10655.00	0.245	0%	0	35%	0.086	15%	0.037	50%	0.122	1.503	0.031	0.89	0.047
oasin 10a1	13469.00	0.309	0%	0	35%	0.108	15%	0.046	50%	0.155	1.503	0.039	1.12	0.059
ROPOSED	34590.00	0.794	0%	0	35%	0.278	15%	0.119	50%	0.397	1.503	0.099	2.87	0.152
ROPOSED	34590.00	0.794	0%	0	35%	0.278	15%	0.119	50%	0.397		·· 		_

<u>Equations:</u>

Weighted E = Ea*Aa + Eb*Ab + Ec*Ac + Ed*Ad / (Total Area)

Volume = Weighted D * Total Area

First flush requirement 490.025 cubic feet

Flow = Qa * Aa + Qb * Ab + Qc * Ac + Qd * Ad

Where for 100-year, 6-hour storm(zone2)

Ea= 0.53 Qa= 1.56 Eb= 0.78 Qb= 2.28 Ec= 1.13 Qc= 3.14 Ed= 2.12 Qd= 4.7

PROPOSED(ex lot 10a1)

Developed Conditions

FLAT GRADING SCHEME

EXISITNG

VOLUME GENERATED

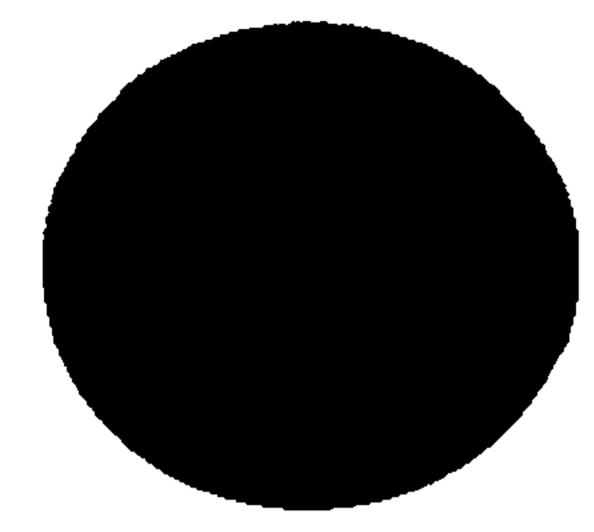
10-day

0.134 AC-FT 5839.945 CF 0.152 AC-FT 6636.95625 CF

ALLLOWED 2.18 CFS

PONDING PROVIDED GENERATED POND 10b1 2054 2044 POND 10b2 2041 2008

This site is an redevelopment of an existing lot. The structure on lot 10a1 will remain. The structure on lots 10b1 and 10b2 was recently demolished The site lies within the valley, where the flat land gradigng scheme is allowed. The rear two lots will retain the entire 100-year, 10-day volume and the existing lot will remain unchanged. The site is ringed by existing block walls, therefore no cross lot drainage exists. The new gravel drive will funtion as an emergency overflow.



Planning Department

Development & Building Services Division

Work Order#: Contact: DAVID SOULE E-mail: DAVID@RIOGRANDEENGINEERING.COM Contact:
E-mail: DAVID@RIOGRANDEENGINEERING.COM
E-mail: DAVID@RIOGRANDEENGINEERING.COM
E-mail: DAVID@RIOGRANDEENGINEERING.COM
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MEETING
ECIFY)

David Soule

Subject: FW: Candelaria Plaza Addition

From: Rael, Rudy E. [mailto:RRael@cabq.gov]
Sent: Tuesday, March 22, 2016 9:27 AM

To: 'David Soule (david@riograndeengineering.com)'

Subject: Candelaria Plaza Addition

Hello David:

This email is being sent in lieu of an attached comment letter in order to expedite the response for initial reviews. Responses to comments should continue to be included in the re-submittal. A reply to this email with responses to comments will not be considered a re-submittal.

Based upon the information provided in your submittal received 1-13-2016, the above referenced Grading and Drainage Plan cannot be approved for Site Plan for Building Permit, Building Permit, or ESC Permit (Grading Permit), until the following items are addressed:

- 1. Drainage calcs were omitted (WE HAVE ADDED TO THE PLAN)
- 2. New spot elevations to cluttered, remove majority of spots. (WE HAVE REMOVED MOST EXISTING ELEVATIONS TO ELIMINAT
- 3. FF for lot 10-B1 should be at 4969.50. (WE HAVE ADDED THE FINISHED FLOOR ELEVATIONS TO ALL LOTS)
- 4. Label existing buildings. (WE HAVE LABELED)
- 5. Show roof flows. (WE HAVE SHOWN)
- 6. What is E note at existing buildings? (WE HAVE REMOVED THE KEY NOTE

Rudy E. Rael, CE, CFM
Engineer Associate, Hydrology
Planning Department
600 2nd St. NW Suite 201
Albuquerque NM 87102
(505) 924-3977



Rael, Rudy E.

From:

Rael, Rudy E.

Sent:

Tuesday, March 22, 2016 9:27 AM

To:

'David Soule (david@riograndeengineering.com)'

Subject:

Candelaria Plaza Addition

Hello David:

This email is being sent in lieu of an attached comment letter in order to expedite the response for initial reviews. Responses to comments should continue to be included in the re-submittal. A reply to this email with responses to comments will not be considered a re-submittal.

Based upon the information provided in your submittal received 1-13-2016, the above referenced Grading and Drainage Plan cannot be approved for Site Plan for Building Permit, Building Permit, or ESC Permit (Grading Permit), until the following items are addressed:

- 1. Drainage calcs were omitted.
- 2. New spot elevations to cluttered, remove majority of spots.
- 3. FF for lot 10-B1 should be at 4969.50.
- 4. Label existing buildings.
- 5. Show roof flows.
- 6. What is E note at existing buildings?

Rudy E. Rael, CE, CFM

Engineer Associate, Hydrology Planning Department 600 2nd St. NW Suite 201 Albuquerque NM 87102 (505) 924-3977

1

***** ,

David Soule

From: Abiel X. Carrillo [acarrillo@cabq.gov]

Sent: Monday, February 01, 2016 11:52 AM

To: David Soule

Subject: G13D031 - Lots B1,B2 Candelaria Addition - Stamped 1-8-2016

David:

This email is being sent in lieu of an attached comment letter in order to expedite the response for initial reviews. Responses to comments should continue to be included in the re-submittal. A reply to this email with responses to comments will not be considered a re-submittal.

Based upon the information provided in your submittal received 1-8-2016, the above referenced Grading and Drainage Plan cannot be approved for Building Permit until the following comments are addressed:

1. The survey information is illegible, particularly the existing elevation data.

We enlarged, the text on the survey shots.

2. The drainage narrative states that no cross-lot drainage exists (except for the access/drainage easement). Please provide a cross-section of the two swales that are implied between lots B2 and B1. We have added spots and a cross section to show no cross lot drainage

3. Provide additional elevation points (or a cross section) for the access aisle to show if it is intended to have a crown, inverted crown, or sheet flow.

we have added the snots there is solid wall on south so we are superelyating to north

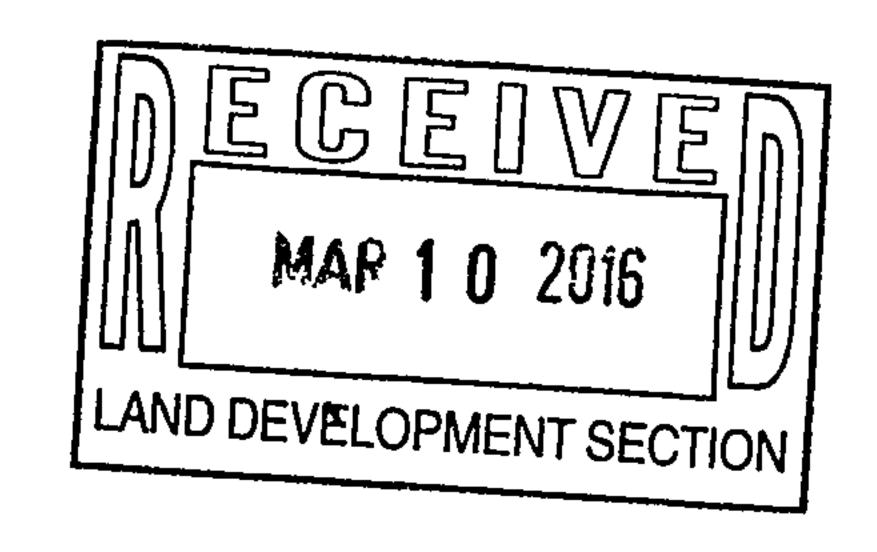
4. In the re-submittal, please fix minor labeling, such as the reference to the 10-year storm and column headings in the drainage narrative; Lot numbers; 4949 Elevation Contour; turn off the leader lines for the easement dimensions, etc. Label San Isidro Rd.

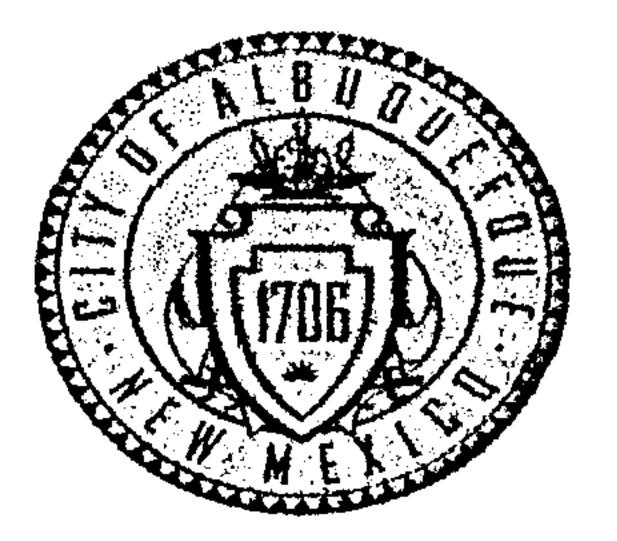
we have corrected the labeling errs and extra leader lines.

If you have any questions, you can contact me at 924-3986.

Abiel Carrillo, P.E.

Principal Engineer - Hydrology
Planning Department
Development Review Services Division
City of Albuquerque
505-924-3986
acarrillo@cabq.gov
600 2nd Street NW
Albuquerque, NM 87102





Planning Department

Development & Building Services Division

Project Title: Las Ventanas at San	· · · · · · · · · · · · · · · · · · ·	Building Permit #:	City Drainage #: G13D031
DRB#: 1010378	EPC#:	Wo	rk Order#:
	1,10b2 block A Candelaria Plaza		· · · · · · · · · · · · · · · · · · ·
City Address: 3735 San Isidro nw			<u> </u>
Engineering Firm: RIO GRANDE	ENGINEERING	Con	ntact: DAVID SOULE
Address: PO BOX 93924, ALBUQUE	ERQUE, NM 87199		
Phone#: 505.321.9099	Fax#: 505.872.0999	E-n	nail: DAVID@RIOGRANDEENGINEERING.CO
Owner: Scott Ashcraft		Co	ntact:
Address: 10616 ROYAL BIRKDALE	NE ALB NM 87111		
Phone#:	Fax#:	E-r	nail:
Architect: none			ntact:
Address:			mact.
Phone#:	Fax#:	E-r	nail:
			
Other Contact:		Co	ntact:
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Abiel X. Carrillo

From:

Abiel X. Carrillo

Sent:

Monday, February 01, 2016 11:52 AM

To:

'David Soule'

Subject:

G13D031 - Lots B1,B2 Candelaria Addition - Stamped 1-8-2016

David:

This email is being sent in lieu of an attached comment letter in order to expedite the response for initial reviews. Responses to comments should continue to be included in the re-submittal. A reply to this email with responses to comments will not be considered a re-submittal.

Based upon the information provided in your submittal received 1-8-2016, the above referenced Grading and Drainage Plan cannot be approved for Building Permit until the following comments are addressed:

- 1. The survey information is illegible, particularly the existing elevation data.
- 2. The drainage narrative states that no cross-lot drainage exists (except for the access/drainage easement). Please provide a cross-section of the two swales that are implied between lots B2 and B1.
- 3. Provide additional elevation points (or a cross section) for the access aisle to show if it is intended to have a crown, inverted crown, or sheet flow.
- 4. In the re-submittal, please fix minor labeling, such as the reference to the 10-year storm and column headings in the drainage narrative; Lot numbers; 4949 Elevation Contour; turn off the leader lines for the easement dimensions, etc. Label San Isidro Rd.

If you have any questions, you can contact me at 924-3986.

Abiel Carrillo, P.E.

Principal Engineer - Hydrology
Planning Department
Development Review Services Division
City of Albuquerque
505-924-3986
acarrillo@cabq.gov
600 2nd Street NW
Albuquerque, NM 87102



Planning Department

Development & Building Services Division

roject Title: Las Ventanas at San Isidro	Building Permit #: City Drainage #: (1370)
RB#: 1010378 EPC#: EPC#: Epc	Work Order#:
egal Description: lots 10a1,10b1,10b2 block A Candelaria ity Address: 3735 San Isidro nw	riaza
Tity Madress. Of the daily line	
ngineering Firm: RIO GRANDE ENGINEERING	Contact: DAVID SOULE
ddress: PO BOX 93924, ALBUQUERQUE, NM 87199	
none#: 505.321.9099 Fax#: 50	E-mail: DAVID@RIOGRANDEENGINEERING.CO
wner: Scott Ashcraft	Contact:
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