

CITY OF ALBUQUERQUE

Planning Department
David Campbell, Director



Mayor Timothy M. Keller

June 21, 2019

Åsa Nilsson-Weber, P.E.
Isaacson & Arfman, P.A.
128 Monroe St. N.E
Albuquerque, NM 87108

RE: **Campbell Compound**
Request for Pad Certification (Lots 2 and 3): - Accepted
Drainage Report Stamp Date: 10/10/17
Grading Plan Stamp Date: 3/6/18 (G13D032)
Certification Dated: 6/20/19

Dear Ms. Nilsson-Weber:

PO Box 1293
Based on the submittal received on 6/20/19, the certification is accepted for Building Permit for Lots 5 and 6.

Albuquerque
Prior to Hydrology approval for Release of Financial Guarantee (For Information):

1. The Drainage Covenants must be recorded with Bernalillo County and a copy included with the drainage certification.

NM 87103
If you have any questions, please contact me at 924-3695 or dpeterson@cabq.gov.

www.cabq.gov

Sincerely,

Dana Peterson, P.E.
Senior Engineer, Planning Dept.
Development Review Services



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 11/2018)

Project Title: Campbell Compound **Building Permit #:** _____ **Hydrology File #:** G13D032
DRB#: 1011223 **EPC#:** _____ **Work Order#:** 708882
Legal Description: Campbell Compound
City Address: _____

Applicant: Isaacson & Arfman, PA **Contact:** Asa Nilsson-Weber
Address: 128 Monroe Street NE - Albuquerque, NM 87108
Phone#: (505) 268-8828 **Fax#:** _____ **E-mail:** asaw@iacivil.com
Owner: Las Ventanas NM, Inc. **Contact:** Scott Ashcraft
Address: 8330-A Washington Place NE - Albuquerque, NM 87113
Phone#: (505) 362-6824 **Fax#:** _____ **E-mail:** _____

TYPE OF SUBMITTAL: ☒ PLAT (2 # OF LOTS) _____ RESIDENCE _____ DRB SITE _____ ADMIN SITE

IS THIS A RESUBMITTAL?: _____ Yes ☒ No

DEPARTMENT: _____ TRAFFIC/ TRANSPORTATION ☒ HYDROLOGY/ DRAINAGE

Check all that Apply:

TYPE OF SUBMITTAL:

☒ ENGINEER ARCHITECT CERTIFICATION
☒ PAD CERTIFICATION
____ CONCEPTUAL G & D PLAN
____ GRADING PLAN
____ DRAINAGE MASTER PLAN
____ DRAINAGE REPORT
____ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
____ ELEVATION CERTIFICATE
____ CLOMR/LOMR
____ TRAFFIC CIRCULATION LAYOUT (TCL)
____ TRAFFIC IMPACT STUDY (TIS)
____ OTHER (SPECIFY) _____
____ PRE-DESIGN MEETING?

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

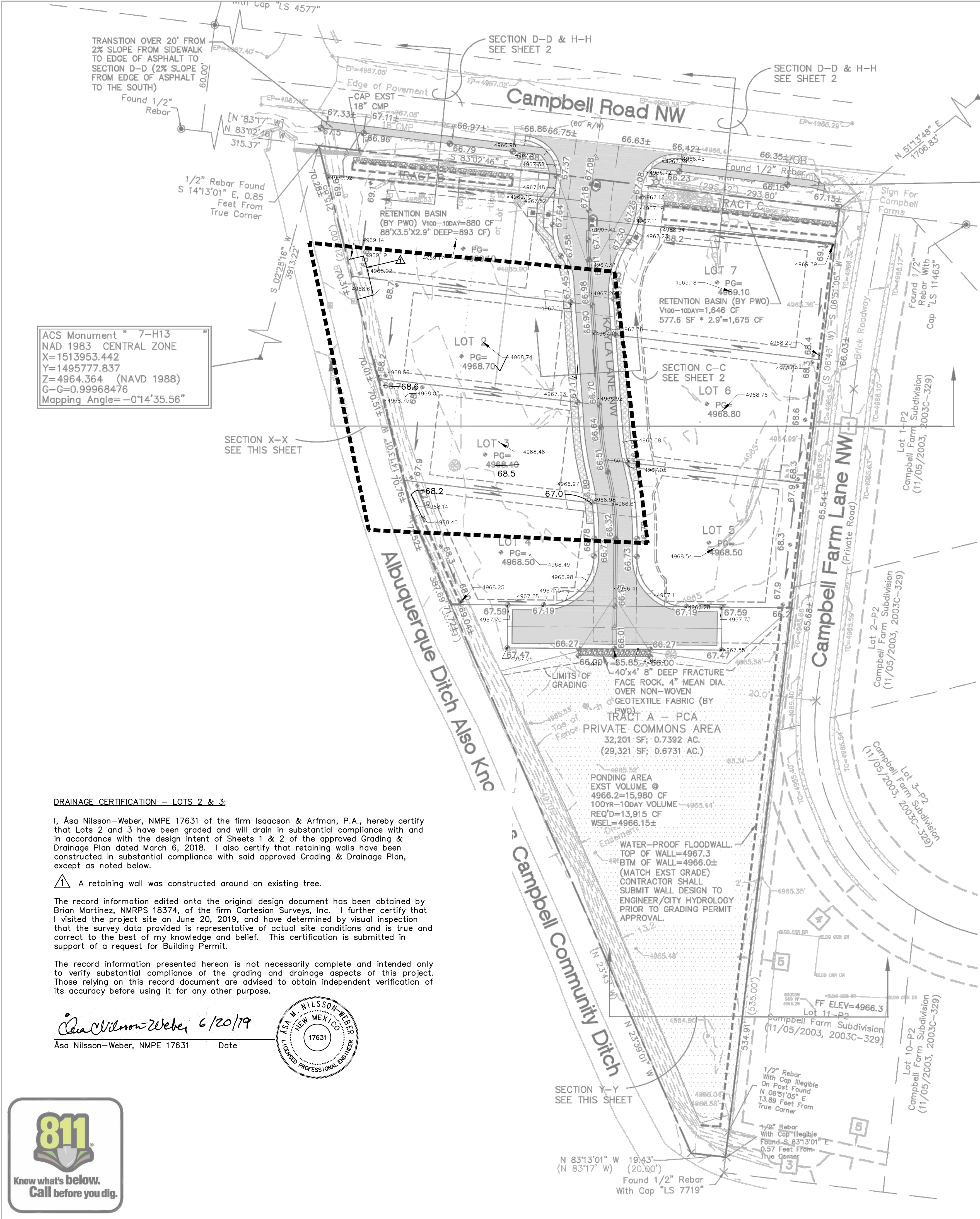
☒ BUILDING PERMIT APPROVAL **LOTS 2 & 3**
____ CERTIFICATE OF OCCUPANCY
____ PRELIMINARY PLAT APPROVAL
____ SITE PLAN FOR SUB'D APPROVAL
____ SITE PLAN FOR BLDG. PERMIT APPROVAL
____ FINAL PLAT APPROVAL
____ SIA/ RELEASE OF FINANCIAL GUARANTEE
____ FOUNDATION PERMIT APPROVAL
____ GRADING PERMIT APPROVAL
____ SO-19 APPROVAL
____ PAVING PERMIT APPROVAL
____ GRADING/ PAD CERTIFICATION
____ WORK ORDER APPROVAL
____ CLOMR/LOMR
____ FLOODPLAIN DEVELOPMENT PERMIT
____ OTHER (SPECIFY) _____

DATE SUBMITTED: June 20, 2019 **By:** Asa Nilsson-Weber

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: _____

FEE PAID: _____

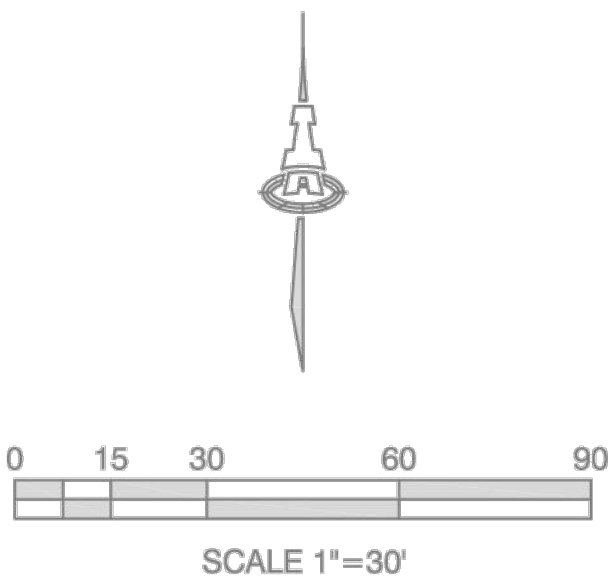


ACS Monument " 7-H13
NAD 1983 CENTRAL ZONE
X=1513953.442
Y=1495777.837
Z=4964.364 (NAVD 1988)
G-G=0.99968476
Mapping Angle=-0°14'35.56"

ACS Monument " 6-G13AR
NAD 1983 CENTRAL ZONE
X=1515743.949
Y=1500719.134
Z=N/A (NAVD 1988)
G-G=0.999684045
Mapping Angle=-0°14'23.60"

DRAINAGE EASEMENT NOTES:
THE FOLLOWING DRAINAGE EASEMENTS SHALL BE GRANTED/RECORDED:

- A PRIVATE DRAINAGE EASEMENT OVER KAYLA LN.
- A PRIVATE DRAINAGE EASEMENT AND A DRAINAGE COVENANT OVER TRACT A.
- A PUBLIC DRAINAGE EASEMENT AND AN AGREEMENT & COVENANT OVER TRACTS B & C.



NOTE:
SEE SHEET 2 FOR DETAILS AND RETAINING WALL PLAN

DRAINAGE CERTIFICATION – LOTS 2 & 3:

I, Asa Nilsson-Weber, NMPE 17631 of the firm Isaacson & Arfman, P.A., hereby certify that Lots 2 and 3 have been graded and will drain in substantial compliance with and in accordance with the design intent of Sheets 1 & 2 of the approved Grading & Drainage Plan dated March 6, 2018. I also certify that retaining walls have been constructed in substantial compliance with said approved Grading & Drainage Plan, except as noted below.

▲ A retaining wall was constructed around an existing tree.

The record information edited onto the original design document has been obtained by Brian Martinez, NMRPS 18374, of the firm Cartesian Surveys, Inc. I further certify that I visited the project site on June 20, 2019, and have determined by visual inspection that the survey data provided is representative of actual site conditions and is true and correct to the best of my knowledge and belief. This certification is submitted in support of a request for Building Permit.

The record information presented hereon is not necessarily complete and intended only to verify substantial compliance of the grading and drainage aspects of this project. Those relying on this record document are advised to obtain independent verification of its accuracy before using it for any other purpose.

Asa Nilsson-Weber, NMPE 17631
Date
ISAACSON & ARFMAN, P.A.
17631
NEW MEXICO
REGISTERED PROFESSIONAL ENGINEER



GRADING GENERAL NOTES

- GRADING SHALL BE PERFORMED AT THE ELEVATIONS AND IN ACCORDANCE WITH THE DETAILS SHOWN ON THIS PLAN.
- PROPOSED SPOT AND CONTOUR ELEVATIONS SHOWN REPRESENT TOP OF FINISH MATERIAL (I.E. TOP OF CONCRETE, TOP OF CONCRETE BUILDING PAD, TOP OF PAVEMENT MATERIAL, TOP OF LANDSCAPING MATERIAL, ETC.). CONTRACTOR SHALL GRADE, COMPACT SUBGRADE AND DETERMINE EARTHWORK ESTIMATES BASED ON ELEVATIONS SHOWN MINUS FINISH MATERIAL THICKNESSES.
- IF FIELD GRADE ADJUSTMENTS ARE REQUIRED, THE CONTRACTOR SHALL NOTIFY THE ENGINEER.
- THE ENVIRONMENTAL PROTECTION AGENCY (EPA) AND THE CITY OF ALBUQUERQUE REQUIRE A STORM WATER POLLUTION PREVENTION PLAN (SWPPP), AN NPDES PERMIT, AND AN EROSION AND SEDIMENT CONTROL (ESC) PERMIT FOR PROJECTS WHERE CONSTRUCTION ACTIVITIES MEET THE EPA THRESHOLD. A CURRENT CITY-APPROVED ESC PERMIT MUST BE INCLUDED WITH THE CONTRACTOR'S SUBMITTAL FOR A ROUGH GRADING, GRADING, PAVING, BUILDING, OR WORK ORDER PERMIT. CONTRACTOR SHALL COORDINATE WITH OWNER TO DETERMINE WHO WILL PREPARE SWPPP AND INSPECT REQUIRED ELEMENTS.
- ALL NEW PAVEMENT SURFACES SHALL BE CONSTRUCTED WITH POSITIVE SLOPE AWAY FROM BUILDINGS AND POSITIVE SLOPE TOWARD EXISTING AND/OR PROPOSED DRAINAGE PATHS. PAVING AND ROADWAY GRADES SHALL BE ±0.1' FROM PLAN ELEVATIONS. BUILDING PAD ELEVATION SHALL BE ±0.1' FROM PLAN ELEVATION.
- WHERE GRADES BETWEEN NEW AND EXISTING ARE SHOWN AS 'MATCH' OR '±', TRANSITIONS SHALL BE SMOOTH.
- POND DESIGN PARAMETERS AND STORMWATER CONTROL MEASURES SHOWN ON THIS PLAN (TOP OF POND, BOTTOM OF POND, SIZE OF ORIFICE, AREA OF POND, ETC.) TO BE STRICTLY ADHERED TO FOR CERTIFICATION PURPOSES. SEE DETAIL SHEET FOR ADDITIONAL INFORMATION.
- POST-CONSTRUCTION MAINT TOP OF WALL=4967.3 STORMWATER FACILITIES WILL BTM OF WALL=4966.0± OF THE FACILITIES OWNER. (MATCH EXST GRADE) THAT OWNER INSPECT SITE CONTRACTOR SHALL RAINFALL TO IDENTIFY NEW SUBMIT WALL DESIGN TO INSTALL ADDITIONAL EROSION CONTROL MEASURES BASED ON ACTUAL OCCURRENCE PRIOR TO GRADING PERMIT APPROVAL.
- FOR ENGINEER'S CERTIFICATION OF COMPLIANCE (FOR CERTIFICATE OF OCCUPANCY) CONTRACTOR SHALL PROVIDE AN AUTOCAD FORMAT AS-BUILT SURVEY PREPARED BY A LICENSED SURVEYOR WHICH INCLUDES:
 - AS-BUILT PAD GRADE
 - SPOT ELEVATIONS AT EACH DESIGN SPOT
 - ELEVATION SHOWN ON THE APPROVED PLAN;
 - ALL CONSTRUCTION SHOWN ON THIS PLAN MUST BE CONSTRUCTED IN SUBSTANTIAL COMPLIANCE WITH THE APPROVED PLAN IN ORDER TO RECEIVE ENGINEER'S CERTIFICATION.

VICINITY MAP



PROJECT DATA

LEGAL DESCRIPTION: CAMPBELL COMPOUND BEING A RE-PLAT OF PORTION OF LOTS 18 & 19, ALVARADO GARDENS, UNIT 3

SITE AREA: 2.0808 AC.

DISTURBED AREA: 1.30 AC.±

BENCHMARK: ACS MONUMENT "7-H13" ELEVATION: 4964.364 (NAVD 1988)

ENGINEER: ASA NILSSON-WEBER
ISAACSON & ARFMAN, P.A.
128 MONROE ST NE, ABO, NM 87108
PHONE: (505) 268-8828

SURVEYOR: BRIAN MARTINEZ
CARTESIAN SURVEYS, INC.
PO BOX 44414
RIO RANCHO, NM 87174
PHONE: (505) 896-3050.

FLOOD ZONE: BASED UPON SCALING, THIS PROPERTY LIES WITHIN FLOOD ZONE X WHICH IS DEFINED AS AREAS OF 0.2% ANNUAL CHANCE; AREA OF 1% ANNUAL CHANCE FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE; AND AREAS PROTECTED BY LEVEES FROM 1% ANNUAL CHANCE FLOOD. AS DETERMINED BY F.E.M.A. AND SHOWN ON FLOOD INSURANCE RATE MAP DATE AUGUST 16, 2012, MAP NO. 35001C0331H.

LEGEND

- 4966 — EXISTING CONTOUR
- ◆ 78.3 PROPOSED ELEVATION
- PG=4968.5 PAD GRADE ELEVATION
- PROPOSED RETAINING WALL (DESIGN BY OTHERS)
- . - . - . PROPOSED GARDEN RETAINING WALL
- FLOW ARROW



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CAMPBELL COMPOUND
LAS VENTANAS NM, INC.

GRADING & DRAINAGE PLAN

Date: Sept 2017	No. Revision: 1	Date: Sept 2017	Job No. 2224
Drawn By: ANW			G-13
Ckd By:			SH.1 OF 2

SH.2 OF 2