

# CITY OF ALBUQUERQUE

Planning Department  
David Campbell, Director



Mayor Timothy M. Keller

March 18, 2019

Åsa Nilsson-Weber, P.E.  
Isaacson & Arfman, P.A.  
128 Monroe St. N.E  
Albuquerque, NM 87108

RE: **Campbell Compound**  
**Request for Pad Certification (Lots 5 and 6): - Accepted**  
**Drainage Report Stamp Date: 10/10/17**  
**Grading Plan Stamp Date: 3/6/18 (G13D032)**  
**Certification Dated: 3/12/19**

Dear Ms. Nilsson-Weber:

PO Box 1293  
Based on the submittal received on 3/12/19, the certification is accepted for Building Permit for Lots 5 and 6.

Albuquerque  
Prior to Hydrology approval for Release of Financial Guarantee (For Information):

1. The Drainage Covenants must be recorded with Bernalillo County and a copy included with the drainage certification.

NM 87103  
If you have any questions, please contact me at 924-3695 or [dpeterson@cabq.gov](mailto:dpeterson@cabq.gov).

[www.cabq.gov](http://www.cabq.gov)

Sincerely,

Dana Peterson, P.E.  
Senior Engineer, Planning Dept.  
Development Review Services



# City of Albuquerque

Planning Department

Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 11/2018)

**Project Title:** Campbell Compound **Building Permit #:** \_\_\_\_\_ **Hydrology File #:** G13D032  
**DRB#:** 1011223 **EPC#:** \_\_\_\_\_ **Work Order#:** 708882  
**Legal Description:** Campbell Compound  
**City Address:** \_\_\_\_\_

**Applicant:** Isaacson & Arfman, PA **Contact:** Asa Nilsson-Weber  
**Address:** 128 Monroe Street NE - Albuquerque, NM 87108  
**Phone#:** (505) 268-8828 **Fax#:** \_\_\_\_\_ **E-mail:** asaw@iacivil.com  
**Owner:** Las Ventanas NM, Inc. **Contact:** Scott Ashcraft  
**Address:** 8330-A Washington Place NE - Albuquerque, NM 87113  
**Phone#:** (505) 362-6824 **Fax#:** \_\_\_\_\_ **E-mail:** \_\_\_\_\_

**TYPE OF SUBMITTAL:** ☒ PLAT ( 2 # OF LOTS) \_\_\_\_\_ RESIDENCE \_\_\_\_\_ DRB SITE \_\_\_\_\_ ADMIN SITE

IS THIS A RESUBMITTAL?: \_\_\_\_\_ Yes ☒ No

**DEPARTMENT:** \_\_\_\_\_ TRAFFIC/ TRANSPORTATION ☒ HYDROLOGY/ DRAINAGE

Check all that Apply:

**TYPE OF SUBMITTAL:**

☒ ENGINEER ARCHITECT CERTIFICATION  
☒ PAD CERTIFICATION  
\_\_\_\_ CONCEPTUAL G & D PLAN  
\_\_\_\_ GRADING PLAN  
\_\_\_\_ DRAINAGE MASTER PLAN  
\_\_\_\_ DRAINAGE REPORT  
\_\_\_\_ FLOODPLAIN DEVELOPMENT PERMIT APPLIC  
\_\_\_\_ ELEVATION CERTIFICATE  
\_\_\_\_ CLOMR/LOMR  
\_\_\_\_ TRAFFIC CIRCULATION LAYOUT (TCL)  
\_\_\_\_ TRAFFIC IMPACT STUDY (TIS)  
\_\_\_\_ OTHER (SPECIFY) \_\_\_\_\_  
\_\_\_\_ PRE-DESIGN MEETING?

**TYPE OF APPROVAL/ACCEPTANCE SOUGHT:**

☒ BUILDING PERMIT APPROVAL **LOTS 5 & 6**  
\_\_\_\_ CERTIFICATE OF OCCUPANCY  
\_\_\_\_ PRELIMINARY PLAT APPROVAL  
\_\_\_\_ SITE PLAN FOR SUB'D APPROVAL  
\_\_\_\_ SITE PLAN FOR BLDG. PERMIT APPROVAL  
\_\_\_\_ FINAL PLAT APPROVAL  
\_\_\_\_ SIA/ RELEASE OF FINANCIAL GUARANTEE  
\_\_\_\_ FOUNDATION PERMIT APPROVAL  
\_\_\_\_ GRADING PERMIT APPROVAL  
\_\_\_\_ SO-19 APPROVAL  
\_\_\_\_ PAVING PERMIT APPROVAL  
\_\_\_\_ GRADING/ PAD CERTIFICATION  
\_\_\_\_ WORK ORDER APPROVAL  
\_\_\_\_ CLOMR/LOMR  
\_\_\_\_ FLOODPLAIN DEVELOPMENT PERMIT  
\_\_\_\_ OTHER (SPECIFY) \_\_\_\_\_

**DATE SUBMITTED:** March 12, 2019 **By:** Asa Nilsson-Weber

COA STAFF:

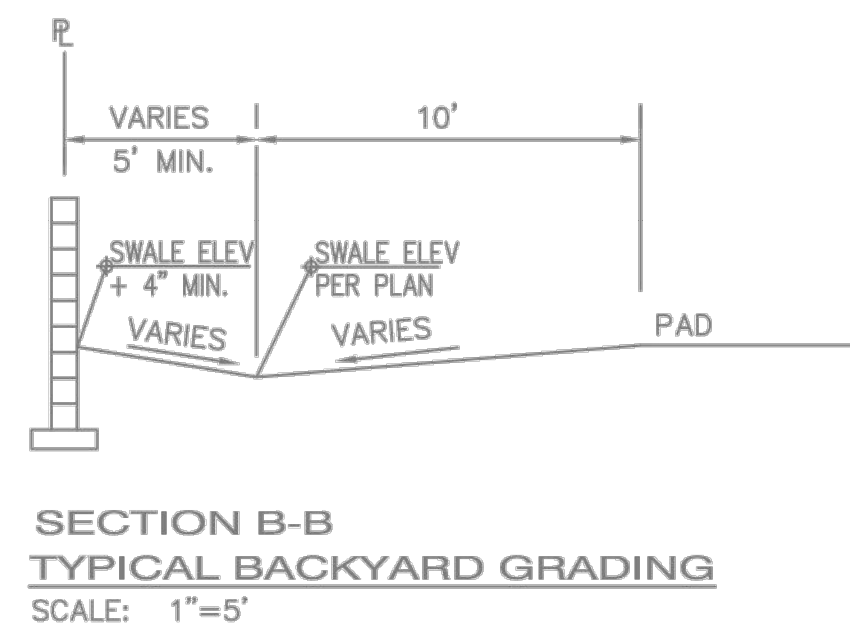
ELECTRONIC SUBMITTAL RECEIVED: \_\_\_\_\_

FEE PAID: \_\_\_\_\_



Date:	No.	Revision:	Date:	Job No.
Sept 1977				2224
Drawn By:				G-13
ANW				
Clk By:				SH 1 OF





I, Asa Nilsson-Weber, NMPE 17631 of the firm Isaacson & Arfman, P.A., hereby certify that Lots 5 and 6 have been graded and will drain in substantial compliance with and in accordance with the design intent of Sheets 1 & 2 of the approved Grading & Drainage Plan dated March 6, 2018. I also certify that retaining walls have been constructed in substantial compliance with said approved Grading & Drainage Plan, except as noted below.

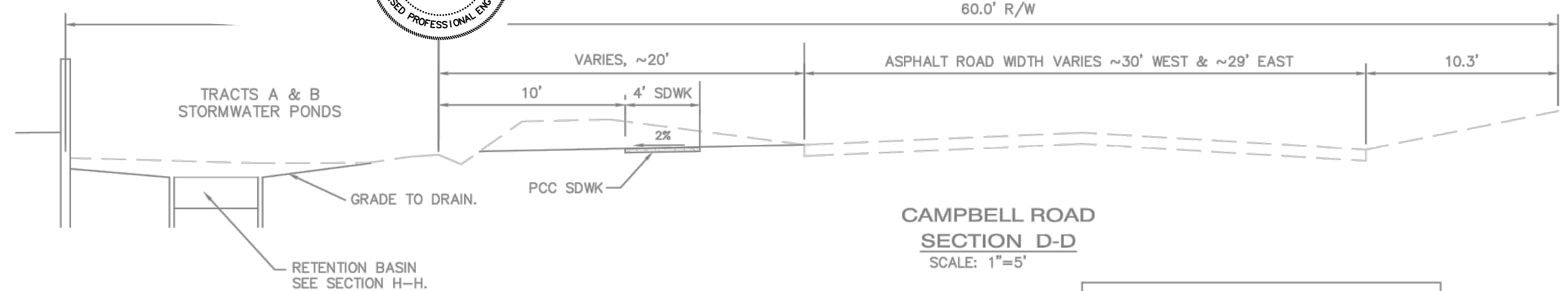
△ A portion of retaining wall along the side lot line of Lot 5 has not yet been constructed. It will be constructed as part of the floodwall construction in the open space tract.

The record information edited onto the original design document has been obtained by Brian Martinez, NMPRS 18374, of the firm Cartesion Surveys, Inc. I further certify that I or someone under my direct supervision visited the project site on February 21, 2019, and have determined by visual inspection that the survey data provided is representative of actual site conditions and is true and correct to the best of my knowledge and belief. A dirt pile located on Lot 5 at the time of the site visit has been removed as verified by a photo received on 3/12/19. This certification is submitted in support of a request for Building Permit.

The record information presented hereon is not necessarily complete and intended only to verify substantial compliance of the grading and drainage aspects of this project. Those relying on this record document are advised to obtain independent verification of its accuracy before using it for any other purpose.

Dea Wilson-Weber 3-12-19

Åsa Nilsson-Weber, NMPE 17631      Date



**NOTE:**  
ALL RETAINING WALLS/FLOODWALLS  
SHALL BE DESIGNED BY OTHERS.  
THE DETAILS/SECTIONS SHOWN ON  
THIS SHEET ONLY DEPICT TOP AND  
BOTTOM AND MAX. HEIGHTS OF  
RETAINING WALLS.

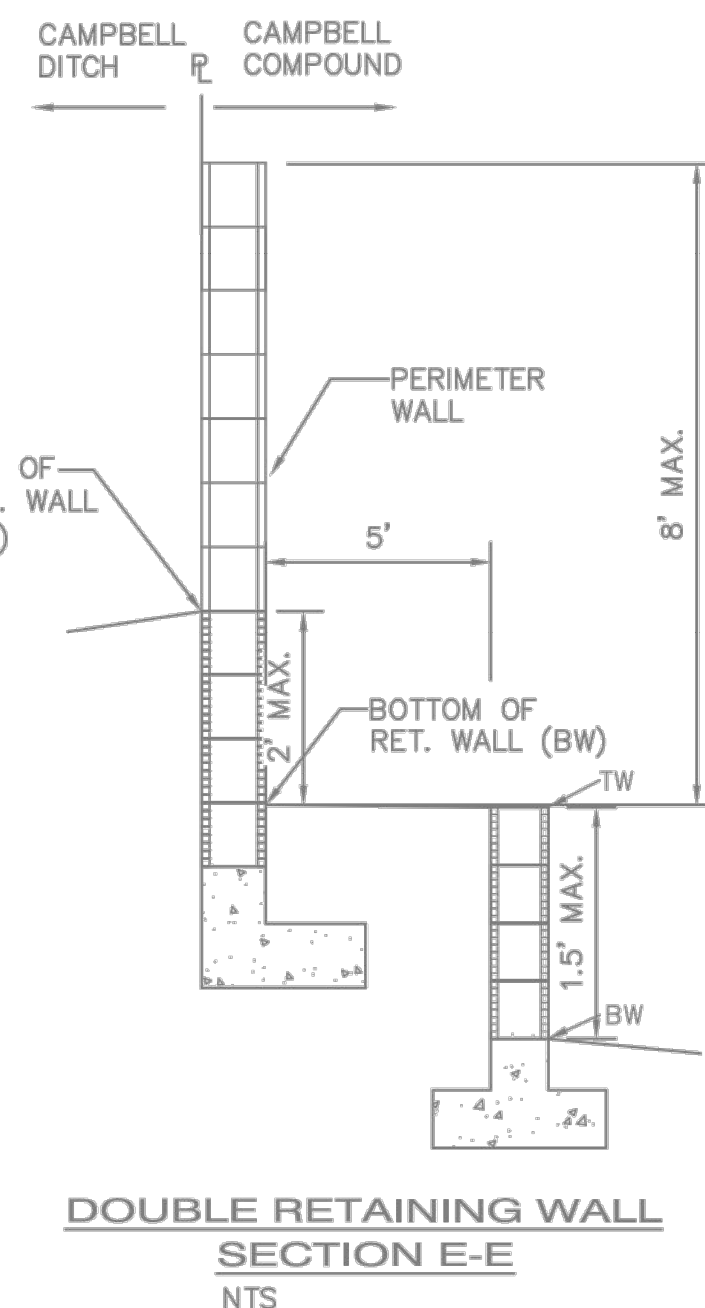
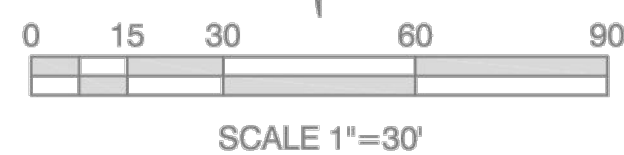


◆ 78.3  
PG=4968.5  
-----  
TW=70.5  
BW=68.3  
→  
FLOW ARROW

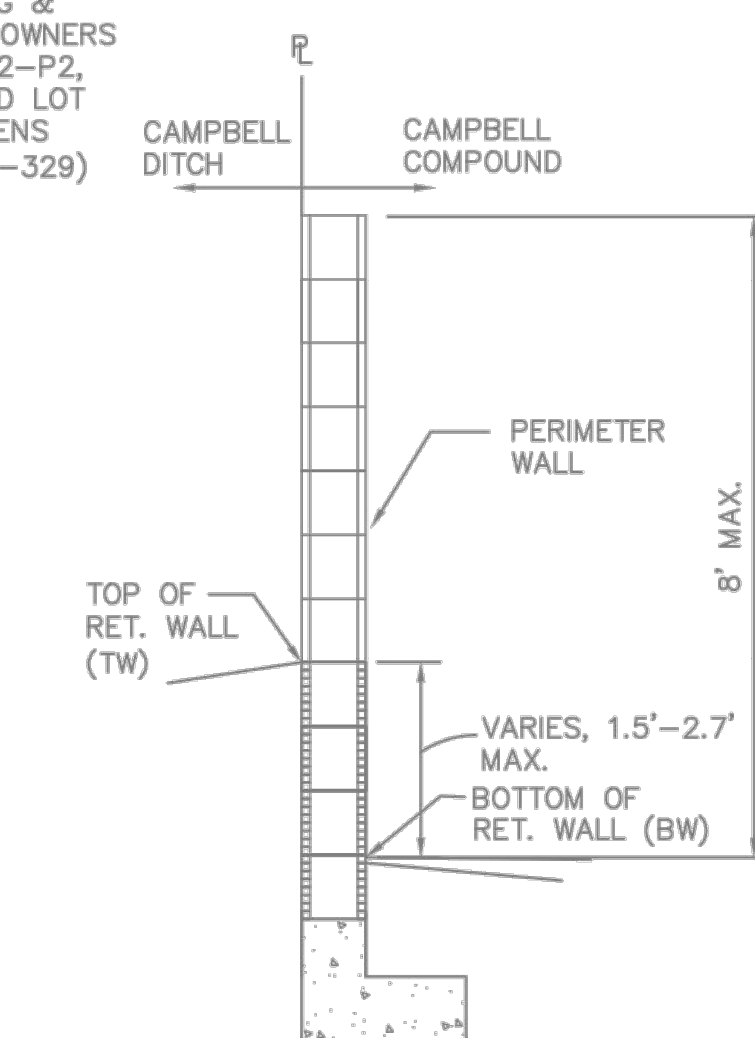
PROPOSED ELEVATION  
PAD GRADE ELEVATION  
PROPOSED RETAINING WALL  
(DESIGN BY OTHERS)  
PROPOSED GARDEN RETAINING WALL  
TOP OF RETAINING (SEE DETAIL THIS SHEET)  
BOTTOM OF RETAINING

RETAINING WALL

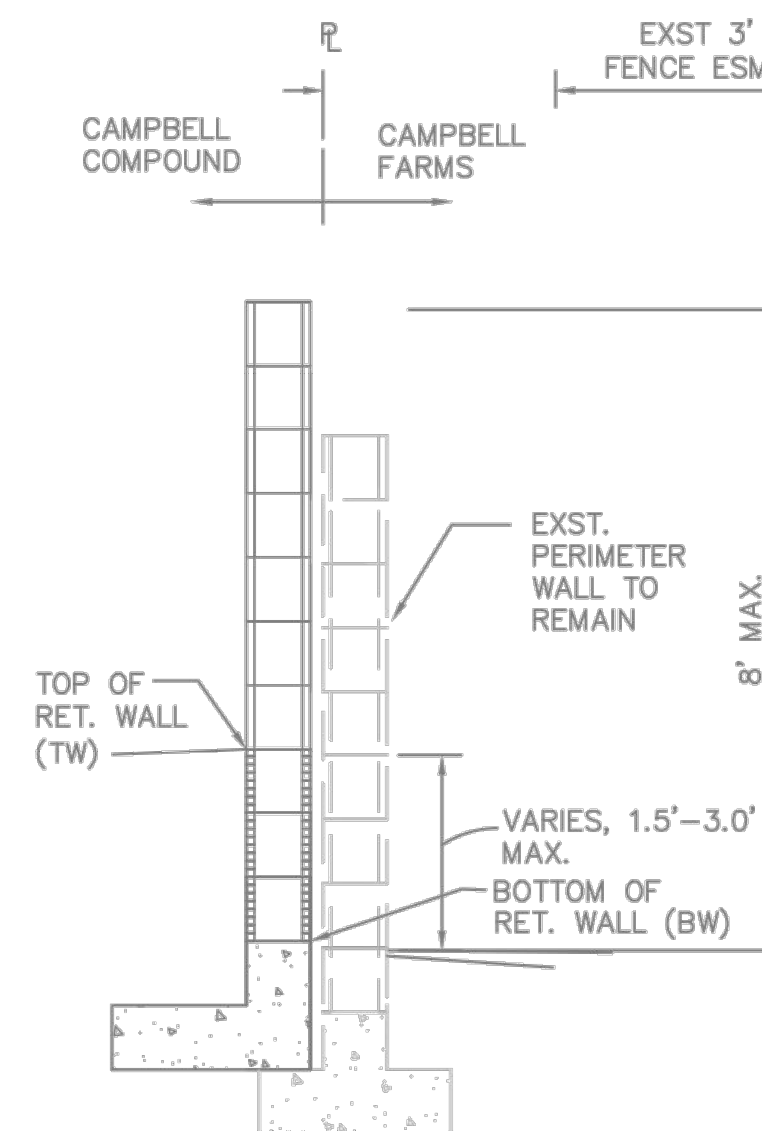
## RETAINING WALL PLAN



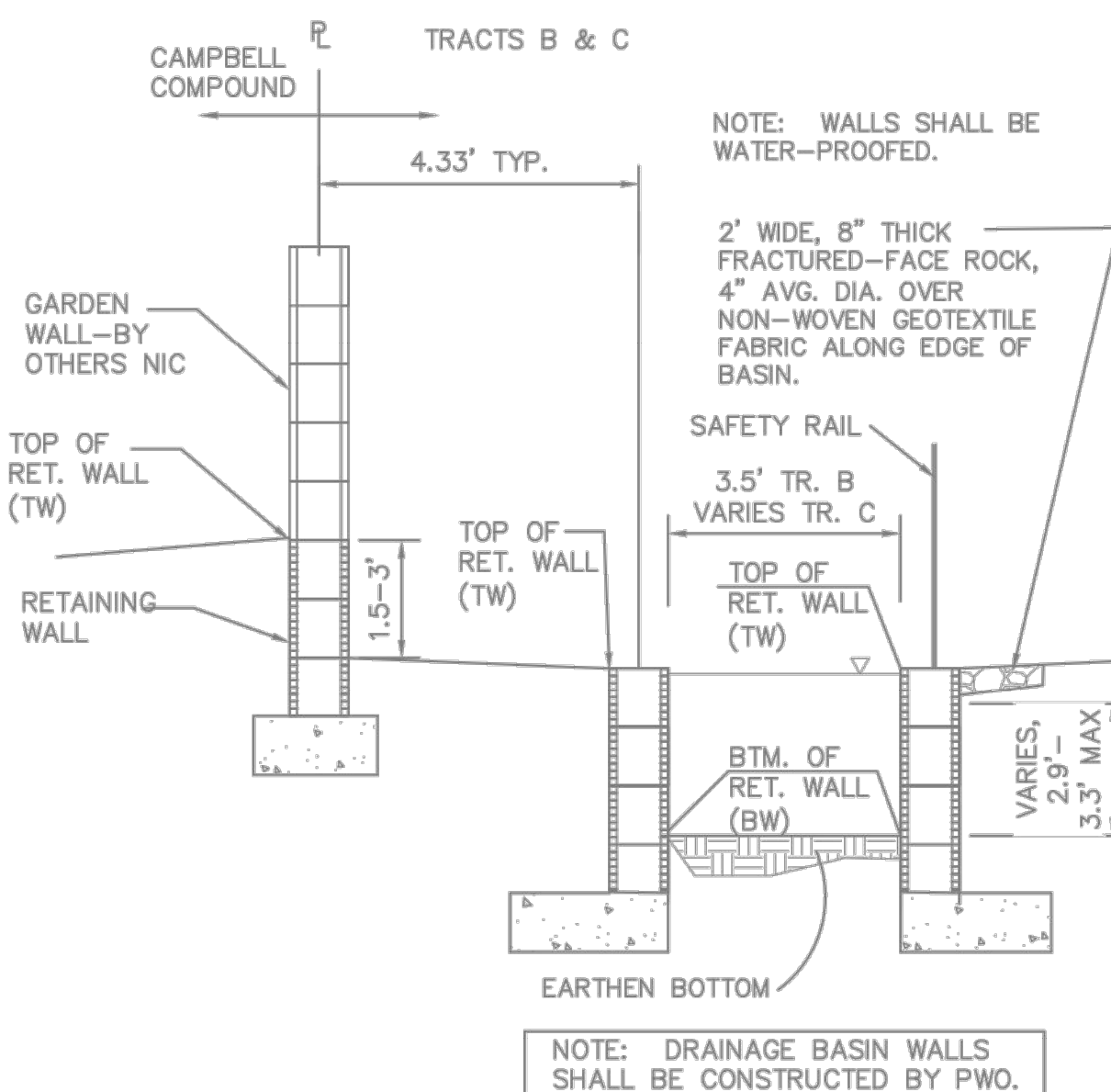
DOUBLE RETAINING WALL  
SECTION E-E  
NTS



SINGLE RETAINING WALL  
SECTION F-F  
NTS



SINGLE RETAINING WALL  
SECTION G-G  
NTS



RETAINING WALL/  
RETENTION BASIN  
SECTION H-H  
NTS

- K. THE CONTRACTOR SHALL MAINTAIN ALL BARRICADING AND CONSTRUCTION SIGNING AT ALL TIMES. THE CONTRACTOR SHALL VERIFY THE PROPER LOCATION OF ALL BARRICADING AT THE END AND BEGINNING OF EACH DAY.
- L. EXISTING UTILITY LINES ARE SHOWN IN AN APPROXIMATE MANNER ONLY AND MAY BE INCOMPLETE OR OBSOLETE. SUCH LINES MAY OR MAY NOT EXIST WHERE SHOWN OR NOT SHOWN. CONTRACTOR SHALL CONTACT NM-811 FOR UTILITY LINE SPOTS FIVE WORKING DAYS PRIOR TO CONDUCTING SITE FIELD WORK. CONTRACTOR SHALL FIELD VERIFY AND LOCATE ALL UTILITIES PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION. CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY AND PRESERVE ANY AND ALL EXISTING UTILITIES, PIPELINES, AND UNDERGROUND UTILITY LINES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF NECESSARY DRY UTILITY ADJUSTMENTS.
- M. ALL TRASH, DEBRIS, & SURFACE VEGETATION SHALL BE CLEARED AND LEGALLY DISPOSED OF OFFSITE.
- N. VIBRATORY COMPACTION SHALL NOT BE USED OVER IN-PLACE UTILITIES.
- O. SOIL TESTING AND INSPECTION SERVICES DURING SITE OPERATIONS ARE REQUIRED. CONTRACTOR SHALL ALLOW TESTING, LEAF INSPECTION AND APPROVE COMPACTED SUBGRADES, BACKFILL, AND FILL LAYERS BEFORE FURTHER CONSTRUCTION WORK IS DONE. SHOULD COMPACTION TESTS INDICATE INADEQUATE DENSITY, CONTRACTOR SHALL PROVIDE ADDITIONAL COMPACTION AND TESTING AT THE CONTRACTOR'S SOLE EXPENSE.
- P. CONTRACTOR SHALL LOCATE AND PRESERVE ALL BOUNDARY CORNERS AND REPLACE ANY LOST OR DISTURBED CORNERS AT CONTRACTOR'S SOLE EXPENSE. PROPERTY CORNERS SHALL ONLY BE RESET BY A REGISTERED LAND SURVEYOR.
- Q. CONTRACTOR SHALL PROVIDE CONSTRUCTION STAKING TO FACILITATE ACCURACY IN CONSTRUCTION STAKING, UPON WRITTEN REQUEST FROM THE CONTRACTOR, A FILE CONTAINING THE ELECTRONIC DATA COMPRISING THE SITE CIVIL DRAWINGS WILL BE FORWARDED TO THE LICENSED LAND SURVEYOR TO PERFORM CONSTRUCTION STAKING. ALL SITE CONSTRUCTION LAYOUT MUST BE PERFORMED BY A LICENSED SURVEYOR USING ELECTRONIC DATA PROVIDED IN AUTOCAD DWG (CURRENT VERSION) BY ISAACSON & ARMAN, P.A. CONTACT PROJECT CIVIL ENGINEER, ASA NILSSON-WEBER, PE AT (505)-266-1688.
- R. ADDY ANY MRS OF EXISTING UTILITY FEATURES AS NECESSARY TO MATCH NEW GRADES. UTILITIES IN PAVED AREAS SHALL BE HS-25 TRAFFIC RATED.
- S. CONTRACTOR SHALL COMPLY WITH LOCAL REGULATIONS FOR RESEEDING OF DISTURBED AREAS.

 ISAACSON & ARFMAN, P.A.  
Consulting Engineering Associates  
128 Monroe Street N.E.  
Albuquerque, New Mexico 87108  
Ph. 505-268-8828 [www.isaacil.com](http://www.isaacil.com)

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CAMPBELL  
COMPOUND

## DETAILS & RETAINING WALL PLAN

Date:	No.	Revision:	Date:	Job No.
Sept 2017				2224
Drawn By:				G-13
ANW				
Ckd By:				
				SH.2 of 2