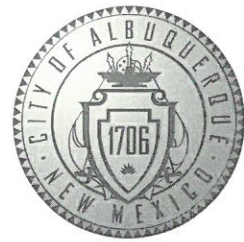


CITY OF ALBUQUERQUE



October 11, 2017

Åsa Nilsson-Weber, P.E.
Isaacson & Arfman, P.A.
128 Monroe St. N.E
Albuquerque, NM 87108

RE: **Campbell Compound**
Drainage Report and Grading Plan
Engineer's Stamp Date 10/10/17
Hydrology File: G13D032

Dear Ms. Nilsson-Weber:

Based on the information provided in the submittal received on 10/10/17 the above-referenced submittal is approved for Preliminary Plat. This project cannot be approved for Grading Permit, or any other action until the following are addressed:

PO Box 1293

Prior to Grading Permit:

Albuquerque

1. Provide the original plat creating the 3-foot fence easement between this project and Campbell Farms.
2. Written permission from Campbell Farms HOA will need to be obtained, authorizing any modifications to the common wall. If portions of the wall are owned/maintained by Campbell Farms Lot 11, written permission from that homeowner will be needed as well.
3. Provide structural details for the floodwall, stamped by a P.E.
4. This project will require an ESC plan prior to grading permit approval.

NM 87103

www.cabq.gov

Prior to DRC Sign-off:

5. A Drainage Covenant is required for the commons area pond and an Agreement and Covenant is required for the Tract B and C Ponds. The original notarized forms, pond exhibits, and recording fees (\$25/ea., payable to City of Albuquerque) must be turned into DRC (4th, Plaza del Sol) for routing. Please contact Charlotte LaBadie (clabadie@cabq.gov, 924-3996) or Madeline Carruthers (mtafoya@cabq.gov, 924-3997) regarding the routing and recording process for covenants.

Prior to Hydrology approval for Release of Financial Guarantee:

Orig: Drainage file

Albuquerque - Making History 1706-2006

CITY OF ALBUQUERQUE



6. The Drainage Covenants must be recorded with Bernalillo County and a copy included with the drainage certification.

If you have any questions, please contact me at 924-3695 or dpeterson@cabq.gov.

Sincerely,

A handwritten signature in dark ink, appearing to read 'D. Peterson', is written over a faint, large watermark of the state of New Mexico.

Dana Peterson, P.E.
Senior Engineer, Planning Dept.
Development Review Services

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

OCTOBER 10, 2017

DRAINAGE REPORT

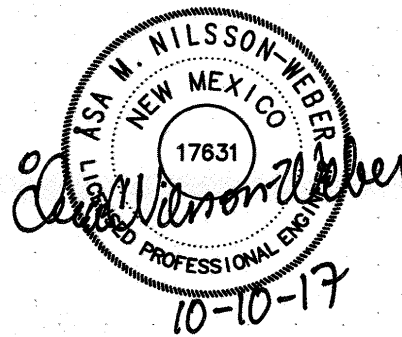
FOR

CAMPBELL COMPOUND

A 7-DWELLING UNIT
SINGLE-DETACHED RESIDENTIAL
PRIVATE COMMONS DEVELOPMENT

ALBUQUERQUE, NEW MEXICO

BY



ISAACSON & ARFMAN, P.A.

Consulting Engineering Associates

Thomas O. Isaacson, PE & LS
Fred C. Arfman, PE
Åsa Nilsson-Weber, PE

I&A Project No. 2224

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MAP SCALE 1" = 500'

NATIONAL FLOOD INSURANCE PROGRAM

PANEL 0331H

FIRM
FLOOD INSURANCE RATE MAP
BERNALILLO COUNTY,
NEW MEXICO
AND INCORPORATED AREAS

PANEL 331 OF 825

(SEE MAP INDEX FOR FIRM PANEL LAYOUT)

CONTAINS:

COMMUNITY	NUMBER	PANEL	SUFFIX
ALBUQUERQUE, CITY OF	350002	0331	H
BERNALILLO COUNTY UNINCORPORATED AREAS	350001	0331	H

Notice to User: The Map Number shown below should be used when placing map orders; the Community Number shown above should be used on insurance applications for the subject community.



MAP NUMBER
35001C0331H

MAP REVISED
AUGUST 16, 2012

Federal Emergency Management Agency

This is an official copy of a portion of the above referenced flood map. It was extracted using F-MIT On-Line. This map does not reflect changes or amendments which may have been made subsequent to the date on the title block. For the latest product information about National Flood Insurance Program flood maps check the FEMA Flood Map Store at www.msc.fema.gov

FIRM MAP

I. PROJECT INFORMATION

PROPOSED LEGAL DESCRIPTION:

Campbell Compound

EXISTING LEGAL DESCRIPTION:

A portion of Lots 18 & 19, Alvarado Gardens, Unit 3

ENGINEER: Isaacson & Arfman, P.A.

128 Monroe Street NE
Albuquerque, NM 87108
(505) 268-8828
Attn: Åsa Nilsson-Weber

SURVEYOR: Cartesian Surveys, Inc.

(505) 896-3050
Attn: Will Plotner, Jr., NMPLS No. 14271

DEVELOPER: Las Ventanas, NM, Inc.

Attn: Scott Ashcraft

NUMBER OF PROPOSED DWELLING UNITS: 7

TOTAL AREA: 2.0808 Ac.

FLOOD PLAIN: This property lies within flood Zone X which is defined as areas of 0.2% annual chance; area of 1% annual chance flood with average depths of less than 1 foot or with drainage areas less than 1 square mile; and areas protected by levees from 1% annual change flood. As determined by FEMA and shown on Flood Insurance Rate Map dated August 16, 2012, Map No. 35001C0331H.

II. INTRODUCTION

This site is a private residential lot located east of Rio Grande Blvd and south of Campbell Rd. and is bound on the west by the Campbell Ditch and on the east by Campbell Farm, a private, gated residential development. The site will be re-developed as a private commons development with seven detached residential homes with the south one-third of the site remaining undeveloped and dedicated as an open space area. There are also two open space tracts along Campbell Rd.

III. EXISTING CONDITIONS

The upper two thirds of the site is developed with a private residence and a couple of outbuildings. The lower one third of the site is undeveloped and encumbered by large trees and native vegetation. The site is flat and drainage ponds on the property.

Campbell Rd. slopes to the east at approximately 0.2-0.4 percent and drainage is carried to the east in a swale within the shoulder. The road has no curb and gutter or sidewalks east of Campbell Ct., which is located west of the Campbell Ditch. There are shoulders on both sides of the street that are used by pedestrians and bicyclists.

There is a walking path on top of the berm between the site and the Campbell Ditch that is elevated approximately six feet above the site. A pipe is located under the existing drive to the residence that provides irrigation water to a ditch along the frontage of the property and the site. The ditch is blocked by the entrance to Campbell Farm, so no irrigation water enters this subdivision.

IV. PROPOSED CONDITIONS

The site will be developed as a gated residential private commons development. The upper two thirds of the site will be developed with seven detached residential homes and the lower one third, Tract A, will remain undeveloped and be designated as open space (private commons area). Kayla Ln. will slope to the south and direct the flows to the south open space tract which will serve as a retention pond.. There will be onsite 4-foot concrete sidewalks along Kayla Ln. extending to the driveways at lots 4 and 5, and a connection to the Campbell Rd. sidewalk via a pedestrian gate on the west side of the Kayla Ln. entrance.

Campbell Rd. will remain as a rural-type road with no curb and gutter and a concrete sidewalk to preserve and complement the surrounding neighborhood aesthetics. The existing culvert from the Campbell Ditch will be capped, and the existing water meter shall be used to irrigate the trees in the front landscape areas (Tracts B & C).

The grading & drainage plan is included in the back pocket of this report.

LAND TREATMENTS & BASIN AREAS

Land treatment percent D was calculated for the developed area based on the building pad areas and roadway areas, and the remaining area was split between land treatments B and C. See Appendix A for land treatment calculations and basin area table and Appendix C for a drainage basin exhibit.

HYDROLOGY

Appendix B includes the 100-year, 6-hour flows calculations using the equations from the Drainage Design Criteria for City of Albuquerque Section 22.2, DPM, Vol 2, dated Jan., 1993. The Drainage Basin Exhibit in Appendix C shows the flow rates for each basin.

Flows from Basins B & C (6.3 cfs) will be ponded in the south open space tract, Tract A, and Basin A will discharge 0.4 cfs to Tracts B & C adjacent to Campbell Rd.

STREET CAPACITY

Kayla Ln. will be a private, paved 24-foot wide road and will have an inverted crown with an alley gutter and mountable estate curb defining the edges. The entrance will be gated and the paving width will accommodate a turnaround for vehicles. Appendix D shows the street flow depth at the south end of the street at the hammerhead where the flows enter the open space in Tract A. Erosion protection shall be installed at the south end of the hammerhead as shown on plan.

PONDING IN TRACT A--PRIVATE COMMONS AREA

The private commons area has an existing ponding capacity of 15,980 cf at an elevation of 4966.2, which exceeds the required 10-day storm volume of 13,915 cf (Appendix B). The private commons area ponding capacity was calculated using AutoCAD Civil 3D by creating a composite comparison surface with the existing ground surface and a top-of-pond surface at elevation 4966.2. A new water proof flood wall shall be constructed along the existing wall at the east edge of the private commons area to provide a water-proof barrier and prevent water from entering the adjacent Campbell Farms development. The top of the floodwall shall be at an elevation of 4967.3, which is one foot higher than the finish floor of the adjacent residence in Campbell Farms.

PONDING IN TRACTS B & C

Basin A (0.4 cfs) and Basin D (0.9 cfs), the south half of Campbell Road, shall be directed to retention basins in Tracts B & C. Campbell Rd shall be regraded to eliminate the existing swale along the edge of asphalt and drain toward the south--this basin extends from the Campbell ditch (east of Campbell Ct.) where there is a highpoint in the road.

Two retention basins shall be constructed adjacent to the walls at Lots 1 & 7 as shown on section H-H on sheet 2 of the grading plan. The required 10-day volume for storage in Tract B pond is 880 cf and ponding provided is 882 cf; required volume for Tract C is 1,640 cf and ponding provided is 1,646 cf. See Appendix B for volume calculations.

FIRST FLUSH REQUIREMENTS

The first flush requirement will be met by directing flows to the pond areas in Tracts A-C.

V. SUMMARY & CONCLUSIONS

The site will be developed with seven detached residential homes and a private road. Tract A will be designated as a private commons area and will remain undeveloped and utilized as a private ponding area for flows from the subdivision. Flows from Basin A and from Campbell Rd. shall pond in Tracts B & C.

Based on this report, it is recommended that the following improvements be constructed:

- Paved street with inverted crown, alley gutter and mountable estate curb
- Four-foot wide sidewalks along Kayla Ln. and along the south side of Campbell Road.
- Retaining walls as shown on plans
- Flood wall adjacent to the existing wall on the east side of Tract A.
- Retention ponding basins in Tracts B & C.
- Erosion protection at south end of Kayla Ln. where water enters Tract A
- A drainage covenant shall be recorded for the ponding area in Tract A (private drainage easement) and an agreement and covenant shall be recorded for the ponds in Tracts B & C (public drainage easement).

APPENDIX A

Basin Area and Land Treatment Table

CAMPBELL COMPOUND

BASIN AREA AND LAND TREATMENT TABLE-- PROPOSED CONDITIONS

<i>BASIN</i>	<i>AREA</i>		<i>LAND TREATMENT (%)</i>				Q100, cfs
	<i>SF</i>	<i>AC.</i>	<i>A</i>	<i>B</i>	<i>C</i>	<i>D</i>	
A	5244	0.1204	0	50	30	20	0.4
B	56073	1.2873	0	19	19	62	5.1
C	29321	0.6731	90	0	10	0	1.2
TOTAL CAMPBELL	90638	2.0808					6.7
D	9504	0.2182	0	19	19	62	0.9

IMPERVIOUS AREA CALCULATION BASINS B

7 BUILDING FOOTPRINTS (45X73)=	22995	SF
7 DRIVEWAYS @ 15X20 =	2100	SF
ROADWAY =	<u>9836</u>	SF
	34931	SF

%D = 34931/(50515)= 62%

APPENDIX B

Drainage Calculations

2224 DPM Calculations - 100 yr 6 hr UPDATED 081312.xlsm

BASIN NO.	A		DESCRIPTION	Drains to ponds along Campbell Rd
Area of basin flows =	5244	SF	=	0.1 Ac.
The following calculations are based on Treatment areas as shown in table to the right				LAND TREATMENT
	Sub-basin Weighted Excess Precipitation (see formula above)			A = 0%
	Weighted E	=	1.15 in.	B = 50%
	Sub-basin Volume of Runoff (see formula above)			C = 30%
	V ₃₆₀	=	504 CF	D = 20%
	Sub-basin Peak Discharge Rate: (see formula above)			
	Q _p	=	0.4 cfs	
BASIN NO.	B		DESCRIPTION	Drains to pond in open space
Area of basin flows =	56073	SF	=	1.3 Ac.
The following calculations are based on Treatment areas as shown in table to the right				LAND TREATMENT
	Sub-basin Weighted Excess Precipitation (see formula above)			A = 0%
	Weighted E	=	1.68 in.	B = 19%
	Sub-basin Volume of Runoff (see formula above)			C = 19%
	V ₃₆₀	=	7838 CF	D = 62%
	Sub-basin Peak Discharge Rate: (see formula above)			
	Q _p	=	5.1 cfs	
BASIN NO.	C		DESCRIPTION	Open Space Area
Area of basin flows =	29321	SF	=	0.7 Ac.
The following calculations are based on Treatment areas as shown in table to the right				LAND TREATMENT
	Sub-basin Weighted Excess Precipitation (see formula above)			A = 90%
	Weighted E	=	0.59 in.	B = 0%
	Sub-basin Volume of Runoff (see formula above)			C = 10%
	V ₃₆₀	=	1442 CF	D = 0%
	Sub-basin Peak Discharge Rate: (see formula above)			
	Q _p	=	1.2 cfs	
BASIN NO.	D		DESCRIPTION	Campbell Rd
Area of basin flows =	9504	SF	=	0.2 Ac.
The following calculations are based on Treatment areas as shown in table to the right				LAND TREATMENT
	Sub-basin Weighted Excess Precipitation (see formula above)			A = 0%
	Weighted E	=	1.68 in.	B = 19%
	Sub-basin Volume of Runoff (see formula above)			C = 19%
	V ₃₆₀	=	1328 CF	D = 62%
	Sub-basin Peak Discharge Rate: (see formula above)			
	Q _p	=	0.9 cfs	
Based on Drainage Design Criteria for City of Albuquerque Section 22.2, DPM, Vol 2, dated Jan., 1993				

POND IN OPEN SPACE AREA (TRACT A)

Note: For ponds which hold water for longer than 6 hours, longer duration storms are required to establish runoff volumes. Since the additional precipitation is assumed to occur over a long period, the additional volume is based on the runoff from the impervious areas only.

V ₃₆₀	9279
Area Treatment D (SF)	34765
Zone	2

For 10 Day Storms:

$$V_{10\text{day}} = V_{360} + A_D * (P_{10\text{day}} - P_{360}) * 43560 \text{ SF/AC}$$

V ₃₆₀	=	9279
A _D (SF)	=	34765
Zone	=	2
P _{10day}	=	3.95
P ₃₆₀	=	2.35

V ₃₆₀	=	9279
+ imp. area	=	4635

Total Pond Volume (V _{10 day})	=	13915
--	---	-------

P ₃₆₀	
Zone	D
1	2.20
2	2.35
3	2.60
4	2.90

P _{10day}	
Zone	D
1	3.67
2	3.95
3	4.90
4	5.95

from Table A-2
Depth (inches) at
100-yr Storm

PONDING ADJACENT TO CAMPBELL IN TRACTS B & C

Note: For ponds which hold water for longer than 6 hours, longer duration storms are required to establish runoff volumes. Since the additional precipitation is assumed to occur over a long period, the additional volume is based on the runoff from the impervious areas only.

V ₃₆₀	1832
Area Treatment D (SF)	5177
Zone	2

For 10 Day Storms:

$$V_{10\text{day}} = V_{360} + A_D * (P_{10\text{day}} - P_{360}) * 43560 \text{ SF/AC}$$

V ₃₆₀	=	1832
A _D (SF)	=	5177
Zone	=	2
P _{10day}	=	3.95
P ₃₆₀	=	2.35

V ₃₆₀	=	1832
+ imp. area	=	690

Total Pond Volume (V _{10 day})	=	2523
--	---	------

CF

P ₃₆₀	
Zone	D
1	2.20
2	2.35
3	2.60
4	2.90

P _{10day}	
Zone	D
1	3.67
2	3.95
3	4.90
4	5.95

from Table A-2
Depth (inches) at 100-yr Storm

35% Tract B pond (880 cf); 65% Tract C pond (1,640 cf)

TRACTS B & C PONDING CALCULATIONS

TRACT B:

BTM OF BASIN=63.4; TOP OF BASIN=66.2

90 LF X 2.8' DEEP X 3.5' WIDE=882 CF

TRACT C:

BTM OF BASIN=63.0; TOP OF BASIN=65.8

98 LF X 2.8' DEEP X 6' WIDE=1,646 CF

APPENDIX C

Drainage Basin Exhibit

APPENDIX D

Street Flow Capacity Calculations

Channel Report

Hydraflow Express Extension for Autodesk® AutoCAD® Civil 3D® by Autodesk, Inc.

Tuesday, Sep 26 2017

KAYLA LANE

User-defined

Invert Elev (ft) = 100.00
Slope (%) = 0.50
N-Value = 0.013

Calculations

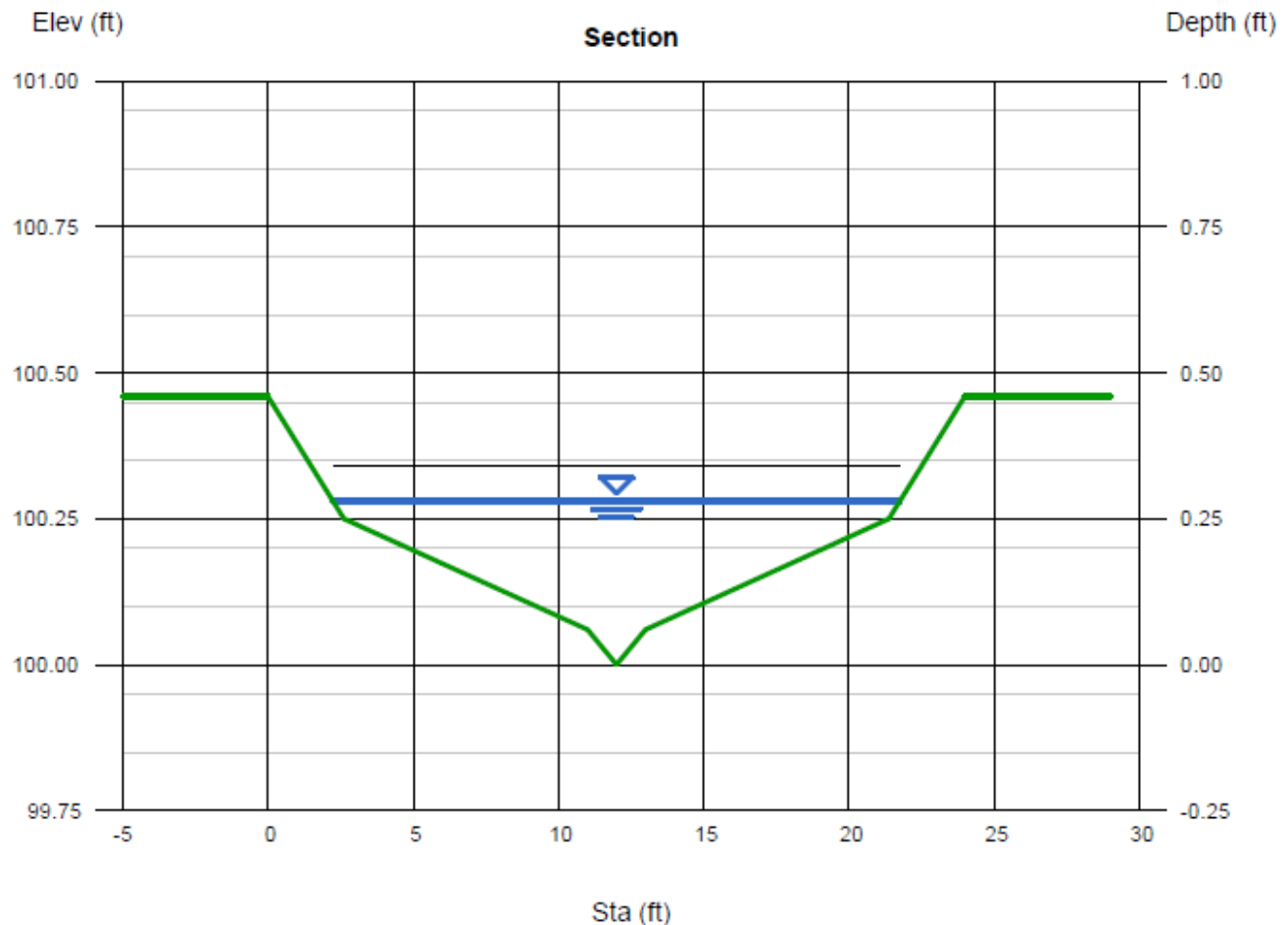
Compute by: Known Q
Known Q (cfs) = 5.10

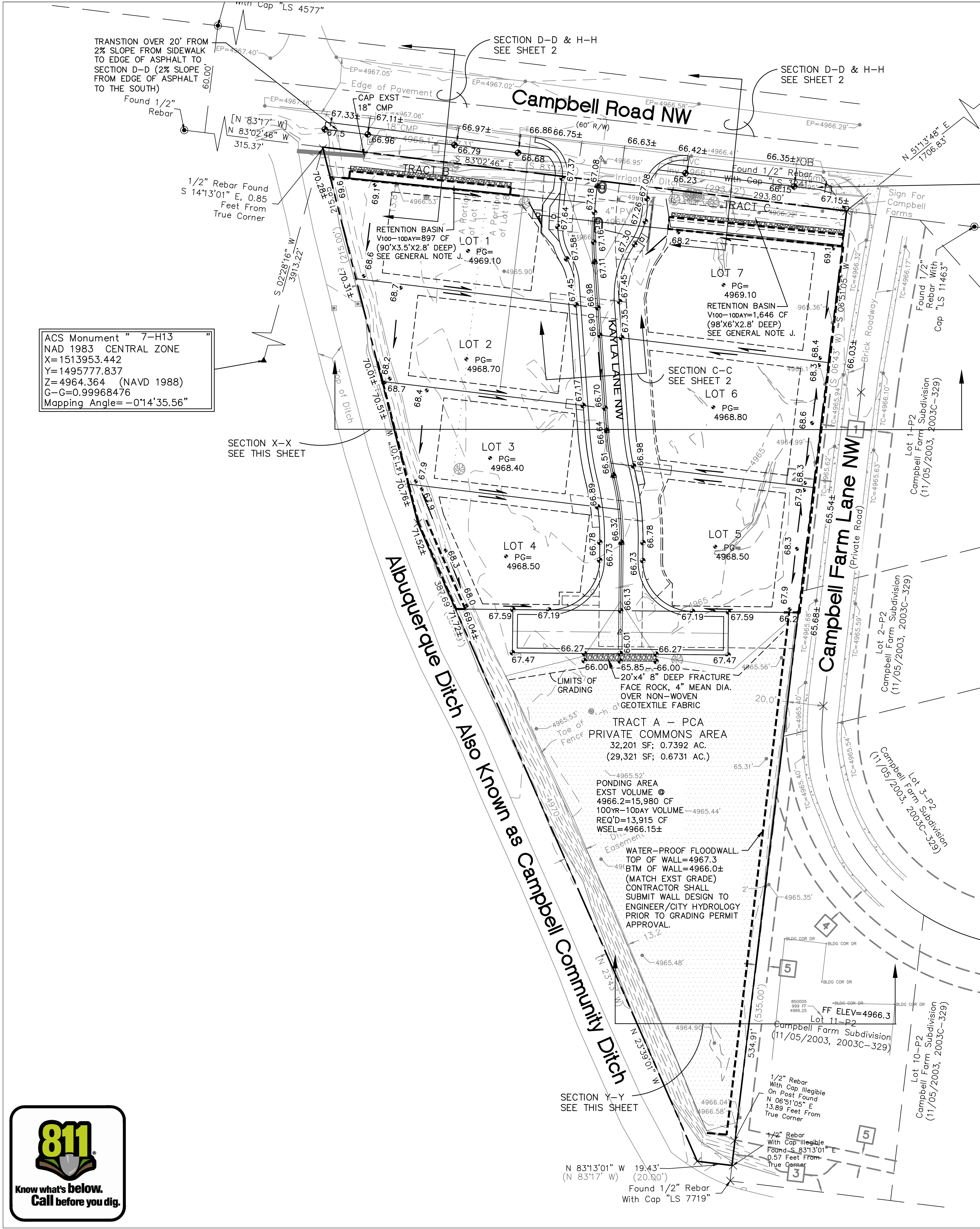
Highlighted

Depth (ft) = 0.28
Q (cfs) = 5.100
Area (sqft) = 2.61
Velocity (ft/s) = 1.96
Wetted Perim (ft) = 19.52
Crit Depth, Yc (ft) = 0.28
Top Width (ft) = 19.51
EGL (ft) = 0.34

(Sta, El, n)-(Sta, El, n)...

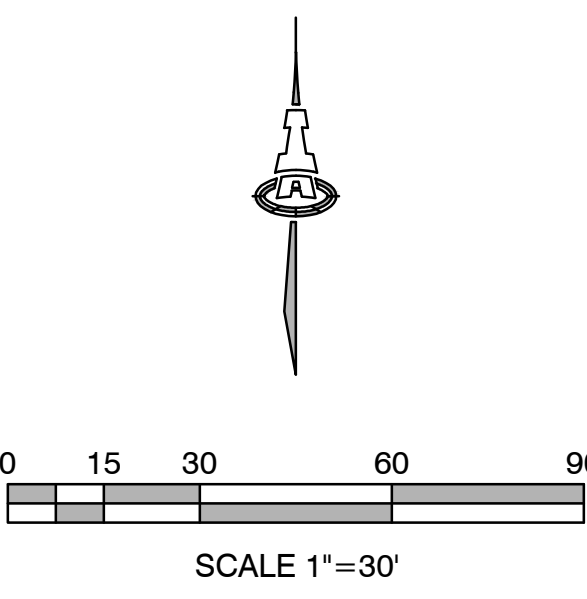
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ACS Monument " 6-G13AR
NAD 1983 CENTRAL ZONE
X=1515743.949
Y=1500719.134
Z=N/A (NAVD 1988)
G-G=0.999684045
Mapping Angle=-0°14'23.60"

DRAINAGE EASEMENT NOTES:
THE FOLLOWING DRAINAGE EASEMENTS SHALL BE GRANTED/RECORDED:
• A PRIVATE DRAINAGE EASEMENT OVER KAYLA LN.
• A PRIVATE DRAINAGE EASEMENT AND A DRAINAGE COVENANT OVER TRACT A.
• A PUBLIC DRAINAGE EASEMENT AND AN AGREEMENT & COVENANT OVER TRACTS B & C.

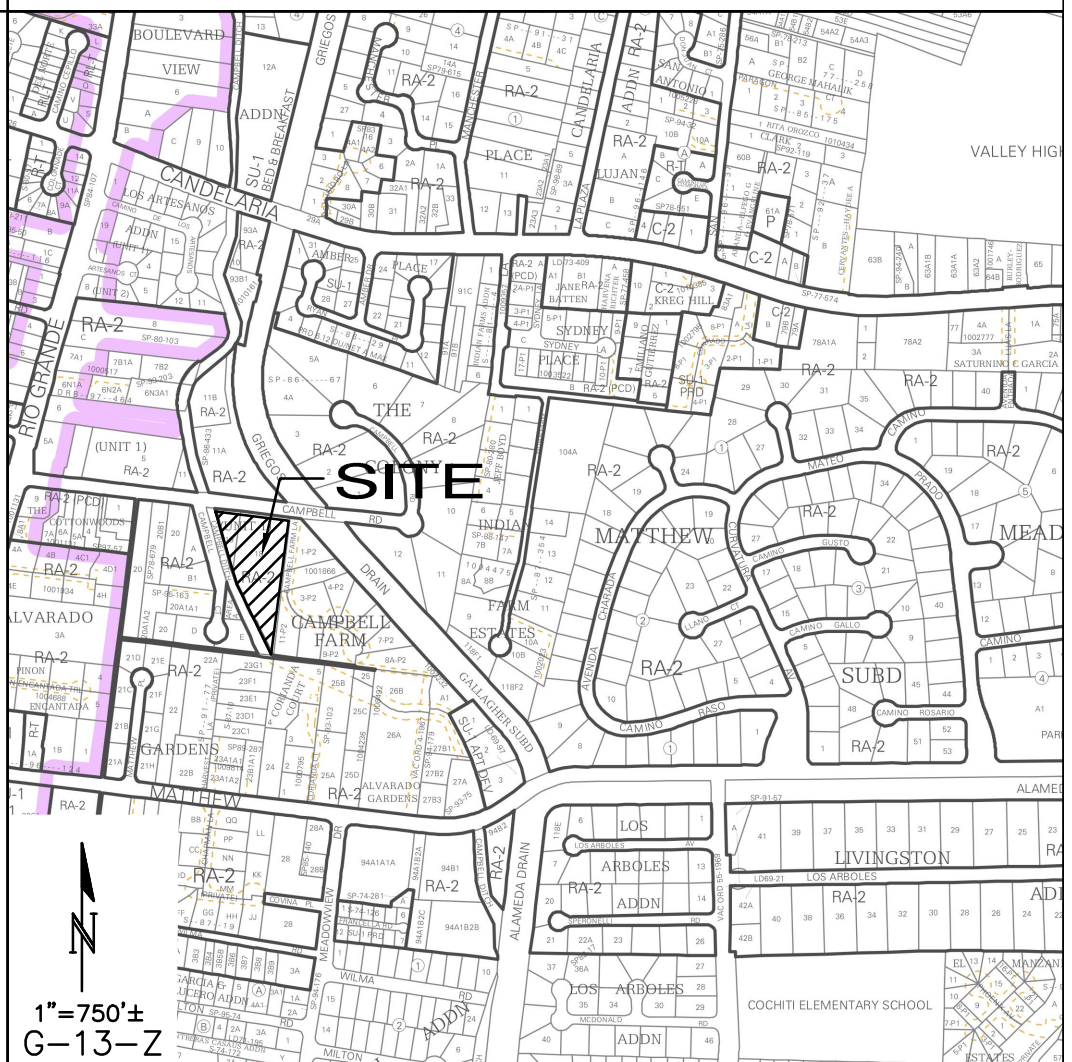


GRADING GENERAL NOTES

- A. GRADING SHALL BE PERFORMED AT THE ELEVATIONS AND IN ACCORDANCE WITH THE DETAILS SHOWN ON THIS PLAN.
- B. PROPOSED SPOT AND CONTOUR ELEVATIONS SHOWN REPRESENT TOP OF FINISH MATERIAL (I.E. TOP OF CONCRETE, TOP OF CONCRETE BUILDING PAD, TOP OF PAVEMENT MATERIAL, TOP OF LANDSCAPING MATERIAL, ETC.). CONTRACTOR SHALL GRADE, COMPACT SUBGRADE AND DETERMINE EARTHWORK ESTIMATES BASED ON ELEVATIONS SHOWN MINUS FINISH MATERIAL THICKNESSES.
- C. IF FIELD GRADE ADJUSTMENTS ARE REQUIRED, THE CONTRACTOR SHALL NOTIFY THE ENGINEER.
- D. THE ENVIRONMENTAL PROTECTION AGENCY (EPA) AND THE CITY OF ALBUQUERQUE REQUIRE A STORM WATER POLLUTION PREVENTION PLAN (SWPPP), AN NPDES PERMIT, AND AN EROSION AND SEDIMENT CONTROL (ESC) PERMIT FOR PROJECTS WHERE CONSTRUCTION ACTIVITIES MEET THE EPA THRESHOLD. A CURRENT CITY-APPROVED ESC PERMIT MUST BE INCLUDED WITH THE CONTRACTOR'S SUBMITTAL FOR A ROUGH GRADING, GRADING, PAVING, BUILDING, OR WORK ORDER PERMIT. CONTRACTOR SHALL COORDINATE WITH OWNER TO DETERMINE WHO WILL PREPARE SWPPP AND INSPECT REQUIRED ELEMENTS.
- E. ALL NEW PAVEMENT SURFACES SHALL BE CONSTRUCTED WITH POSITIVE SLOPE AWAY FROM BUILDINGS AND POSITIVE SLOPE TOWARD EXISTING AND/OR PROPOSED DRAINAGE PATHS. PAVING AND ROADWAY GRADES SHALL BE ±0.1' FROM PLAN ELEVATIONS. BUILDING PAD ELEVATION SHALL BE ±0.1' FROM PLAN ELEVATION.
- F. WHERE GRADES BETWEEN NEW AND EXISTING ARE SHOWN AS 'MATCH' OR '±', TRANSITIONS SHALL BE SMOOTH.
- G. POND DESIGN PARAMETERS AND STORMWATER CONTROL MEASURES SHOWN ON THIS PLAN (TOP OF POND, BOTTOM OF POND, SIZE OF ORIFICE, AREA OF POND, ETC.) TO BE STRICTLY ADHERED TO FOR CERTIFICATION PURPOSES. SEE DETAIL SHEET FOR ADDITIONAL INFORMATION.
- H. POST-CONSTRUCTION MAINTENANCE FOR PRIVATE STORMWATER FACILITIES WILL BE THE RESPONSIBILITY OF THE FACILITIES OWNER. ENGINEER RECOMMENDS THAT OWNER INSPECT SITE YEARLY AND AFTER EACH RAINFALL TO IDENTIFY NEW AREAS OF EROSION AND INSTALL ADDITIONAL EROSION PROTECTION AS NEEDED BASED ON ACTUAL OCCURRENCES.
- I. FOR ENGINEER'S CERTIFICATION OF SUBSTANTIAL COMPLIANCE (FOR CERTIFICATE OF OCCUPANCY) CONTRACTOR SHALL PROVIDE AN AUTOCAD FORMAT AS-BUILT SURVEY PREPARED BY A LICENSED SURVEYOR WHICH INCLUDES:
 - AS-BUILT PAD GRADE
 - SPOT ELEVATIONS AT EACH DESIGN SPOT ELEVATION SHOWN ON THE APPROVED PLAN;
 - ALL CONSTRUCTION SHOWN ON THIS PLAN MUST BE CONSTRUCTED IN SUBSTANTIAL COMPLIANCE WITH THE APPROVED PLAN IN ORDER TO RECEIVE ENGINEER'S CERTIFICATION.
- J. DRAINAGE BASINS IN TRACTS B & C MAY BE FIELD MODIFIED TO AVOID DAMAGE TO TREES AS LONG AS VOLUME PROVIDED IS PER PLAN. COORDINATE MODIFICATIONS WITH ENGINEER.

NOTE:
SEE SHEET 2 FOR DETAILS AND RETAINING WALL PLAN

VICINITY MAP



PROJECT DATA

LEGAL DESCRIPTION: CAMPBELL COMPOUND BEING A RE-PLAT OF PORTION OF LOTS 18 & 19, ALVARADO GARDENS, UNIT 3

SITE AREA: 2.0808 AC.

DISTURBED AREA: 1.30 AC.±

BENCHMARK: ACS MONUMENT "7-H13"
ELEVATION: 4964.364 (NAVD 1988)

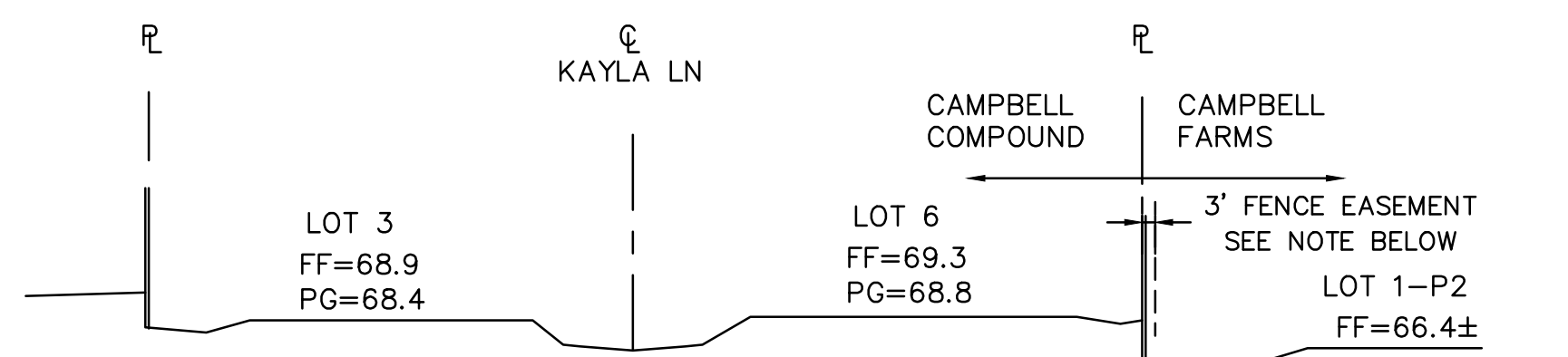
ENGINEER: ASA NILSSON-WEBER
ISAACSON & ARFMAN, P.A.
128 MONROE ST NE, ABO. NM 87108
PHONE: (505) 268-8828

SURVEYOR: BRIAN MARTINEZ
CARTESIAN SURVEYS, INC.
PO BOX 44414
RIO RANCHO, NM 87174
PHONE: (505) 896-3050.

FLOOD_ZONE: BASED UPON SCALING, THIS PROPERTY LIES WITHIN FLOOD_ZONE X WHICH IS DEFINED AS AREAS OF 0.2% ANNUAL CHANCE; AREA OF 1% ANNUAL CHANCE FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE; AND AREAS PROTECTED BY LEVEES FROM 1% ANNUAL CHANCE FLOOD. AS DETERMINED BY F.E.M.A. AND SHOWN ON FLOOD INSURANCE RATE MAP DATE AUGUST 16, 2012, MAP NO. 35001C0331H.

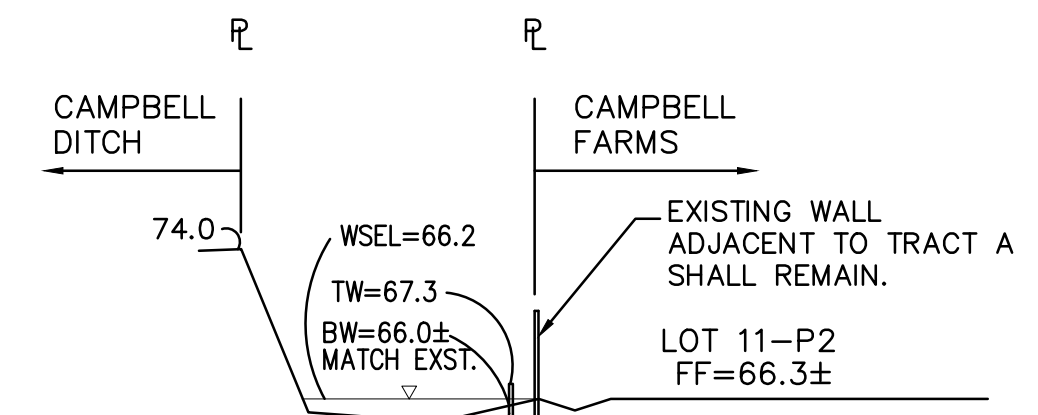
LEGEND

- 4966 --- EXISTING CONTOUR
- ◆ 78.3 PROPOSED ELEVATION
- PG=4968.5 PAD GRADE ELEVATION
- PROPOSED RETAINING WALL (DESIGN BY OTHERS)
- . - . - . PROPOSED GARDEN RETAINING WALL
- FLOW ARROW



SECTION X-X
SCALE: 1"=40' HOR.
1"=10' VERT.

EASEMENT NOTE:
EXISTING PRIVATE 3' FENCE EASEMENT BENEFITING & MAINTAINED BY THE OWNERS OF LOTS 1-P2 AND 2-P2, CAMPBELL FARM, AND LOT 18, ALVARADO GARDENS (11/05/2003, 2003C-329)



SECTION Y-Y
SCALE: 1"=40' HOR.
1"=10' VERT.

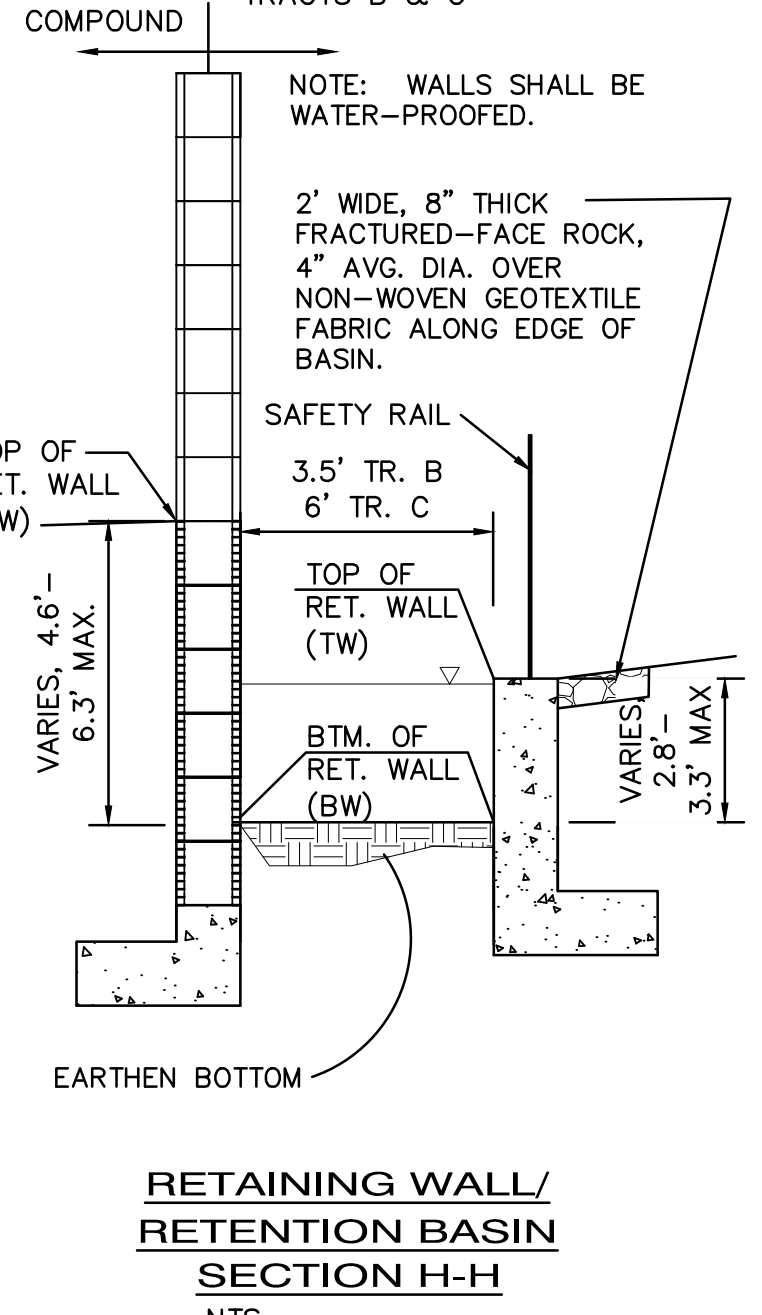
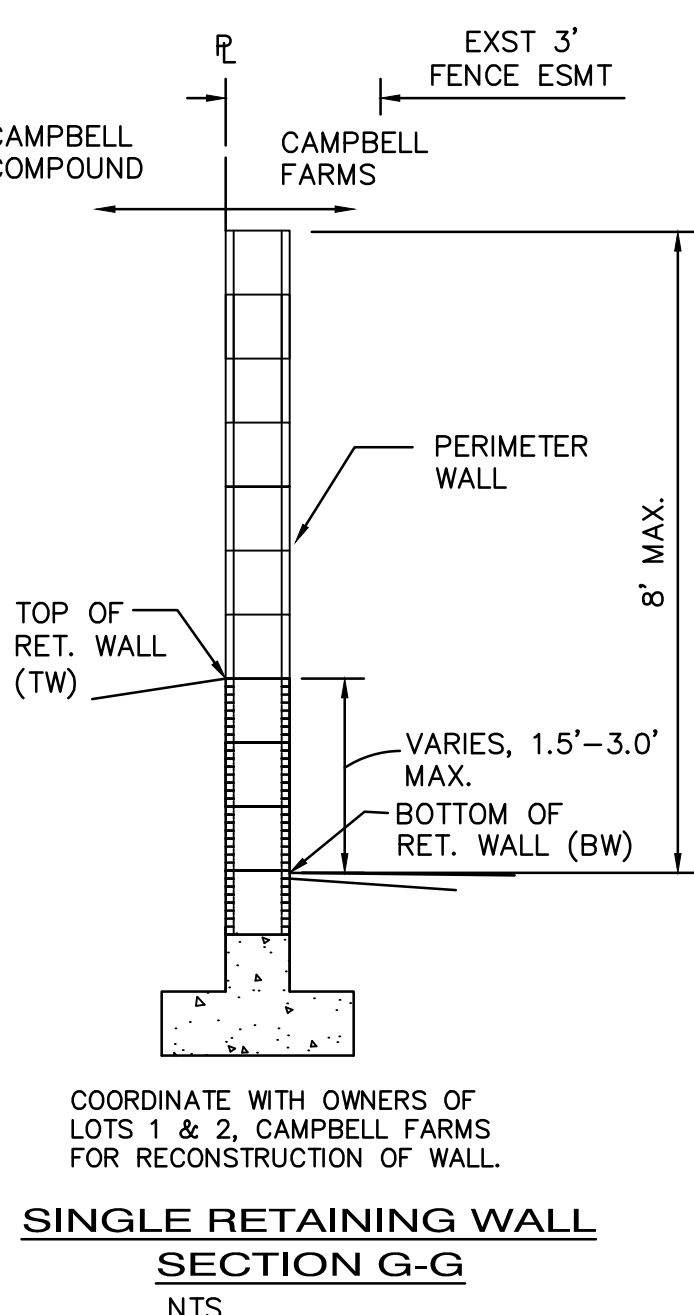
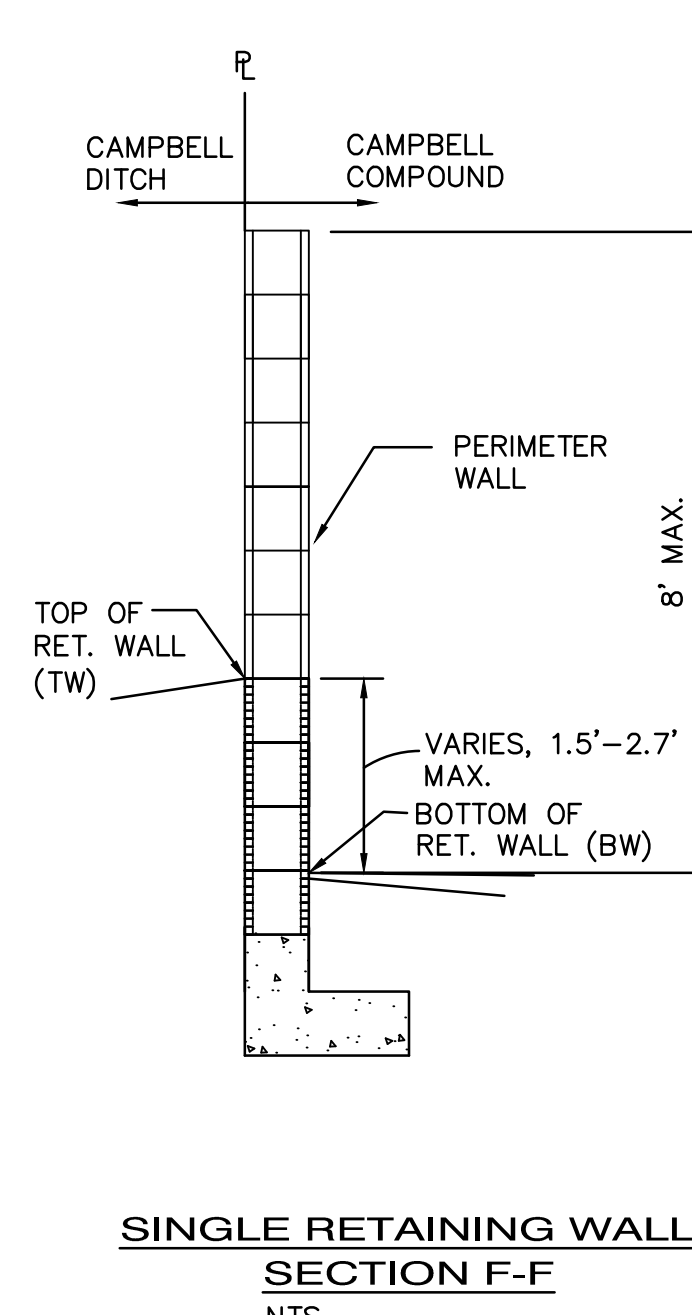
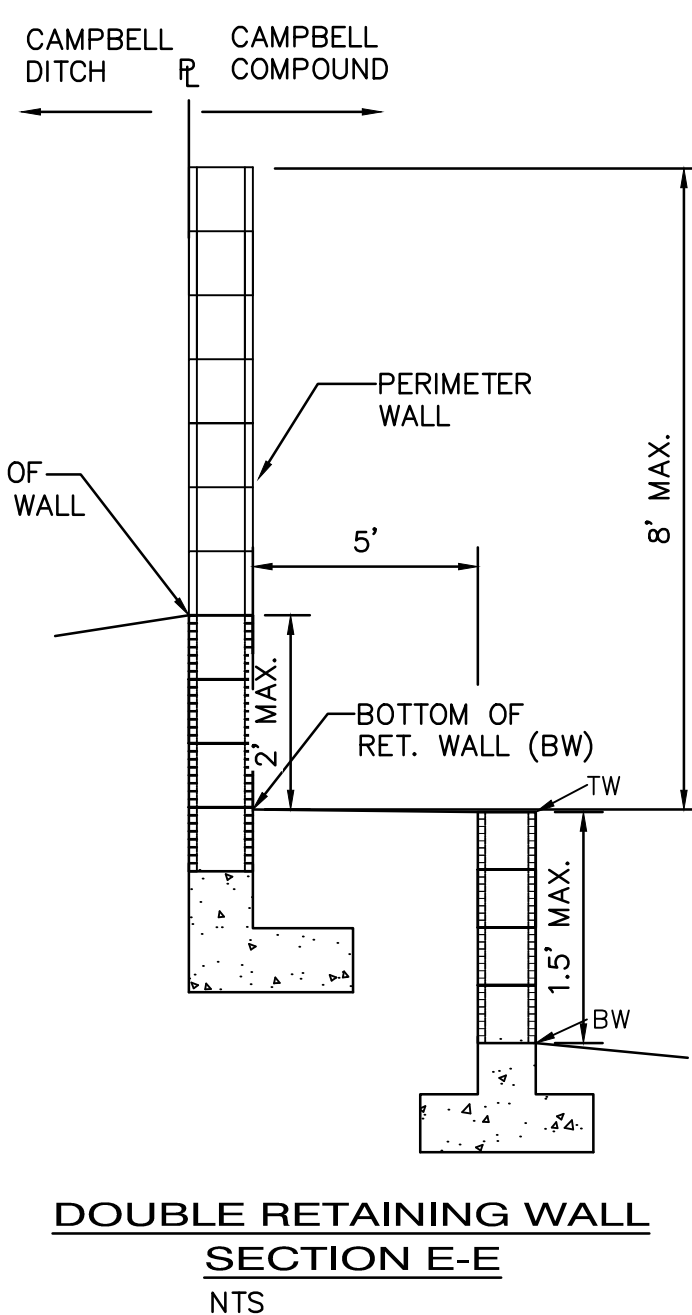
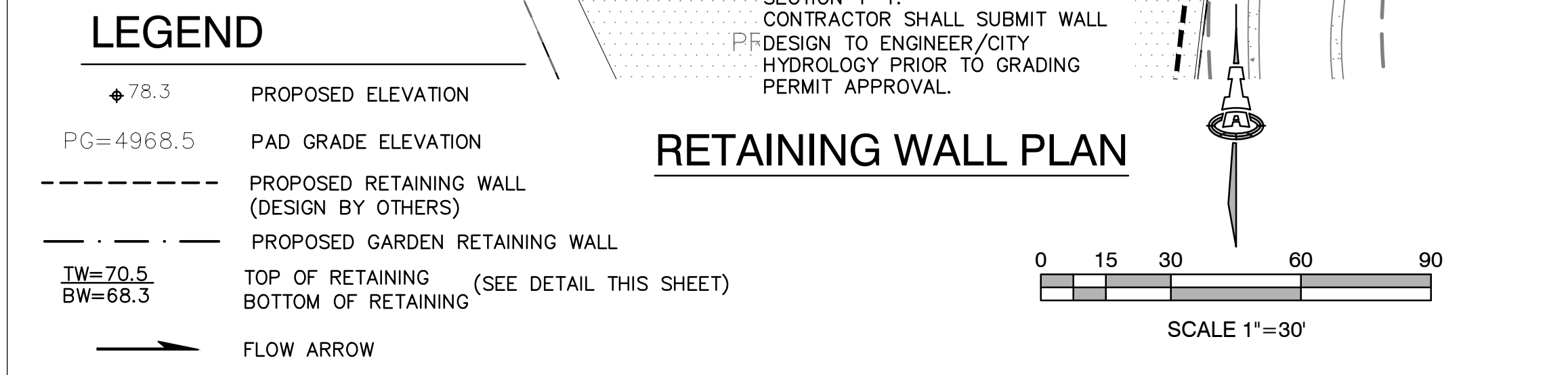
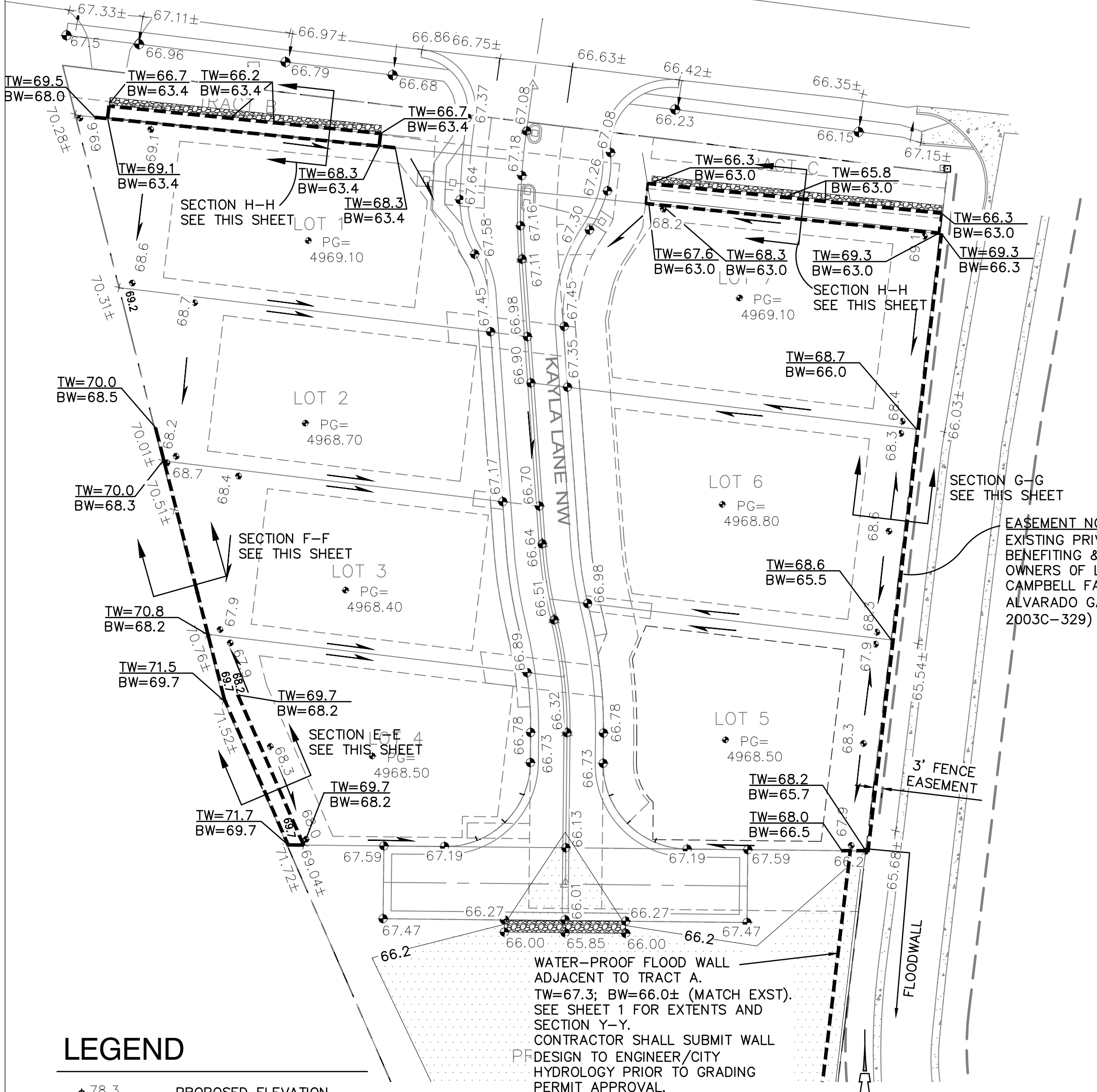
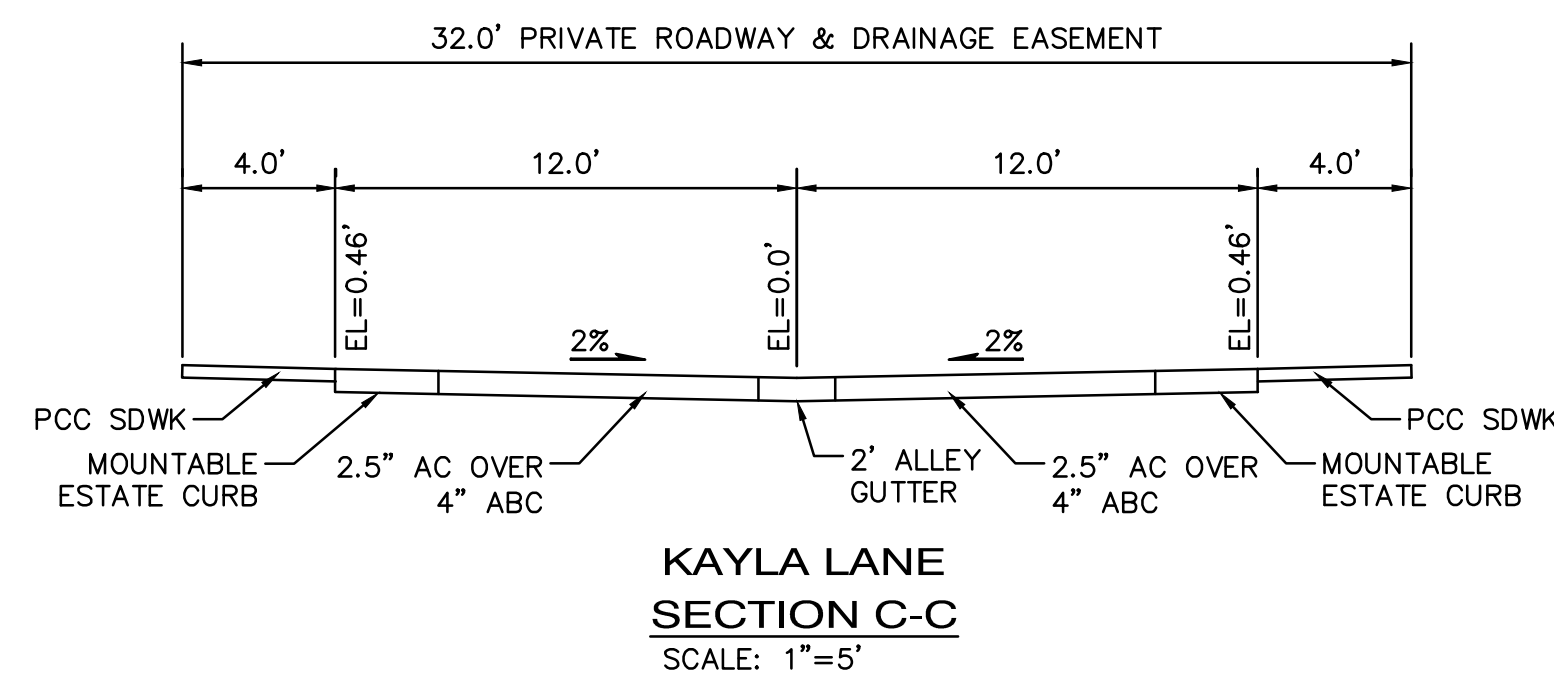
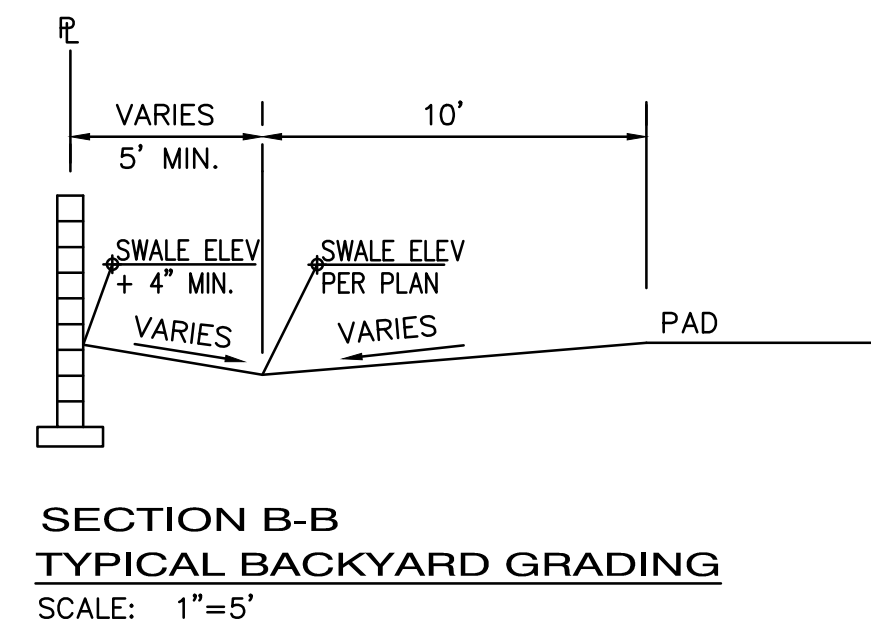
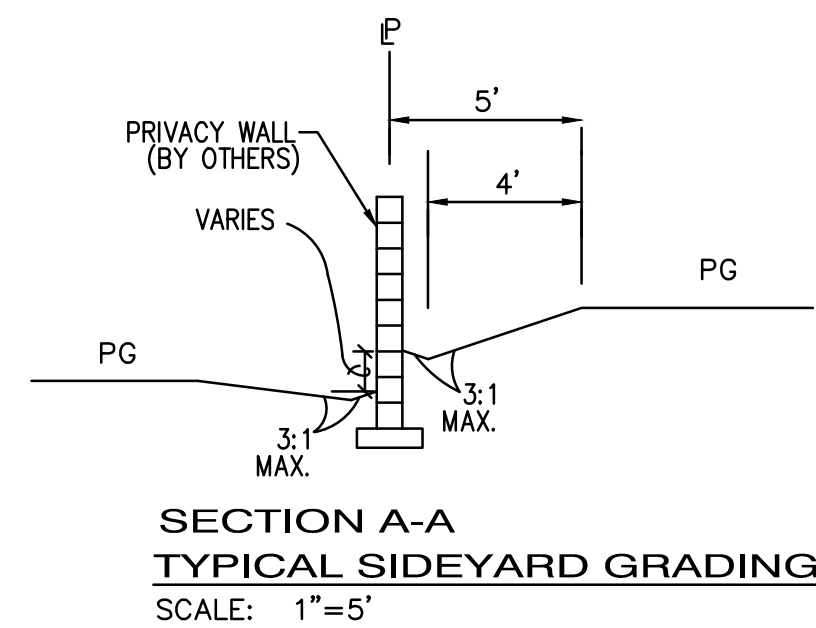
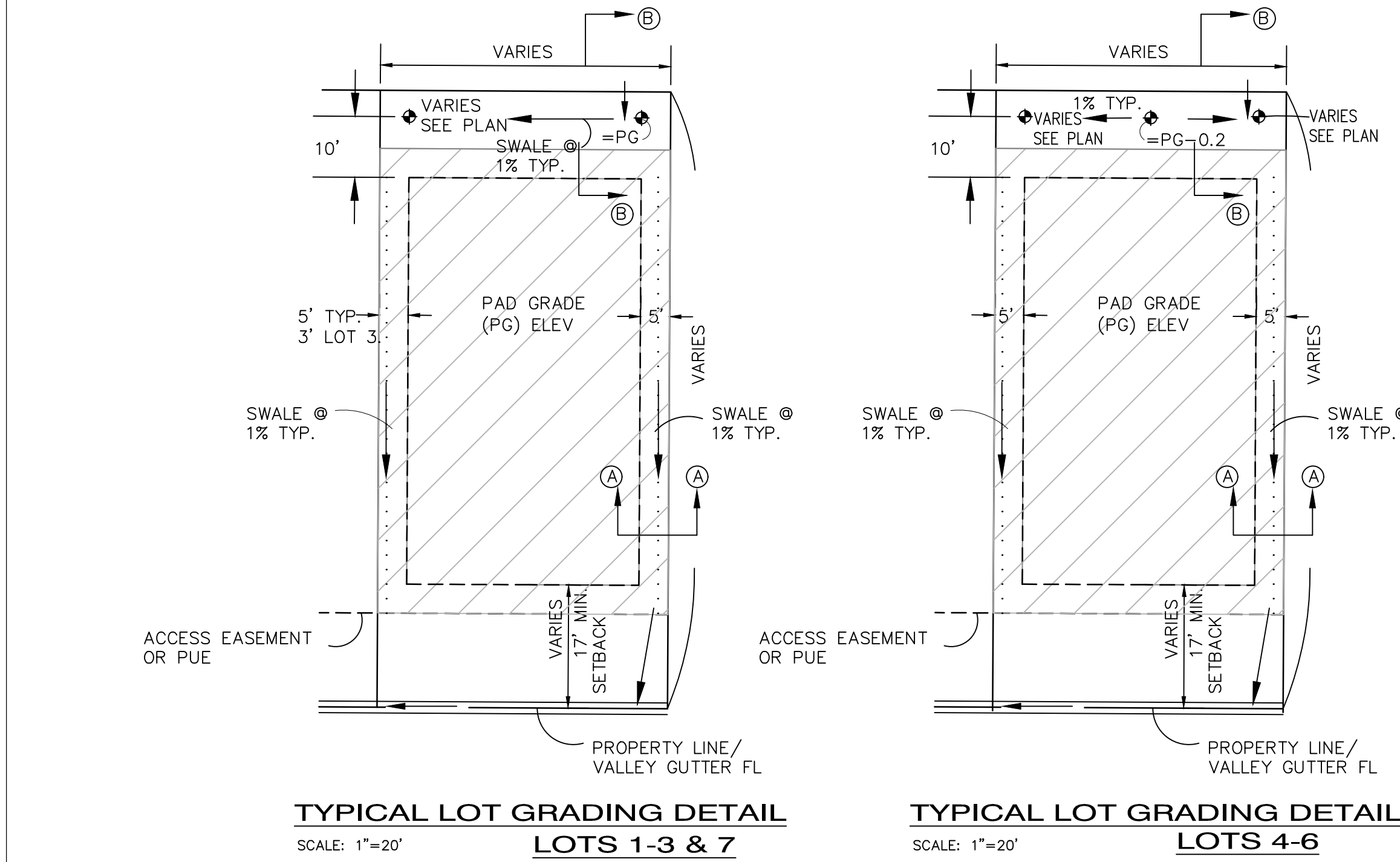
ISAACSON & ARFMAN, P.A.
Consulting Engineering Associates
128 Monroe Street N.E.
Albuquerque, New Mexico 87108
Ph. 505-268-8828 www.iacnll.com

2224 CG-101.dwg Oct 10, 2017

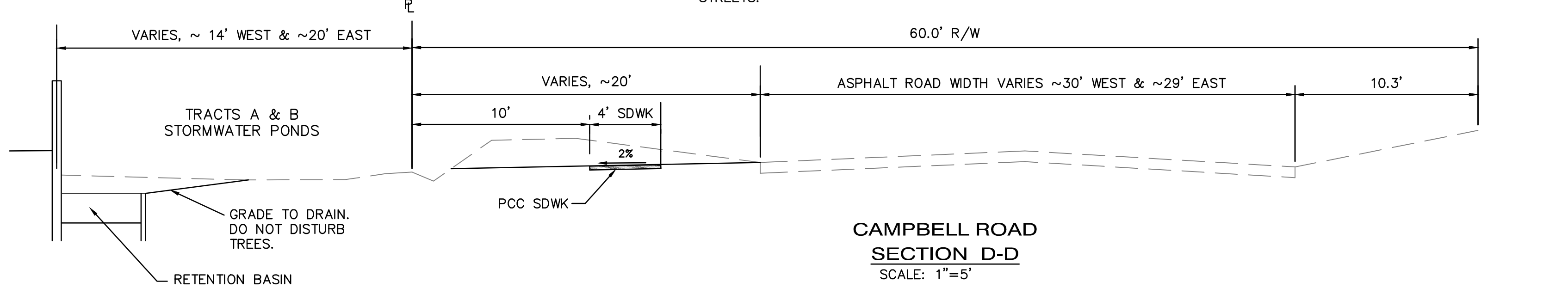
This design, calculations, and concepts are owned by and remain the property of Isaacson & Arfman, P.A. and no part thereof shall be utilized by any person, firm or corporation for any purpose whatsoever except with the written permission of Isaacson & Arfman, P.A. ©

CAMBELL SUBDIVISION			
LAS VENTANAS NM, INC.			
GRADING & DRAINAGE PLAN			
Date:	No. Revision:	Date:	Job No.
Sept 2017			2224
Drawn By:			G-13
ANW			
Ckd By:			SH 1 of 2





- ### CIVIL GENERAL NOTES
- THE CONTRACTOR SHALL ABIDE BY ALL STATE, LOCAL, AND FEDERAL LAWS, CODES, RULES AND REGULATIONS WHICH APPLY TO THE CONSTRUCTION OF THESE IMPROVEMENTS, INCLUDING EPA AND ADA REQUIREMENTS.
 - ALL SITE PREPARATION, GRADING OPERATIONS, FOUNDATION CONSTRUCTION, AND PAVEMENT INSTALLATION WORK SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE GEOTECHNICAL REPORT, WHICH WILL BE PROVIDED BY THE OWNER OR ARCHITECT. ALL OTHER WORK SHALL, UNLESS OTHERWISE NOTED IN THE PLANS, BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.
 - NO WORK SHALL BE PERFORMED WITHOUT THE APPROPRIATE PERMITS. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR OBTAINING ALL REQUIRED PERMITS FOR THE PROJECT PRIOR TO COMMENCING CONSTRUCTION, OR PRIOR TO OCCUPANCY, AS APPROPRIATE. IF PERMITS ARE DELAYED OR ISSUED WITH CONDITIONS, THE CONTRACTOR SHALL NOTIFY THE OWNER AND ARCHITECT IMMEDIATELY.
 - COORDINATE WORK WITH SITE PLAN, UTILITY PLAN, DEMOLITION PLAN, AND LANDSCAPE PLAN.
 - IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY HORIZONTAL AND VERTICAL LOCATIONS OF ALL EXISTING OBSTRUCTIONS, AND CONDITION OF ALL EXISTING INFRASTRUCTURE PRIOR TO CONSTRUCTION. REPORT ALL DISCREPANCIES TO THE ENGINEER AND VERIFY THE ENGINEER'S INTENT BEFORE PROCEEDING.
 - THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR SITE SAFETY.
 - THE CONTRACTOR SHALL MAINTAIN RECORD DRAWINGS ON SITE AT ALL TIMES. THE CONTRACTOR SHALL NOT SCALE DRAWINGS. ONLY WRITTEN DIMENSIONS OR KEYED NOTES SHALL BE USED.
 - CONSTRUCTION ACTIVITY SHALL BE LIMITED TO THE PROPERTY AND/OR PROJECT LIMITS. ANY DAMAGE TO ADJACENT STRUCTURES RESULTING FROM THE CONSTRUCTION PROCESS SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE. CONTRACTOR SHALL BE RESPONSIBLE FOR DOCUMENTING EXISTING CONDITIONS PRIOR TO CONSTRUCTION.
 - CONSTRUCTION EQUIPMENT SHALL NOT OBSTRUCT DRIVEWAYS. EQUIPMENT SHALL ONLY OBSTRUCT DESIGNATED TRAFFIC LANES IF APPROPRIATE. BARRICADING PERMITS HAVE BEEN OBTAINED. THE CONTRACTOR SHALL NOT STORE ANY EQUIPMENT OR MATERIAL IN THE RIGHT-OF-WAY.
 - THE CONTRACTOR SHALL PROVIDE A CONSTRUCTION TRAFFIC CONTROL AND SIGNING PLAN THAT CONFORMS TO THE LATEST EDITION OF THE "MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES" (MUTCD) AND LOCAL REQUIREMENTS. THE CONTRACTOR SHALL OBTAIN BARRICADING PERMITS FROM THE APPROPRIATE AUTHORITIES PRIOR TO ANY CONSTRUCTION WORK ON OR ADJACENT TO EXISTING STREETS.
 - THE CONTRACTOR SHALL MAINTAIN ALL BARRICADING AND CONSTRUCTION SIGNING AT ALL TIMES. THE CONTRACTOR SHALL VERIFY THE PROPER LOCATION OF ALL BARRICADING AT THE END AND BEGINNING OF EACH DAY.
 - EXISTING UTILITY LINES ARE SHOWN IN AN APPROXIMATE MANNER ONLY AND MAY BE INCOMPLETE OR OBSOLETE. SUCH LINES MAY OR MAY NOT EXIST WHERE SHOWN OR NOT SHOWN. CONTRACTOR SHALL CONTACT NM-811 FOR UTILITY LINE SPOTS FIVE WORKING DAYS PRIOR TO CONDUCTING SITE FIELD WORK. CONTRACTOR SHALL FIELD VERIFY AND LOCATE ALL UTILITIES PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION. CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY AND PRESERVE ANY AND ALL EXISTING UTILITIES, PIPELINES, AND UNDERGROUND UTILITY LINES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF NECESSARY DRY UTILITY ADJUSTMENTS.
 - ALL TRASH, DEBRIS, & SURFACE VEGETATION SHALL BE CLEARED AND LEGALLY DISPOSED OF OFFSITE.
 - VIBRATORY COMPACTION SHALL NOT BE USED OVER IN-PLACE UTILITIES.
 - SOIL TESTING AND INSPECTION SERVICES DURING SITE OPERATIONS ARE REQUIRED. CONTRACTOR SHALL ALLOW TESTING LABS TO INSPECT AND APPROVE COMPACTED SUBGRADES, BACKFILL, AND FILL LAYERS BEFORE FURTHER CONSTRUCTION WORK IS DONE. SHOULD COMPACTION TESTS INDICATE INADEQUATE DENSITY, CONTRACTOR SHALL PROVIDE ADDITIONAL COMPACTION AND TESTING AT THE CONTRACTOR'S SOLE EXPENSE.
 - CONTRACTOR SHALL LOCATE AND PRESERVE ALL BOUNDARY CORNERS AND REPLACE ANY LOST OR DISTURBED CORNERS AT CONTRACTOR'S SOLE EXPENSE. PROPERTY CORNERS SHALL ONLY BE RESET BY A REGISTERED LAND SURVEYOR.
 - CONTRACTOR SHALL PROVIDE CONSTRUCTION STAKING TO FACILITATE ACCURACY IN CONSTRUCTION STAKING, UPON WRITTEN REQUEST FROM THE CONTRACTOR, A FILE CONTAINING THE ELECTRONIC DATA COMPRISING THE SITE CIVIL DRAWINGS WILL BE FORWARDED TO THE LICENSED LAND SURVEYOR TO PERFORM CONSTRUCTION STAKING. ALL SITE CONSTRUCTION LAYOUT MUST BE PERFORMED BY A LICENSED SURVEYOR USING ELECTRONIC DATA PROVIDED IN AUTOCAD *.DWG (CURRENT VERSION) BY ISAACSON & ARFMAN, P.A. CONTACT PROJECT CIVIL ENGINEER, ASA NILSSON-WEBER, PE AT (505)-266-1688.
 - ADJUST ANY RIMS OF EXISTING UTILITY FEATURES AS NECESSARY TO MATCH NEW GRADES. UTILITIES IN PAVED AREAS SHALL BE HS-25 TRAFFIC RATED.
 - CONTRACTOR SHALL COMPLY WITH LOCAL REGULATIONS FOR RESEEDING OF DISTURBED AREAS.



NOTE:
ALL RETAINING WALLS/FLOODWALLS SHALL BE DESIGNED BY OTHERS. THE DETAILS/SECTIONS SHOWN ON THIS SHEET ONLY DEPICT TOP AND BOTTOM AND MAX. HEIGHTS OF RETAINING WALLS.

ISAACSON & ARFMAN, P.A.
Consulting Engineering Associates
128 Monroe Street N.E.
Albuquerque, New Mexico 87108
Ph. 505-268-8828 www.iacnll.com

CAMBELL SUBDIVISION
LAS VENTANAS NM, INC.

DETAILS & RETAINING WALL PLAN

Date:	Sept 2017	No.:	Revision:	Date:	Job No.
Drawn By:	ANW				2224
Ckd By:					G-13
					Sheet 2 of 2



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 09/2015)

Project Title: _____ **Building Permit #:** _____ **City Drainage #:** _____

DRB#: _____ **EPC#:** _____ **Work Order#:** _____

Legal Description: _____

City Address: _____

Engineering Firm: _____ **Contact:** _____

Address: _____

Phone#: _____ **Fax#:** _____ **E-mail:** _____

Owner: _____ **Contact:** _____

Address: _____

Phone#: _____ **Fax#:** _____ **E-mail:** _____

Architect: _____ **Contact:** _____

Address: _____

Phone#: _____ **Fax#:** _____ **E-mail:** _____

Other Contact: _____ **Contact:** _____

Address: _____

Phone#: _____ **Fax#:** _____ **E-mail:** _____

Check all that Apply:

DEPARTMENT:

- ☒ HYDROLOGY/ DRAINAGE
☐ TRAFFIC/ TRANSPORTATION
☐ MS4/ EROSION & SEDIMENT CONTROL

TYPE OF SUBMITTAL:

- ☒ ENGINEER ARCHITECT CERTIFICATION
☐ CONCEPTUAL G & D PLAN
☒ GRADING PLAN
☐ DRAINAGE MASTER PLAN
☒ DRAINAGE REPORT
☐ CLOMR/LOMR
☐ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ TRAFFIC IMPACT STUDY (TIS)
☐ EROSION & SEDIMENT CONTROL PLAN (ESC)
☐ OTHER (SPECIFY) _____

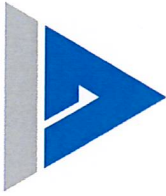
IS THIS A RESUBMITTAL?: ☒ Yes ☐ No

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY
☒ PRELIMINARY PLAT APPROVAL
☐ SITE PLAN FOR SUB'D APPROVAL
☐ SITE PLAN FOR BLDG. PERMIT APPROVAL
☐ FINAL PLAT APPROVAL
☐ SIA/ RELEASE OF FINANCIAL GUARANTEE
☐ FOUNDATION PERMIT APPROVAL
☒ GRADING PERMIT APPROVAL
☐ SO-19 APPROVAL
☐ PAVING PERMIT APPROVAL
☐ GRADING/ PAD CERTIFICATION
☐ WORK ORDER APPROVAL
☐ CLOMR/LOMR
☐ PRE-DESIGN MEETING
☐ OTHER (SPECIFY) _____

DATE SUBMITTED: October 10, 2017 By: Asa Nilsson-Weber

COA STAFF: _____ ELECTRONIC SUBMITTAL RECEIVED: _____



October 10, 2017

Mr. Dana Peterson, PE
Senior Engineer, Planning Dept.
City of Albuquerque
600 2nd Street NW
Albuquerque, NM 87103

**RE: G13D032 – Campbell Compound
Revised Grading Plan & Drainage Report
Zone Atlas Map: G-13**

Dear Mr. Peterson:

Please see attached for a revised drainage report and grading & drainage plan addressing your comments from October 3, 2017 (attached).

1. Campbell half-street was included in the drainage calculations and shown to be ponded in retention basins adjacent to the wall along Tracts B & C. The reason for the retention basins being located along the wall is that the Developer wishes to minimize disturbance within the existing tree area.
2. Section E-E was corrected to show footing on the Campbell Compound side.
3. Section F-F was split into F-F and H-H.
4. The floodwall is shown as a new offset wall with a note that a wall design of the floodwall shall be provided to engineer/City Hydrology prior to approval of grading permit (per discussions with Doug Hughes).
5. Section G-G shows a new retaining wall plan in same location as the existing wall—within the 3-foot fence easement located on the Campbell Farms property. See attached for an ALTA survey prepared by Cartesian Surveys that shows this easement. Doug Hughes asked for the original plat that created the easement, which I will forward once I get it from the surveyor.
6. The wall construction adjacent to Campbell Farms shall be coordinated with Owners of lots 1 and 2, Campbell Farms, which were named beneficiaries for the fence easement (as well as the Campbell Compound property).
7. A note that grade at rear-yard wall shall be 4" min. above the rear-yard swale invert was added to Section B-B and reflected on the plan.

Mr. Dana Peterson
October 10, 2017
Page 2

8. The infrastructure list includes Tract B and C ponds with agreement & covenant.
9. A public drainage easement over the Tracts B and C ponds was added on the preliminary plat.
10. An ESC Plan shall be provided.
11. The Drainage Covenant and Agreement and Covenant shall be included with DRC submittal.

If you have questions regarding this submittal, please call me at 266-1688 or email me at asaw@iacivil.com.

Thank you.

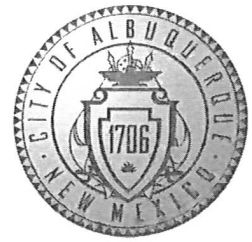
Sincerely,
ISAACSON & ARFMAN



Åsa Nilsson-Weber

Attachment

CITY OF ALBUQUERQUE



October 3, 2017

Åsa Nilsson-Weber, P.E.
Isaacson & Arfinan, P.A.
128 Monroe St. N.E
Albuquerque, NM 87108

RE: **Campbell Compound**
Drainage Report and Grading Plan
Engineer's Stamp Date 9/26/17
Hydrology File: G13D032

Dear Ms. Nilsson-Weber:

Based on the information provided in the submittal received on 9/26/17 the above-referenced submittal cannot be approved for Preliminary Plat or Grading Permit until the following are addressed:

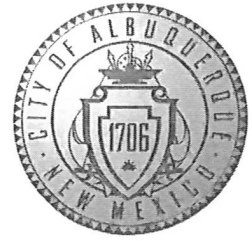
Prior to Preliminary Plat:

1. Subbasin A needs to include the Campbell Rd half street area and the ponds on tract B & C need to be sized to include this volume.
2. Section E-E on sheet 2/2 shows the retaining wall/privacy wall encroaching across the property line. Correct to show on only Campbell Compound's property.
3. Separate Section F-F into two viewports for the different cases. Clearly show that the footer stays off the adjacent property.
4. Modifying an existing privacy wall into a floodwall is not an acceptable course. If a floodwall is desired, a new one will need to be designed and built (Section Y-Y).
5. Modifying an existing privacy wall into a retaining wall is not an acceptable course. A new wall will need to be designed and built (Section G-G).
6. Written permission from Campbell Farms HOA will need to be obtained, authorizing any modifications to the common wall. If portions of the wall are owned/maintained by Campbell Farms Lot 11, written permission from that homeowner will be needed as well.
7. the rear-yard retaining wall needs to be 4" (minimum) above the high point of the rear-yard swale invert to promote drainage away from the rear wall and to the front yard (Section B-B and G-G).

Orig: Drainage file

Albuquerque - Making History 1706-2006

CITY OF ALBUQUERQUE



8. The Infrastructure list will need to include the Tract B and Tract C ponds with agreement and covenant.
9. Provide a drainage easement over the Tract B and Tract C ponds on the preliminary plat.

Prior to Grading Permit:

10. This project will require an ESC plan prior to grading permit approval.

Prior to DRC Sign-off:

11. A Drainage Covenant is required for the commons area pond and an Agreement and Covenant is required for the Tract B and C Ponds. The original notarized forms, pond exhibits, and recording fees (\$25/ea., payable to City of Albuquerque) must be turned into DRC (4th, Plaza del Sol) for routing. Please contact Charlotte LaBadie (clabadie@cabq.gov, 924-3996) or Madeline Carruthers (mtafoya@cabq.gov, 924-3997) regarding the routing and recording process for covenants.

Prior to Hydrology approval for Release of Financial Guarantee, the Drainage Covenants must be recorded with Bernalillo County and a copy included with the drainage certification. If you have any questions, please contact me at 924-3695 or dpeterson@cabq.gov.

PO Box 1293

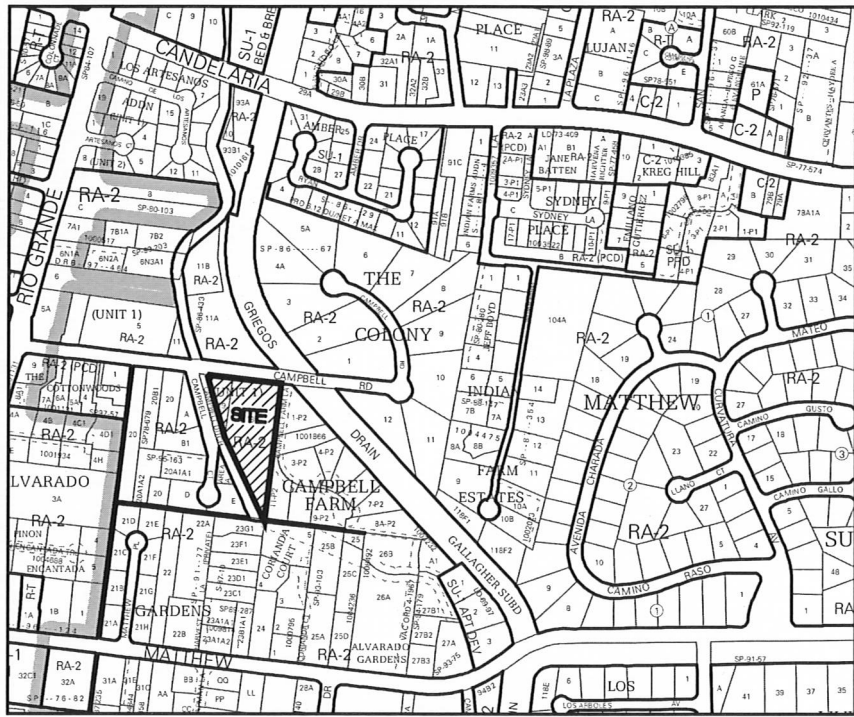
Albuquerque

Sincerely,

NM 87103

Dana Peterson, P.E.
Senior Engineer, Planning Dept.
Development Review Services

www.cabq.gov



Vicinity Map - Zone Atlas G-13-Z

Exceptions 11-12

- 11 ANY AND ALL RIGHTS, LIENS, CLAIMS OR EQUITIES IN FAVOR OF THE MIDDLE RIO GRANDE CONSERVANCY DISTRICT WHICH AFFECTS THE INSURED PREMISES.
AFFECTS SUBJECT PROPERTY—BLANKET IN NATURE
- RIGHTS OF PARTIES UNDER ANY UNRECORDED RENTAL AND/OR LEASE AGREEMENTS.
- 12 NOT SURVEY RELATED

Documents

1. TITLE COMMITMENT PROVIDED BY STEWART TITLE, HAVING FILE NO. 01147—36785 AND AN EFFECTIVE DATE OF MARCH 21, 2017.
2. PLAT OF RECORD FILED IN THE BERNALILLO COUNTY CLERK'S OFFICE ON AUGUST 15, 1932 IN BOOK C2, PAGE 10.
3. QUITCLAIM DEED FOR DARLA B. PEAY, TRUSTEE OF THE PEAY TRUST, FILED IN THE BERNALILLO COUNTY CLERK'S OFFICE ON AUGUST 12, 2014, AS DOCUMENT NO. 2014063396.
4. PLAT FOR CAMPBELL FARM SUBDIVISION, FILED IN THE BERNALILLO COUNTY CLERK'S OFFICE ON NOVEMBER 5, 2003, IN BOOK 2003C, PAGE 329.

Flood Notes

BASED UPON SCALING, THIS PROPERTY LIES WITHIN FLOOD ZONE X WHICH IS DEFINED AS AREAS OF 0.2% ANNUAL CHANCE; AREA OF 1% ANNUAL CHANCE FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE; AND AREAS PROTECTED BY LEVEES FROM 1% ANNUAL CHANCE FLOOD. AS DETERMINED BY F.E.M.A. AND SHOWN ON FLOOD INSURANCE RATE MAP DATE AUGUST 16, 2012, MAP NO. 35001C0331H.

Indexing Information

Section 6, Township 10 North, Range 3 East, N.M.P.M.
as Projected into the Town of Albuquerque Grant
Subdivision: Alvarado Gardens
Owner: Darla B. Peay, Trustee of Peay Trust
UPC #: 101306008514631103

Record Legal Description

ALL THAT PORTION OF LOTS NUMBERED EIGHTEEN (18) AND NINETEEN (19) LYING NORTH AND EAST OF THE ALBUQUERQUE DITCH IN ALVARADO GARDENS UNIT NO. 1, A SUBDIVISION OF A TRACT OF LAND IN LOS CANDELARIAS, BERNALILLO COUNTY, NEW MEXICO, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON AUGUST 15, 1932, IN PLAT BOOK C2, PAGE 10.

BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS: BEGINNING AT THE NORTHEAST CORNER OF THE TRACT, BEING THE SAME AS THE NORTHEAST CORNER OF TRACT 18, ALVARADO GARDENS UNIT NO. 1; THENCE S 06° 43' W, 535.0 FEET TO THE SOUTHEAST CORNER; THENCE N 83° 17' W., 20.0 FEET TO THE SOUTHWEST CORNER; THENCE N 23° 43' W., 387.69 FEET; THENCE N 14° 17' W., 215.00 FEET TO THE NORTHWEST CORNER; THENCE S 83°17' E., 293.42 FEET TO THE POINT OF BEGINNING.

Measured Legal Description

ALL THAT PORTION OF LOTS NUMBERED EIGHTEEN (18) AND NINETEEN (19) LYING NORTH AND EAST OF THE ALBUQUERQUE DITCH IN ALVARADO GARDENS UNIT NO. 1, A SUBDIVISION OF A TRACT OF LAND IN LOS CANDELARIAS, BERNALILLO COUNTY, NEW MEXICO, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON AUGUST 15, 1932, IN PLAT BOOK C2, PAGE 10.

BEING DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

BEGINNING AT THE NORTHEAST CORNER OF THE HEREIN DESCRIBED TRACT, MARKED WITH A 1/2" REBAR WITH CAP "LS 3241", BEING A POINT ON THE SOUTHERLY RIGHT OF WAY OF CAMPBELL ROAD NW, WHENCE A TIE TO ACS MONUMENT "6-G13AR", BEARING N 51°13'48" E, A DISTANCE OF 1706.83 FEET;

THENCE, FROM SAID POINT OF BEGINNING AND LEAVING SAID SOUTHERLY RIGHT OF WAY, S 06°51'05" W, A DISTANCE OF 534.91 FEET TO THE MOST SOUTHERLY CORNER OF THE HEREIN DESCRIBED TRACT, BEING A POINT ON THE NORTHERLY RIGHT OF WAY OF THE ALBUQUERQUE DITCH (AKA CAMPBELL COMMUNITY DITCH), REFERENCED BY A 1/2" REBAR WITH CAP ILLEGIBLE, BEARING S 83°13'01" E, A DISTANCE OF 0.57 FEET FROM THE TRUE CORNER;

THENCE, COINCIDING THE SAID NORTHERLY RIGHT OF WAY OF THE ALBUQUERQUE DITCH (AKA CAMPBELL COMMUNITY DITCH), N 83°13'01" W, A DISTANCE OF 19.43 FEET, BEING A POINT ON THE EASTERLY RIGHT OF WAY OF THE ALBUQUERQUE DITCH (AKA CAMPBELL COMMUNITY DITCH) MARKED WITH A BATHEY MARKER WITH CAP "LS 14271";

THENCE, COINCIDING WITH THE EASTERLY RIGHT OF WAY OF THE ALBUQUERQUE DITCH (AKA CAMPBELL COMMUNITY DITCH), THE FOLLOWING TWO COURSES:

N 23°39'01" W, A DISTANCE OF 387.69 FEET, TO A POINT MARKED WITH A BATHEY MARKER WITH CAP "LS 14271";

N 14°13'01" W, A DISTANCE OF 215.85 FEET TO A POINT ON THE SOUTHERLY RIGHT OF WAY OF CAMPBELL ROAD NW, REFERENCED BY A 1/2" REBAR FOUND S 14°13'01" E, A DISTANCE OF 0.85 FEET FROM THE TRUE CORNER;

THENCE, COINCIDING WITH SAID SOUTHERLY RIGHT OF WAY OF CAMPBELL ROAD NW, S 83°02'46" E, A DISTANCE OF 293.80 FEET TO THE POINT OF BEGINNING, CONTAINING 2.0808 ACRES (90,639 SQ. FT.) MORE OR LESS.

THE PARCEL DESCRIBED HEREON IS THE SAME AS SHOWN ON THE TITLE COMMITMENT PROVIDED BY STEWART TITLE, HAVING FILE NO. 01147—36785 AND AN EFFECTIVE DATE OF MARCH 21, 2017.

Boundary Survey
and
ALTA/NSPS Land Title Survey
for
Portions of lots 18 & 19
Alvarado Gardens Unit 1
City of Albuquerque
Bernalillo County, New Mexico
September 2017

Notes

1. FIELD SURVEY PERFORMED IN APRIL 2017.
2. ALL DISTANCES ARE GROUND DISTANCES: U.S. SURVEY FOOT.
3. THE BASIS OF BEARINGS REFERENCES MODIFIED NEW MEXICO STATE PLANE COORDINATES (NAD 83—GROUND—CENTRAL ZONE) USING A GROUND TO GRID FACTOR OF 0.99968440234.
4. THE PURPOSES FOR THE MEASURED LEGAL IS TO REPRESENT THE BOUNDARIES ACCORDING TO LOCAL STANDARDS IN PREPARATION FOR SUBDIVIDING PROPERTY IN ALBUQUERQUE.

Surveyor's Certificate

To: Las Ventanas NM, Inc., a New Mexico corporation, Darla B. Peay, Trustee of the Peay Trust, UTA dated August 8, 1991, Stewart Title, Stewart Title of Albuquerque, LLC:

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2016 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes items 1—4, 7(a) and 8 of Table A thereof. The Field Work was completed on April 7, 2017.

Will Plotner Jr. Date
N.M.R.P.S. No. 14271

Revisions: 4/7/17 Original
9/21/17 Revised to add "public waterline" within easement 1

I, Will Plotner Jr., New Mexico Professional Surveyor No. 14271, do hereby certify that this boundary survey plat and the actual survey on the ground upon which it is based were performed by me or under my direct supervision; that I am responsible for this survey; that this survey meets the minimum standards for surveying in New Mexico; and that it is true and correct to the best of my knowledge and belief. I further certify that this survey is not a land division or subdivision as defined in the New Mexico subdivision act and that this instrument is a boundary survey plat of an existing tract or tracts.

Will Plotner Jr. Date
N.M.R.P.S. No. 14271

CARTESIAN SURVEYS INC.
P.O. BOX 44414 RIO RANCHO, N.M. 87174
Phone (505) 896 - 3050 Fax (505) 891 - 0244

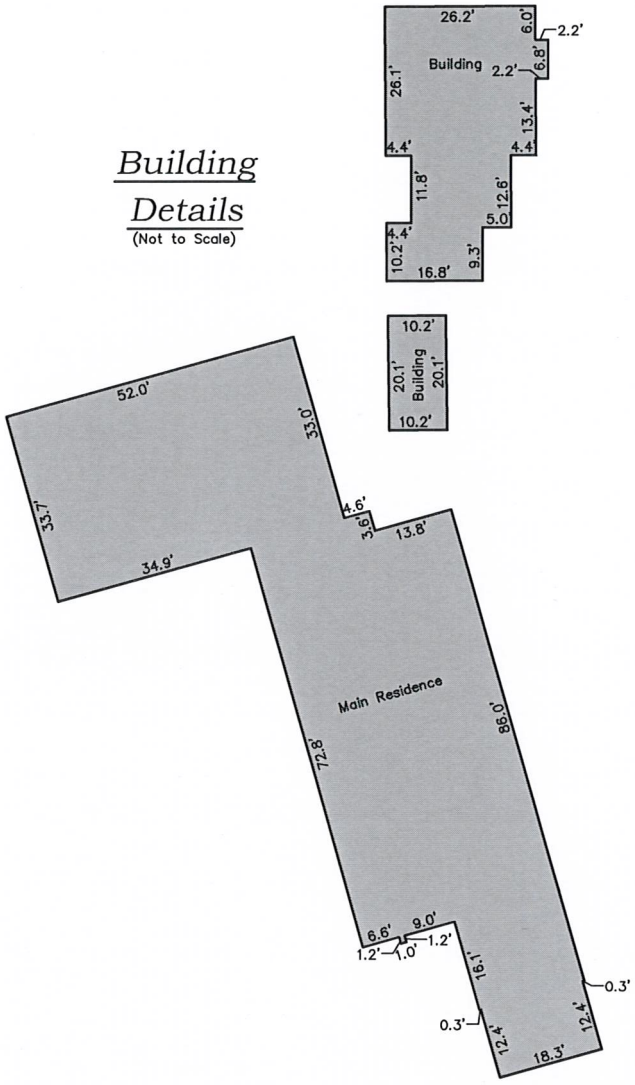


Boundary Survey
and
ALTA/NSPS Land Title Survey
for
Portions of lots 18 & 19
Alvarado Gardens Unit 1
City of Albuquerque
Bernalillo County, New Mexico
September 2017

Legend

N 90°00'00" E	MEASURED BEARINGS AND DISTANCES
(N 90°00'00" E)	RECORD BEARINGS AND DISTANCES QUITCLAIM DEED (8/12/2014, DOC. NO. 2014063396)
{N 90°00'00" E}	RECORD BEARINGS AND DISTANCES (11/05/2003, 2003C-329)
[N 90°00'00" E]	RECORD BEARINGS AND DISTANCES (8/15/32, C2-10)
●	FOUND MONUMENT AS INDICATED
○	SET BATHEY MARKER "LS 14271" UNLESS OTHERWISE NOTED
▭	COVERED AREA
▨	CONCRETE
▩	BRICK
□	UTILITY PEDESTAL
—//—	WOOD FENCE
—x—	WIRE FENCE
—□—	METAL FENCE
▨▨▨	BLOCK WALL
—○—	CHAINLINK FENCE
□	BOLLARD
—OHU—	OVERHEAD UTILITY LINE
•	UTILITY POLE
→	ANCHOR
Ⓢ	ELECTRIC METER
Ⓜ	WATER METER
Ⓜ	MAILBOX
Ⓢ	SANITARY SEWER MANHOLE
*∞	SAS CLEANOUT
△	CENTERLINE MONUMENT "LS 7719"
—w—	UNDERGROUND WATER LINE
—g—	UNDERGROUND GAS LINE
⊙	DECIDUOUS TREE

Building
Details
(Not to Scale)



Apparent Encroachments

- A WALL INTO ADJOINER'S PROPERTY BY AS MUCH AS 0.92 FEET, OWNERSHIP APPEARS TO BE OWNED BY ADJOINER.
- B CHAINLINK FENCE SUBJECT PROPERTY BY AS MUCH AS 17.60 FEET.
- C CHAINLINK FENCE SUBJECT PROPERTY BY AS MUCH AS 12.50 FEET.
- D CHAINLINK FENCE WITH BLOCK PILASTERS INTO SUBJECT PROPERTY BY AS MUCH AS 14.51 FEET.
- E IRRIGATION INTO SUBJECT PROPERTY BY AS MUCH AS 7.39 FEET.

Line Table		
Line #	Direction	Length (ft)
L1	N 83°13'01" W (N 83°17' W)	19.43' (20.00')
L2	S 06°51'05" W {S 06°51'09" W}	8.71'
L3	N 83°02'46" W [N 83°17' W]	315.37'

CARTESIAN SURVEYS INC.
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Easement Notes

- 1 PRIVATE ACCESS, PRIVATE LANDSCAPING, PUBLIC WATER LINE AND PUBLIC SANITARY SEWER EASEMENT BENEFITING & MAINTAINED BY THE OWNERS OF LOTS 1-P2 THRU 11-P2, CAMPBELL FARM (11/05/2003, 2003C-329)
- 2 EXISTING PRIVATE 3' FENCE EASEMENT BENEFITING & MAINTAINED BY THE OWNERS OF LOTS 1-P2 AND 2-P2, CAMPBELL FARM, AND LOT 18, ALVARADO GARDENS (11/05/2003, 2003C-329)
- 3 EXISTING MRGCD CAMPBELL DITCH EASEMENT (11/05/2003, 2003C-329)
- 4 EXISTING 10' PUE (11/05/2003, 2003C-329)
- 5 EXISTING 7' PRIVATE IRRIGATION EASEMENT BENEFITING & MAINTAINED BY THE OWNERS OF LOTS 1-P2 THRU 11-P2, CAMPBELL FARM (11/05/2003, 2003C-329)

ACS Monument "7-H13"
NAD 1983 CENTRAL ZONE
X=1513953.442
Y=1495777.837
Z=4964.364 (NAVD 1988)
G-G=0.99968476
Mapping Angle=-0°14'35.56"

ACS Monument "6-G13AR"
NAD 1983 CENTRAL ZONE
X=1515743.949
Y=1500719.134
Z=N/A (NAVD 1988)
G-G=0.999684045
Mapping Angle=-0°14'23.60"

