

CITY OF ALBUQUERQUE

Planning Department
Brennon Williams, Director



Mayor Timothy M. Keller

March 30, 2021

Reza Afaghpour, PE
SBS Construction and Engineering, LLC
10209 Snowflake Ct NW
Albuquerque, NM 87114

**Re: File/Gul Development
2311-2315 Matthews Ave.
Grading & Drainage Plan
Engineer's Stamp dated: 3-7-21 (G13D033)**

Dear Mr. Afaghpour,

Based upon the information provided in your submittal received 3/9/2021, this plan is approved for Grading Permit and Work Order.

PO Box 1293

Please inform the builder/owner to attach a copy of this approved plan to the construction sets in the permitting process prior to sign-off by Hydrology.

Albuquerque

Prior to Building permit approval a Pad Certification will be required, provided by the Engineer with pad cert language or a registered Land Surveyor with as build spot elevations.

NM 87103

Prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist will be required.

www.cabq.gov

If you have any questions, you can contact me at 924-3986 or earmijo@cabq.gov.

Sincerely,

Ernest Armijo, P.E.
Principal Engineer, Planning Dept.
Development Review Services



City of Albuquerque

Planning Department
Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 6/2018)

Project Title: FILE/GUL DEVELOPMENT Building Permit #: _____ Hydrology File #: G13D033
DRB#: 1011331 **EPC#:** _____ **Work Order#:** _____
Legal Description: TRACTS 1-A-1, 1-B-1, 1-B-2, ALVARADO GARDEN UNIT 1
City Address: 2311-2315 MATTHEW AVE., NW

Applicant: SBS CONSTRUCTION AND ENGINEERING, LLC **Contact:** SHAWN BIAZAR
Address: 10209 SNOWFLAKE CT., NW, ALBUQUERQUE, NM 87114
Phone#: (505) 804-5013 **Fax#:** (505) 897-4996 **E-mail:** AECLLC@AOL.COM

Other Contact: _____ **Contact:** _____
Address: _____
Phone#: _____ **Fax#:** _____ **E-mail:** _____

TYPE OF DEVELOPMENT: ☒ PLAT (# of lots) _____ RESIDENCE _____ DRB SITE _____ ADMIN SITE

IS THIS A RESUBMITTAL? ☒ Yes _____ No

DEPARTMENT _____ TRANSPORTATION ☒ HYDROLOGY/DRAINAGE

Check all that Apply:

TYPE OF SUBMITTAL:

☐ ENGINEER/ARCHITECT CERTIFICATION
☐ PAD CERTIFICATION
☐ CONCEPTUAL G & D PLAN
☒ GRADING PLAN
☐ DRAINAGE REPORT
☐ DRAINAGE MASTER PLAN
☐ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
☐ ELEVATION CERTIFICATE
☐ CLOMR/LOMR
☐ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ TRAFFIC IMPACT STUDY (TIS)
☐ STREET LIGHT LAYOUT
☐ OTHER (SPECIFY) _____
☐ PRE-DESIGN MEETING?

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

☐ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY
☐ PRELIMINARY PLAT APPROVAL
☐ SITE PLAN FOR SUB'D APPROVAL
☐ SITE PLAN FOR BLDG. PERMIT APPROVAL
☐ FINAL PLAT APPROVAL
☐ SIA/ RELEASE OF FINANCIAL GUARANTEE
☐ FOUNDATION PERMIT APPROVAL
☒ GRADING PERMIT APPROVAL
☐ SO-19 APPROVAL
☐ PAVING PERMIT APPROVAL
☐ GRADING/ PAD CERTIFICATION
☒ WORK ORDER APPROVAL
☐ CLOMR/LOMR
☐ FLOODPLAIN DEVELOPMENT PERMIT
☐ OTHER (SPECIFY) _____

DATE SUBMITTED: 03-08-2021 **By:** SHAWN BIAZAR

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: _____

FEE PAID: _____

SBS CONSTRUCTION AND ENGINEERING, LLC

March 8, 2021

Mr. Ernest Armijo, PE
Principal Engineer, Planning Dept.
Development Review Services
City of Albuquerque Planning Department
PO Box 1293, 600 Second Street, NW
Albuquerque, NM 87103

RE: FILE/GUL DEVELOPMENT, Hydrology File #G13D033, Tracts 1-A-1, 1-B-1, 1-B-2,
Alvarado Garden Unit 1,

Dear Mr. Armijo;

Attached please find a copy of the revised grading plan for the above referenced site. There has been no change in the grading plan except showing the entrance as a driveway per City of Albuquerque STD. DWG # 2425. This was request by Hydrology at DRC to revise the grading plan to show the change in the entrance.

If you require additional information regarding this project, please do not hesitate to contact me at (505) 804-5013.

Sincerely,



Shawn Biazar, Managing Member

LEGAL DESCRIPTION

TRACTS 1-A, 1-B-1 AND 1-B-2 ALVARADO GARDENS, UNIT 1, WITHIN TOWN OF ALBUQUERQUE GRANT, PROJECTED SECTION 6, TOWNSHIP 10 NORTH, RANGE 3 EAST, N.M.P.M., CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, SEPTEMBER 2017

BASIS OF ELEVATIONS

ELEVATIONS ARE BASED ON ACS MONUMENT "8_H13" NMSPCC/NAVD88 HAVING AN ELEVATION OF 4963.168

DESIGN NARRATIVE

THE SUBJECT PROJECT IS A 1.01 ACRE DEVELOPED SITE THAT HAD PREVIOUSLY BEEN THE LOCATION OF A RESIDENCE WITH SEVERAL RANDOM OUT BUILDINGS. THESE BUILDINGS AND THE CURRENT RESIDENCE WILL BE DEMOLISHED AND OR REMOVED FROM THE SITE FOR THIS NEW DEVELOPMENT WHICH WILL INCLUDE 2 INDIVIDUAL RESIDENCES AND SIX COMMON WALL TOWNHOUSES. AN ASPHALT PAVED ACCESS DRIVE WILL BE CONSTRUCTED TO PROVIDE CONNECTION FROM MATTHEW AVE NW TO EACH RESIDENTIAL UNIT. THE DEVELOPMENT WILL INCLUDE A SMALL CONCRETE DRIVE CONNECTING THE ACCESS ROAD TO EACH RESIDENCE. THE CURRENT SITE IS UNAFFECTED BY OFFSITE DRAINAGE AND THE NEW DEVELOPMENT WILL BE UNAFFECTED AS WELL AND THE NEW GRADING WILL NOT ADVERSELY AFFECT ADJACENT PROPERTIES EITHER. EACH SITE RESIDENCE WILL BE GRADED TO PROVIDE 100-YR, 10 DAY PONDING OF NEWLY DEVELOPED RUNOFF IN ORDER TO ACHIEVE 100% STORAGE OF DRAINAGE VOLUME FOR THE SITE. THE POND VOLUME PROVIDED CAPTURES ALL RUNOFF DEVELOPED ON THIS SITE.

EROSION CONTROL PLAN

1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT OUT OF EXISTING RIGHT-OF-WAY.
3. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL STORM RUN OFF ON SITE.
4. REPAIR OF DAMAGED FACILITIES AND CLEAN-UP OF SEDIMENT ACCUMULATION ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL ACCEPTANCE OF ANY PROJECT.
6. CONTRACTOR IS RESPONSIBLE FOR OBTAINING NPDES PERMIT FOR THE SITE, IF NECESSARY.

DRAINAGE FACILITIES WITHIN CITY RIGHT-OF-WAY NOTICE TO CONTRACTOR

1. AN EXCAVATION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
2. ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR MUST CONTACT THE LINE LOCATING SERVICE, NEW MEXICO ONE CALL 260-1990, (NM ONE CALL "811") FOR THE LOCATION OF EXISTING UTILITIES.
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE LOCATIONS OF ALL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
5. BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
6. MAINTENANCE OF THE FACILITY SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY BEING SERVED.
7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

HYDROLOGY CALCULATIONS

PRECIPITATION ZONE 2

DESIGN STORM: (IN)

DESIGN STORM: (IN)				1hr	6hr	24hr	4day	10day
				2.01	2.35	2.75	3.30	3.95
EXISTING CONDITIONS - OVERALL SITE								
LAND AREA	AREA	P6	Q	Q	V6	V24	V4DAY	V10DAY
TRMTNT	(ACRE)	%	(CFS/AC)	(CFS)	(CF)	(CF)	(CF)	(CF)
A	0.000	0%	0.53	1.56	0.00	0	0	0
B	0.766	76%	0.78	2.28	1.75	2,169	2,169	2,169
C	0.115	11%	1.13	3.14	0.36	472	472	472
D	0.129	13%	2.12	4.70	0.81	993	1,180	1,438
TOTALS	1.010	100%		2.71	3,633	3,821	4,078	4,383

PROPOSED CONDITIONS - OVERALL SITE									
LAND TRMTMNT	AREA (ACRE)	AREA %	P6	Q (CFS/AC)	Q (CFS)	V6 (CF)	V24 (CF)	V4DAY (CF)	V10DAY (CF)
A	0.000	0%	0.53	1.56	0.00	0	0	0	0
B	0.508	50%	0.78	2.28	1.16	1,438	1,438	1,438	1,438
C	0.000	0%	1.13	3.14	0.00	0	0	0	0
D	0.502	50%	2.12	4.70	2.36	3,863	4,592	5,594	6,779
TOTALS	1.010	100%			3.52	5,301	6,030	7,032	8,217

PROPOSED CONDITIONS - SUB-BASIN I								
LAND TRMTMNT	AREA (ACRE)	AREA %	P6 Q (CFS/AC)	Q (CFS)	V6 (CF)	V24 (CF)	V4DAY (CF)	V10DAY (CF)
A	0.000	0%	0.53	1.56	0.00	0	0	0
B	0.029	54%	0.78	2.28	0.07	82	82	82
C	0.000	0%	1.13	3.14	0.00	0	0	0
D	0.025	46%	2.12	4.70	0.12	192	229	338
TOTALS	0.054	100%		0.19	274	311	361	420

PROPOSED CONDITIONS - SUB-BASIN II									
LAND TRMTMNT	AREA (ACRE)	AREA %	P6 (CFS/AC)	Q (CFS)	Q (CF)	V6 (CF)	V24 (CF)	V4DAY (CF)	V10DAY (CF)
A	0.000	0%	0.53	1.56	0.00	0	0	0	0
B	0.017	42%	0.78	2.28	0.04	48	48	48	48
C	0.000	0%	1.13	3.14	0.00	0	0	0	0
D	0.023	58%	2.12	4.70	0.11	177	210	256	311
TOTALS	0.040	100%			0.15	225	259	304	359

PROPOSED CONDITIONS - SUB-BASIN III								
LAND TRMTMT	AREA (ACRE)	AREA %	P6 Q (CFS/AC)	Q (CFS)	V6 (CF)	V24 (CF)	V4DAY (CF)	V10DAY (CF)
A	0.000	0%	0.53	1.56	0.00	0	0	0
B	0.016	39%	0.78	2.28	0.04	45	45	45
C	0.000	0%	1.13	3.14	0.00	0	0	0
D	0.025	61%	2.12	4.70	0.12	192	229	338
TOTALS	0.041	100%		0.16	238	274	324	383

PROPOSED CONDITIONS - SUB-BASIN IV									
LAND TRMTMT	AREA (ACRE)	AREA %	P6 (CFS/AC)	Q (CFS)	Q (CF)	V6 (CF)	V24 (CF)	V4DAY (CF)	V10DAY (CF)
A	0.000	0%	0.53	1.56	0.00	0	0	0	0
B	0.016	41%	0.78	2.28	0.04	45	45	45	45
C	0.000	0%	1.13	3.14	0.00	0	0	0	0
D	0.023	59%	2.12	4.70	0.11	177	210	256	311
TOTALS	0.039	100%			0.15	222	256	302	356

PROPOSED CONDITIONS - SUB-BASIN V								
LAND TRMTMNT	AREA (ACRE)	AREA %	P6 (CFS/AC)	Q (CFS)	V6 (CF)	V24 (CF)	V4DAY (CF)	V10DAY (CF)
A	0.000	0%	0.53	1.56	0.00	0	0	0
B	0.015	38%	0.78	2.28	0.03	42	42	42
C	0.000	0%	1.13	3.14	0.00	0	0	0
D	0.025	62%	2.12	4.70	0.12	192	229	338
TOTALS	0.040	100%		0.15	229	271	321	380

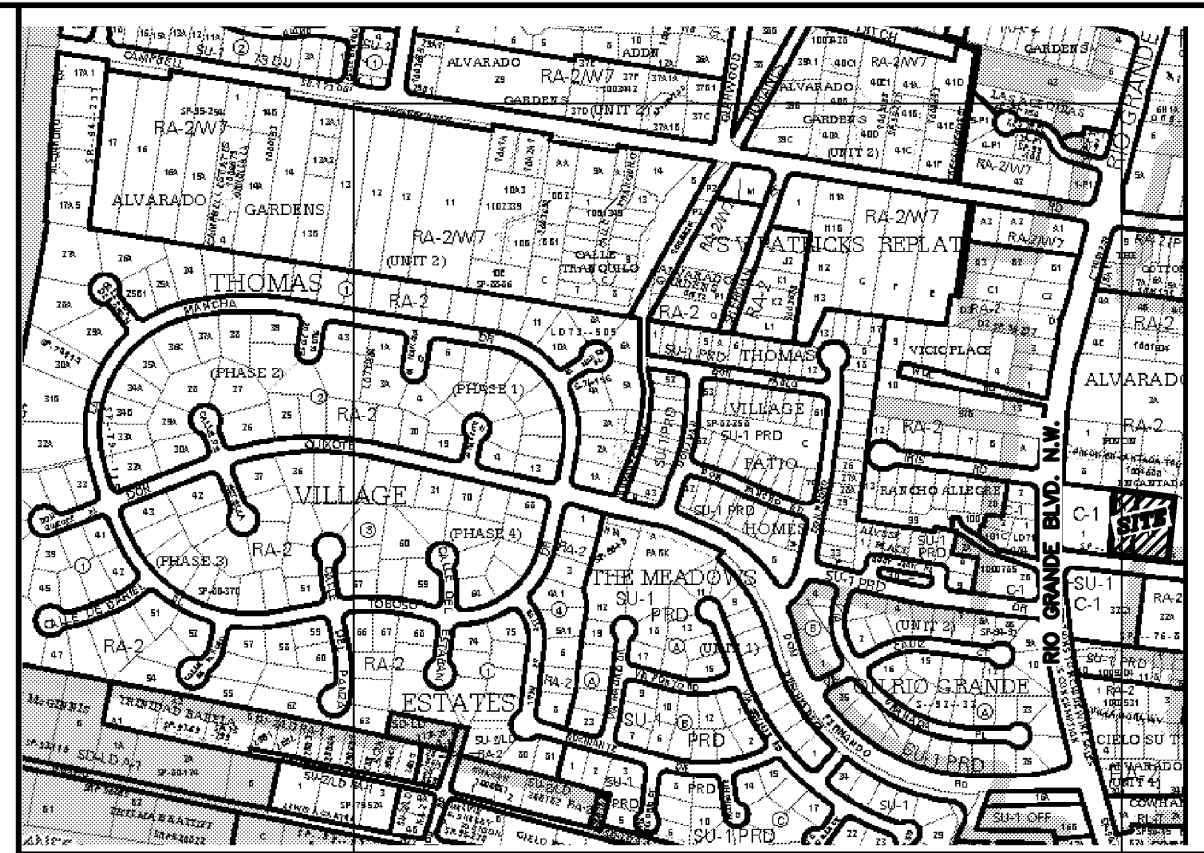
PROPOSED CONDITIONS - SUB-BASIN VI									
LAND TRTMNT	AREA (ACRE)	AREA %	P6	Q (CFS/AC)	Q (CFS)	V6 (CF)	V24 (CF)	V4DAY (CF)	V10DAY (CF)
A	0.000	0%	0.53	1.56	0.00	0	0	0	0
B	0.059	72%	0.78	2.28	0.13	167	167	167	167
C	0.000	0%	1.13	3.14	0.00	0	0	0	0
D	0.023	28%	2.12	4.70	0.11	177	210	256	311
TOTALS	0.082	100%			0.24	344	377	423	478

PROPOSED CONDITIONS - SUB-BASIN VII								
LAND TRMTMNT	AREA (ACRE)	AREA %	P6 Q (CFS/AC)	Q (CFS)	V6 (CF)	V24 (CF)	V4DAY (CF)	V10DAY (CF)
A	0.000	0%	0.53	1.56	0.00	0	0	0
B	0.180	49%	0.78	2.28	0.41	510	510	510
C	0.000	0%	1.13	3.14	0.00	0	0	0
D	0.189	51%	2.12	4.70	0.89	1,454	1,729	2,106
TOTALS	0.369	100%		1.30	1,964	2,239	2,616	3,062

PROPOSED CONDITIONS - SUB-BASIN VIII								
LAND TRMTMT	AREA (ACRE)	AREA %	P6 Q (CFS/AC)	Q (CFS)	V6 (CF)	V24 (CF)	V4DAY (CF)	V10DAY (CF)
A	0.000	0%	0.53	1.56	0.00	0	0	0
B	0.180	52%	0.78	2.28	0.41	510	510	510
C	0.000	0%	1.13	3.14	0.00	0	0	0
D	0.167	48%	2.12	4.70	0.78	1,285	1,528	1,861
TOTALS	0.347	100%		1.19	1,795	2,037	2,371	2,785

FIRST FLUSH VOLUME REQUIRED : 0.44" x 21,875 SF = 802 CF
PONDING PROVIDED : 100-YR STORM, 10-DAY VOLUME REQUIRED

SUB-BASIN I = 430 CF
SUB-BASIN II = 371 CF
SUB-BASIN III = 371 CF
SUB-BASIN VI = 371 CF
SUB-BASIN V = 621 CF
SUB-BASIN VII = 3152 CF
SUB-BASIN VIII = 2840 CF
TOTAL = 8527 CF



VICINITY MAP: 6-12-Z

SHEET KEYNOTES

1. REMOVE EXISTING DRIVEPAD
2. REMOVE EXISTING CURB AND GUTTER AND REPLACE WITH NEW CURB, GUTTER AND SIDEWALK PER C.O.A. STANDARD DRAWING #2430 AND #2415
3. NEW PRIVATE DRIVE ENTRANCE PER C.O.A. STANDARD DRAWING #2425
4. 8"x16" DRAIN BLOCK AT GRADE LEVEL INV. = 66.00
5. 8"x16" DRAIN BLOCK AT GRADE LEVEL INV. = 65.50
6. MOUNTABLE CONCRETE CURB PER A1/C200
7. ASPHALT PAVING PER A2/C200
8. 5" THICK, 4000 PSI, AIR-ENTRAINED CONCRETE DRIVEWAY
9. 4" THICK, 4000 PSI, AIR-ENTRAINED CONCRETE SIDEWALK - SEE ARCHITECTURAL FOR JOINT PATTERN
10. EXISTING STORM INLET
11. 12" WIDE SIDEWALK CULVERT PER A4/C200
12. 12" WIDE CURB BREAK FOR DRAINAGE

LEGEND

- PROPERTY LINE
- EXISTING CONTOUR
- EXISTING SPOT ELEVATION
- NEW SPOT ELEVATION
- NEW CONTOUR
- SD STORM DRAIN
- FL FLOW LINE
- TA TOP OF ASPHALT
- TC TOP OF CONCRETE
- FF FINISHED FLOOR
- MH MANHOLE
- SAS SANITARY SEWER
- INV INVERT
- ROOF DRAIN
- FLOW DIRECTION
- SWALE
- FF ELEVATION STEP
- SUB-BASIN BOUNDARY
- NEW ASPHALT PAVING
- NEW CONCRETE PAVING



REZA AFGHPOUR
P.E. #11814

SBS CONSTRUCTION AND ENGINEERING, LLC

10209 SNOWFLAKE CT., NW
ALBUQUERQUE, NEW MEXICO 87114
(505)804-5013

FILE/GUL DEVELOPMENT
2311-2315 MATTHEW AVE., NW
GRADING PLAN

DRAWING:	DRAWN BY:	DATE:	SHEET #
201808-GD.DWG	SH-B	3-7-21	C100

GRAPHIC SCALE



LAST REVISION: 3-7-2021