

CITY OF ALBUQUERQUE



Richard J. Berry, Mayor

October 27, 2017

Mike Walla, P.E.
Walla Engineering
6501 Americas Parkway, Suite 301
Albuquerque, NM 87110

RE: **File/Gul Development**
Grading and Drainage Plan
Engineer's Stamp Date 10/18/17
Hydrology File: G13D033

Dear Mr. Walla:

Based on the information provided in your submittal received 10/18/17, the Grading and Drainage Plan cannot be approved for Building Permit until the following comments are addressed.

Prior to Building Permit:

1. The site needs to be Platted and an Infrastructure List will be required for relocation of the Stormdrain and inlet (as well as traffic and ABCWUA requirements).
2. On-site retention of the developed 10-day, 100-yr volume is required. This site does not currently drain to Matthew and any discharge to the public ROW on Matthew or otherwise will require demonstration of downstream capacity in accordance with § 14-5-2-12 (G) of the Albuquerque Code of Ordinances.
3. Ponding needs to be located where runoff can reach it. Include a subbasin map showing the drainage basins for each pond.
4. It is recommended that finished floors be elevated 1' (min) above top of pond.
5. The new private drive entrance (Std Dwg 2426) needs to include the 0.87' waterblock.
6. Street names in the vicinity map need to be legible.
7. This project requires an ESC Plan, submitted to the Stormwater Quality Engineer (Curtis Cherne PE, ccherne@cabq.gov or 924-3420).

Orig: Drainage file

Albuquerque - Making History 1706-2006

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8. Private Facility Drainage Covenants are required for each lot for each stormwater quality pond. The original notarized forms, exhibits, and recording fee (\$25, payable to City of Albuquerque) must be turned into DRC (4th, Plaza del Sol) for routing. Please contact Charlotte LaBadie (clabadie@cabq.gov, 924-3996) or Madeline Carruthers (mtafoya@cabq.gov, 924-3997) regarding the routing and recording process for covenants.

Prior to Certificate of Occupancy:

9. The Drainage Covenants must be recorded with Bernalillo County and a copy included with the drainage certification.

If you have any questions, please contact me at 924-3695 or dpeterson@cabq.gov.

Sincerely,

Dana Peterson, P.E.
Senior Engineer, Planning Dept.
Development Review Services

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 11/2016)

Project Title: _____ **Building Permit #:** _____ **Hydrology File #:** _____

DRB#: _____ **EPC#:** _____ **Work Order#:** _____

Legal Description: _____

City Address: _____

Applicant: _____ **Contact:** _____

Address: _____

Phone#: _____ **Fax#:** _____ **E-mail:** _____

Other Contact: _____ **Contact:** _____

Address: _____

Phone#: _____ **Fax#:** _____ **E-mail:** _____

Check all that Apply:

DEPARTMENT:

☐ HYDROLOGY/ DRAINAGE
☐ TRAFFIC/ TRANSPORTATION

TYPE OF SUBMITTAL:

☐ ENGINEER/ARCHITECT CERTIFICATION

☐ CONCEPTUAL G & D PLAN

☐ GRADING PLAN

☐ DRAINAGE MASTER PLAN

☐ DRAINAGE REPORT

☐ CLOMR/LOMR

☐ TRAFFIC CIRCULATION LAYOUT (TCL)

☐ TRAFFIC IMPACT STUDY (TIS)

☐ OTHER (SPECIFY) _____

☐ PRE-DESIGN MEETING?

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

☐ BUILDING PERMIT APPROVAL

☐ CERTIFICATE OF OCCUPANCY

☐ PRELIMINARY PLAT APPROVAL

☐ SITE PLAN FOR SUB'D APPROVAL

☐ SITE PLAN FOR BLDG. PERMIT APPROVAL

☐ FINAL PLAT APPROVAL

☐ SIA/ RELEASE OF FINANCIAL GUARANTEE

☐ FOUNDATION PERMIT APPROVAL

☐ GRADING PERMIT APPROVAL

☐ SO-19 APPROVAL

☐ PAVING PERMIT APPROVAL

☐ GRADING/ PAD CERTIFICATION

☐ WORK ORDER APPROVAL

☐ CLOMR/LOMR

☐ OTHER (SPECIFY) _____

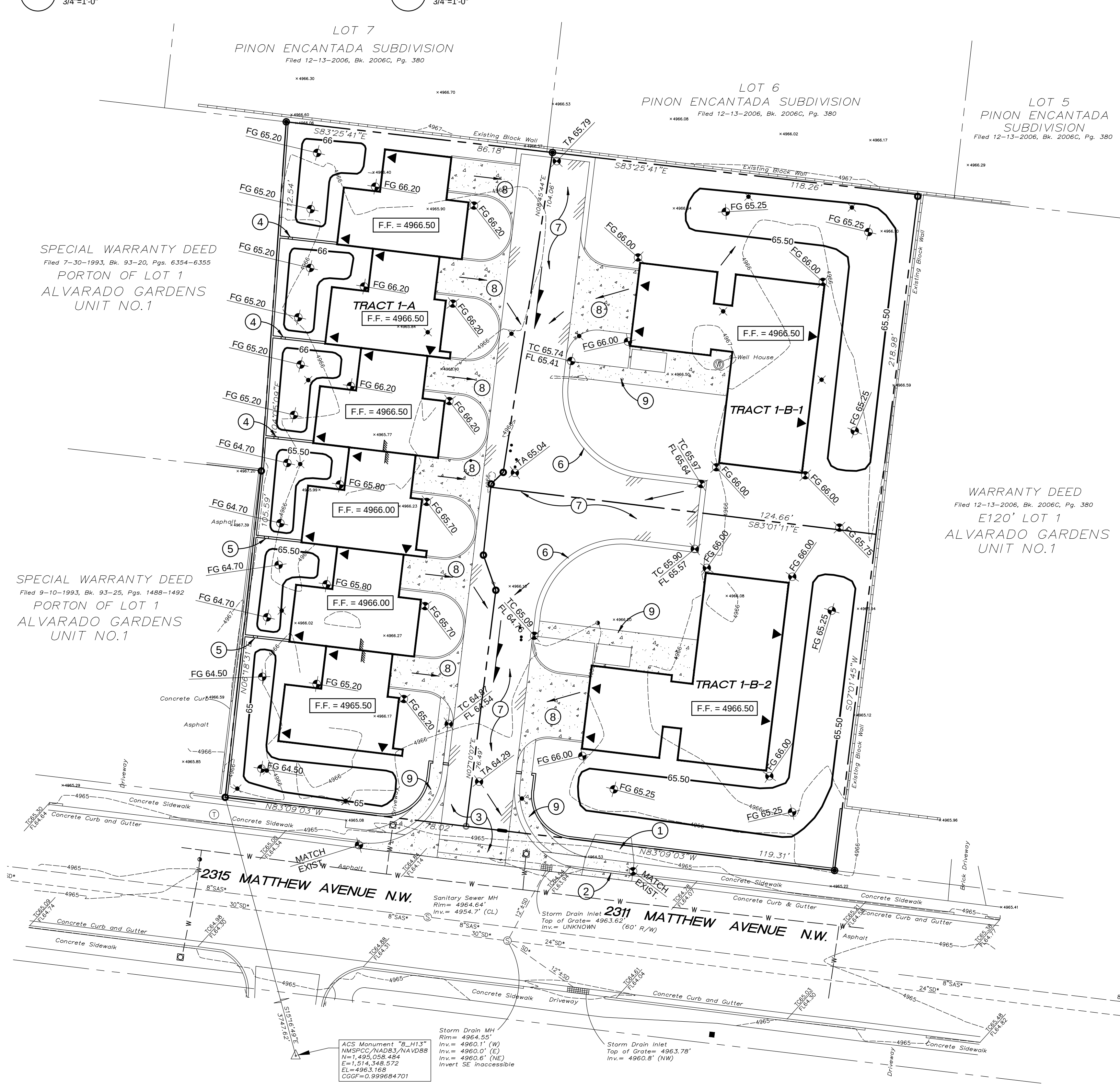
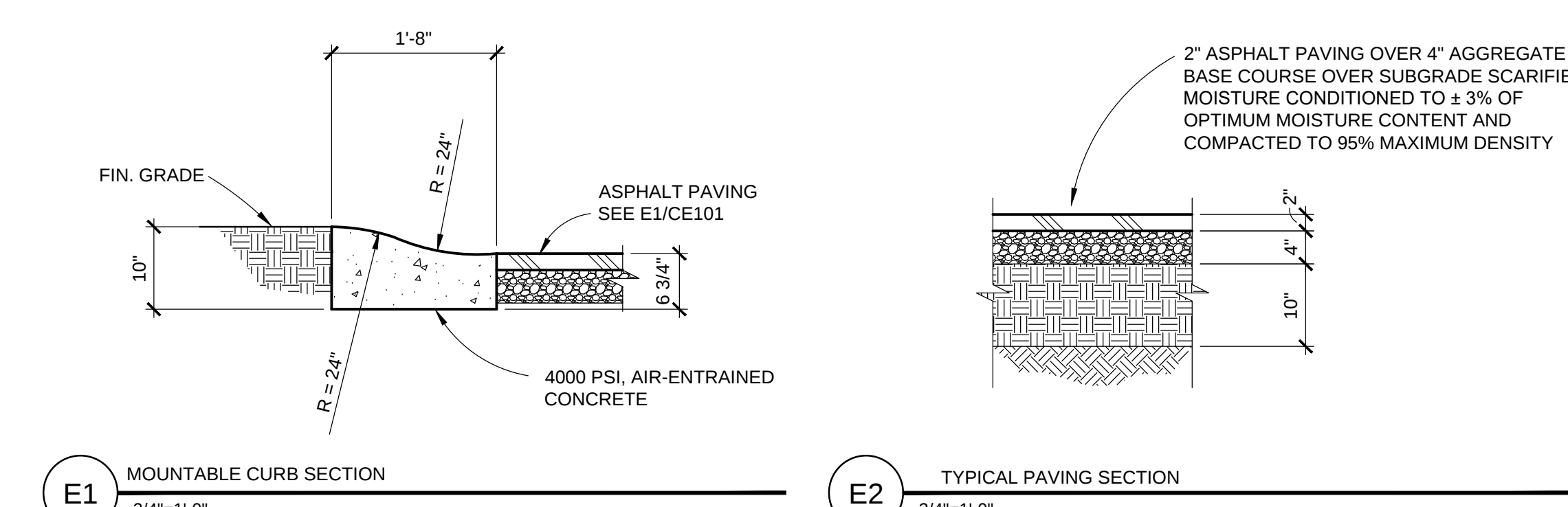
IS THIS A RESUBMITTAL?: ☐ Yes ☐ No

DATE SUBMITTED: _____ **By:** _____

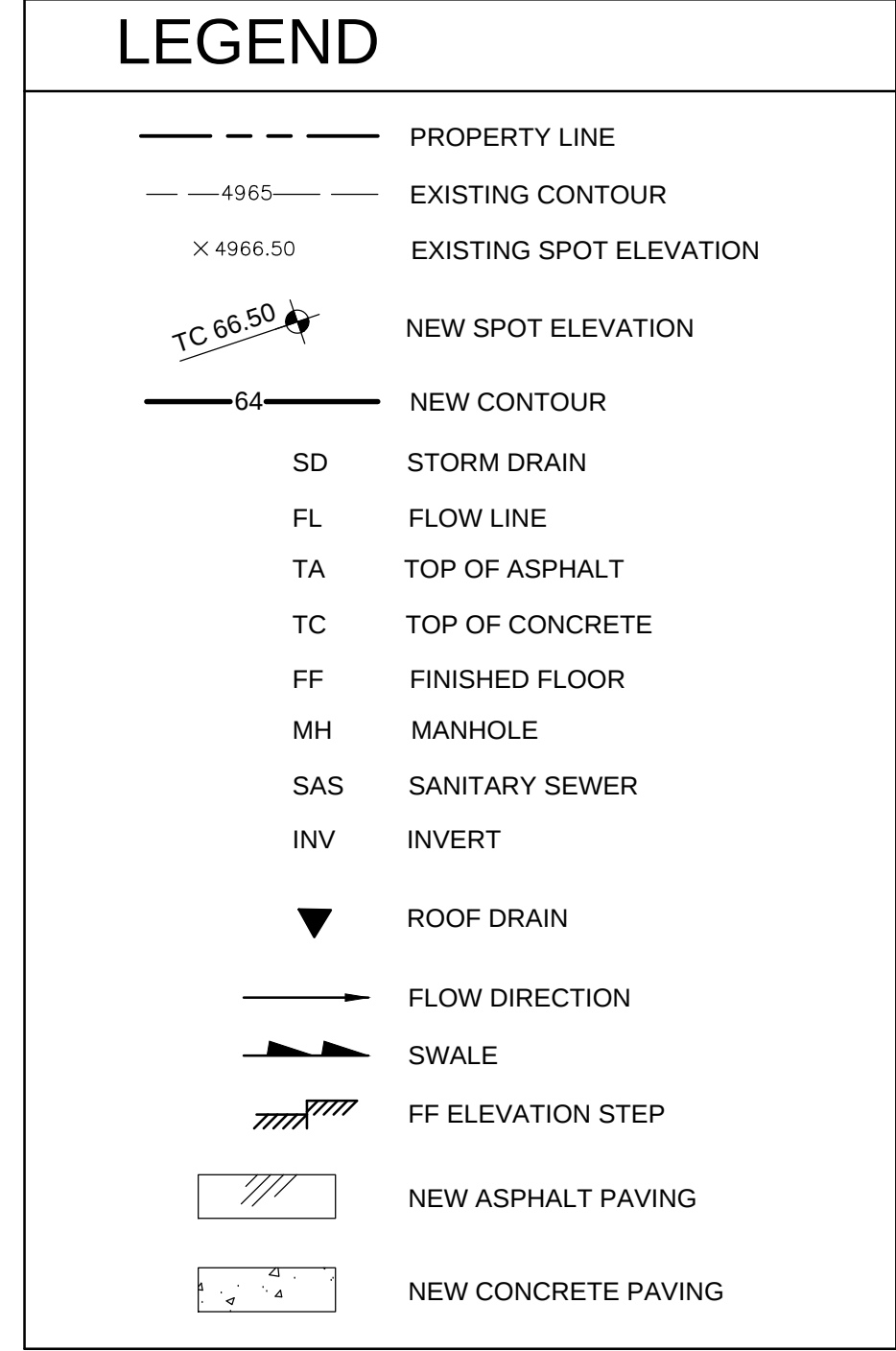
COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: _____

FEE PAID: _____



- ### SHEET KEYNOTES
- 1 REMOVE EXISTING DRIVEPAD
 - 2 REMOVE EXISTING CURB AND GUTTER AND REPLACE WITH NEW CURB, GUTTER, AND SIDEWALK PER C.O.A. STANDARD DRAWING #2430 AND #2415
 - 3 NEW PRIVATE DRIVE ENTRANCE PER C.O.A. STANDARD DRAWING #2426
 - 4 8"x16" DRAIN BLOCK AT GRADE LEVEL INV. = 66.20
 - 5 8"x16" DRAIN BLOCK AT GRADE LEVEL INV. = 65.70
 - 6 MOUNTABLE CONCRETE CURB PER E1/C100
 - 7 ASPHALT PAVING PER E2/C100
 - 8 5" THICK, 4000 PSI, AIR-ENTRAINED CONCRETE DRIVEWAY
 - 9 4" THICK, 4000 PSI, AIR-ENTRAINED CONCRETE SIDEWALK - SEE ARCHITECTURAL FOR JOINT PATTERN



HYDROLOGY CALCULATIONS

PRECIPITATION ZONE 2
DESIGN STORM: (IN)

			1hr	6hr	
			2.01	2.35	
EXISTING CONDITIONS					
LAND AREA	AREA	P6	Q	Q	V6
TRTMNT	(ACRE)	%	(CFS/AC)	(CFS)	(CF)
A	0.000	0%	0.53	1.56	0.00
B	0.766	76%	0.78	2.28	1.75
C	0.115	11%	1.13	3.14	0.36
D	0.129	13%	2.12	4.70	0.61
TOTALS	1.010	100%		2.71	3,633
PROPOSED CONDITIONS					
LAND AREA	AREA	P6	Q	Q	V6
TRTMNT	(ACRE)	%	(CFS/AC)	(CFS)	(CF)
A	0.000	0%	0.53	1.56	0.00
B	0.508	50%	0.78	2.28	1.16
C	0.000	0%	1.13	3.14	0.00
D	0.502	50%	2.12	4.70	2.36
TOTALS	1.010	100%		3.52	5,301
PROPOSED CONDITIONS - EACH TOWNHOUSE UNIT					
LAND AREA	AREA	P6	Q	Q	V6
TRTMNT	(ACRE)	%	(CFS/AC)	(CFS)	(CF)
A	0.000	0%	0.53	1.56	0.00
B	0.015	39%	0.78	2.28	0.03
C	0.000	0%	1.13	3.14	0.00
D	0.024	62%	2.12	4.70	0.11
TOTALS	0.039	100%		0.15	227
PROPOSED CONDITIONS - EACH RESIDENCE					
LAND AREA	AREA	P6	Q	Q	V6
TRTMNT	(ACRE)	%	(CFS/AC)	(CFS)	(CF)
A	0.000	0%	0.53	1.56	0.00
B	0.114	66%	0.78	2.28	0.26
C	0.000	0%	1.13	3.14	0.00
D	0.058	34%	2.12	4.70	0.27
TOTALS	0.172	100%		0.53	769

FIRST FLUSH VOLUME REQUIRED : 0.44" x 21,876 SF = 802 CF
PONDING PROVIDED : TOWNHOUSE UNITS ± 300 CF x 6 = 1800 CF
RESIDENTIAL UNITS ± 870 CF x 2 = 1740 CF
TOTAL = 3540 CF

LEGAL DESCRIPTION

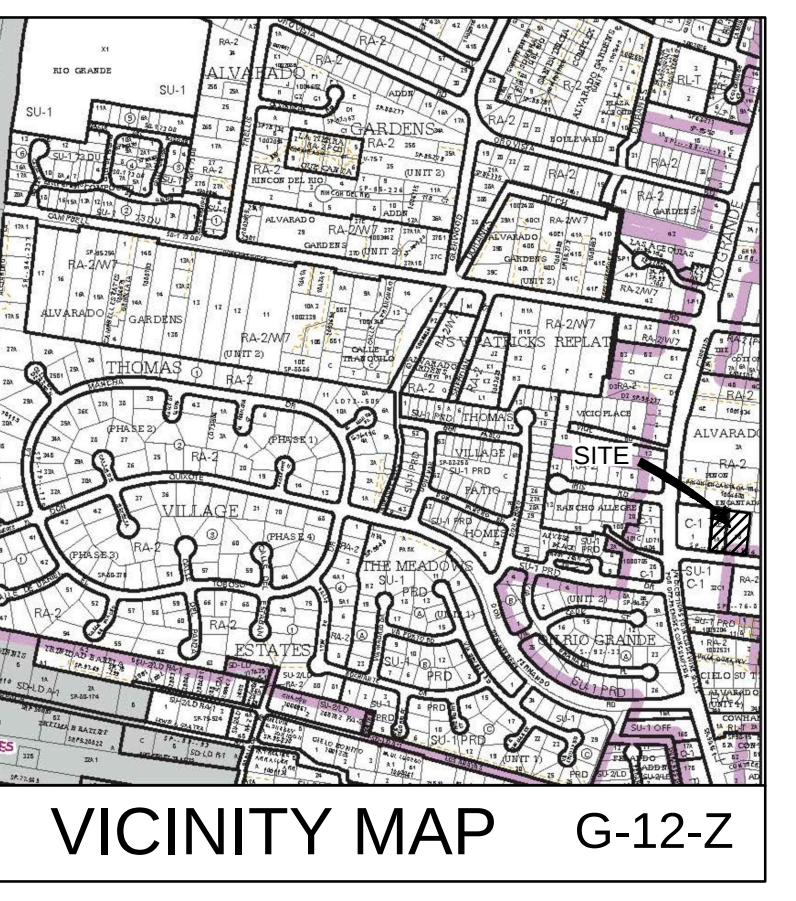
TRACTS 1-A, 1-B-1 AND 1-B-2 ALVARADO GARDENS, UNIT 1, WITHIN TOWN OF ALBUQUERQUE GRANT, PROJECTED SECTION 6, TOWNSHIP 10 NORTH, RANGE 3 EAST, N.M.P.M., CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, SEPTEMBER 2017

BASIS OF ELEVATIONS

ELEVATIONS ARE BASED ON ACS MONUMENT "8_H13" NMSPCC/NAV83/NAV88 HAVING AN ELEVATION OF 4963.168

DESIGN NARRATIVE

THE SUBJECT PROJECT IS A 1.01 ACRE DEVELOPED SITE THAT HAD PREVIOUSLY BEEN THE LOCATION OF A RESIDENCE WITH SEVERAL RANDOM OUT BUILDINGS. THESE BUILDINGS AND THE CURRENT RESIDENCE WILL BE DEMOLISHED AND OR REMOVED FROM THE SITE FOR THIS NEW DEVELOPMENT WHICH WILL INCLUDE 2 INDIVIDUAL RESIDENCES AND SIX COMMON WALL TOWNHOUSES. AN ASPHALT PAVED ACCESS DRIVE WILL BE CONSTRUCTED TO PROVIDE CONNECTION FROM MATTHEW AVE NW TO EACH RESIDENTIAL UNIT. THE DEVELOPMENT WILL INCLUDE A SMALL CONCRETE DRIVE CONNECTING THE ACCESS ROAD TO EACH RESIDENCE. THE CURRENT SITE IS UNAFFECTED BY OFFSITE DRAINAGE AND THE NEW DEVELOPMENT WILL BE UNAFFECTED AS WELL AND THE NEW GRADING WILL NOT ADVERSELY AFFECT ADJACENT PROPERTIES EITHER. EACH SITE RESIDENCE WILL BE GRADED TO PROVIDE SOME PONDING OF NEWLY DEVELOPED RUNOFF IN ORDER TO ACHIEVE A FIRST FLUSH VOLUME FOR THE SITE. THE SITE IS LOCATED IN A DEVELOPED PART OF TOWN AND THE ADDED DIFFERENTIAL OF DEVELOPED FLOW TO DOWNSTREAM FACILITIES WILL BE CAPTURED IN ONSITE PONDS. THE POND VOLUME PROVIDED FAR EXCEEDS THE REQUIRED FIRST FLUSH VOLUME CALCULATED FOR THE SITE.



- ### EROSION CONTROL PLAN
- 1 CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
 - 2 CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT OUT OF EXISTING RIGHT-OF-WAY.
 - 3 CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL STORM RUN OFF ON SITE.
 - 4 REPAIR OF DAMAGED FACILITIES AND CLEAN-UP OF SEDIMENT ACCUMULATION ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
 - 5 ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL ACCEPTANCE OF ANY PROJECT.
 - 6 CONTRACTOR IS RESPONSIBLE FOR OBTAINING NPDES PERMIT FOR THE SITE, IF NECESSARY.
- ### DRAINAGE FACILITIES WITHIN CITY RIGHT-OF-WAY NOTICE TO CONTRACTOR
1. AN EXCAVATION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
 2. ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
 3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR MUST CONTACT THE LINE LOCATING SERVICE, NEW MEXICO ONE CALL 260-1990, (NM ONE CALL "811") FOR THE LOCATION OF EXISTING UTILITIES.
 4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE LOCATIONS OF ALL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
 5. BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
 6. MAINTENANCE OF THE FACILITY SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY BEING SERVED.
 7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.