

CITY OF ALBUQUERQUE

Planning Department
David Campbell, Director



Mayor Timothy M. Keller

June 19, 2018

Thomas D. Johnston, P.S., P.E.
TGC Engineering
330 Louisiana Blvd NE
Albuquerque, NM, 87108

RE: 1422 Van Cleave Road NW
Grading and Drainage Plan
Stamp Date: 5/23/18
Hydrology File: G13D034

Dear Mr. Johnston:

PO Box 1293

Based upon the information provided in your submittal received 05/25/18, the Grading and Drainage Plan **is not** approved for Building Permit. The following comments need to be addressed for approval of the above referenced project:

Albuquerque

NM 87103

www.cabq.gov

1. Please provide the FIRM Map and flood plain note with effective date. This site is in Zone "X" (Area with reduced flood risk due to levee) per FEMA FIRM Map 35043C2125D dated March 18, 2008. Please do not reference any other flood hazard maps since these are not accurate for flood insurance.
2. Since this site is in the Valley region and in Zone "X" (Area with reduced flood risk due to levee), please follow Chapter 22 Section 5.G (Flat Grading Scheme). The following conditions must be applied to the site:
 - a. The maximum percent impervious of the lot and the contributing area may not be greater than 45%.
 - b. Pad elevation shall be a minimum of one (1) foot above the 100 year 10-day storm water surface elevation.
 - c. The flow between the front yard and back yard cannot be obstructed. The storm water must be allowed to equalize to the same level between the front yard and back yard.
 - d. A permanent perimeter wall or barrier around the development is required to contain the 100 year 24 hour storm developed runoff.
 - e. The high point of the street should be four inches above the 100 year 10-day storm water surface elevation.

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Also a retention pond is required. The required volume = (3.67 in. X impervious area / (12in/ft)). The location with elevation of pond and the calculation of both the required and actual volume needs to be shown on the Grading Plan.

The resubmittal fee for a single family residence is \$75. This is to be paid when you drop off the resubmittal package.

If you have any questions, please contact me at 924-3995 or rbrissette@cabq.gov.

Sincerely,

Renée C. Brissette

Renée C. Brissette, P.E. CFM
Senior Engineer, Hydrology
Planning Department

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 09/2015)

Project Title: _____ **Building Permit #:** _____ **City Drainage #:** _____

DRB#: _____ **EPC#:** _____ **Work Order#:** _____

Legal Description: _____

City Address: _____

Engineering Firm: _____ **Contact:** _____

Address: _____

Phone#: _____ **Fax#:** _____ **E-mail:** _____

Owner: _____ **Contact:** _____

Address: _____

Phone#: _____ **Fax#:** _____ **E-mail:** _____

Architect: _____ **Contact:** _____

Address: _____

Phone#: _____ **Fax#:** _____ **E-mail:** _____

Other Contact: _____ **Contact:** _____

Address: _____

Phone#: _____ **Fax#:** _____ **E-mail:** _____

Check all that Apply:

DEPARTMENT:

- ☐ HYDROLOGY/ DRAINAGE
☐ TRAFFIC/ TRANSPORTATION
☐ MS4/ EROSION & SEDIMENT CONTROL

TYPE OF SUBMITTAL:

- ☐ ENGINEER/ ARCHITECT CERTIFICATION
- ☐ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☐ DRAINAGE MASTER PLAN
☐ DRAINAGE REPORT
☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ TRAFFIC IMPACT STUDY (TIS)
☐ EROSION & SEDIMENT CONTROL PLAN (ESC)
- ☐ OTHER (SPECIFY) _____

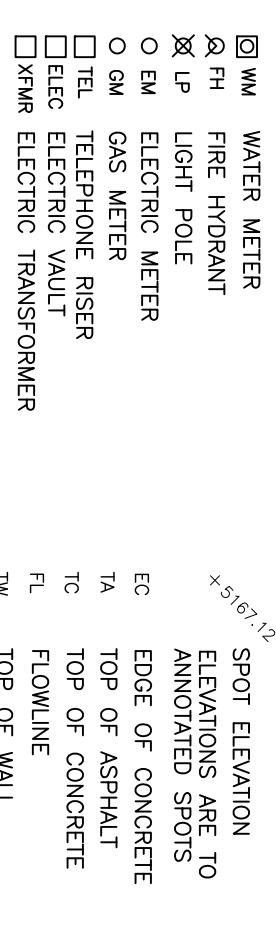
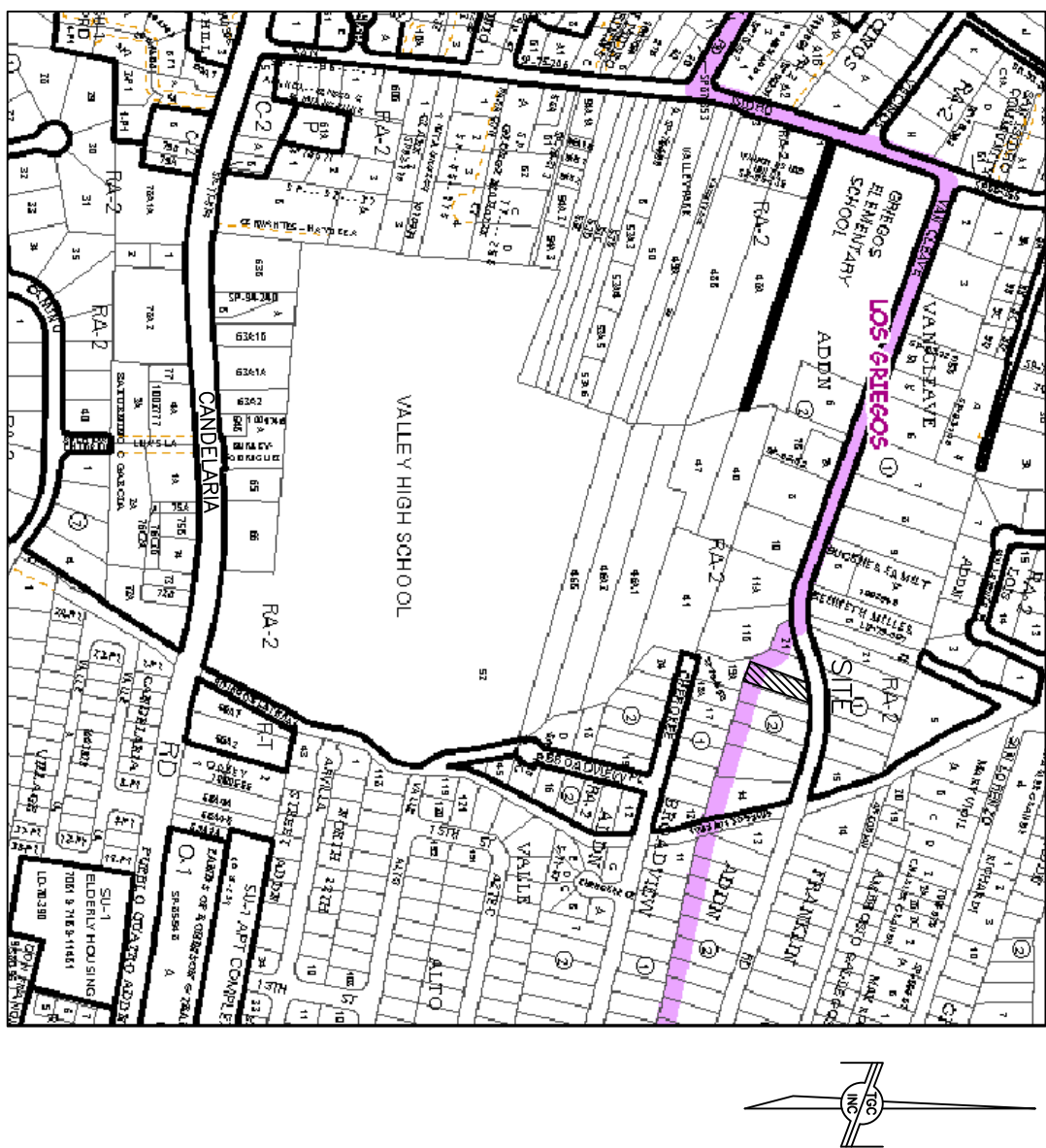
CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY
- ☐ PRELIMINARY PLAT APPROVAL
☐ SITE PLAN FOR SUB'D APPROVAL
☐ SITE PLAN FOR BLDG. PERMIT APPROVAL
☐ FINAL PLAT APPROVAL
☐ SIA/ RELEASE OF FINANCIAL GUARANTEE
☐ FOUNDATION PERMIT APPROVAL
☐ GRADING PERMIT APPROVAL
☐ SO-19 APPROVAL
☐ PAVING PERMIT APPROVAL
☐ GRADING/ PAD CERTIFICATION
☐ WORK ORDER APPROVAL
☐ CLOMR/LOMR
- ☐ PRE-DESIGN MEETING
☐ OTHER (SPECIFY) _____

IS THIS A RESUBMITTAL?: ☐ Yes ☐ No

DATE SUBMITTED: _____ **By:** _____

COA STAFF: _____ ELECTRONIC SUBMITTAL RECEIVED: _____



LEGAL DESCRIPTION

Lot numbered Nineteen (19), in Block numbered Two (2) of the FRANKLIN ADDITION, as the same is shown and designated on said plat filed in the office of the County Clerk of Bernalillo County, New Mexico on May 8, 1946 in Plat Book C1, Page 7.

FLOOD ZONE DESIGNATION

It is hereby certified that this property is not located within a 100-year flood hazard boundary in accordance with current HUD Federal Administration Flood Hazard Boundary Maps dated August 16, 2012. Zone X (0.2% Chance Flood Hazard) Panel 350002 0118 G.

BENCH MARK

Basis of elevations: ACS STATION "10-G13A" NAVD 88 MSL ELEVATION: 4970.872
TBM: TOP OF WATER METER NEAR NORTHWEST CORNER OF PROPERTY MSL: 4971.81

NOTICE TO CONTRACTOR

PROPOSED CONTOURS AND SPOT ELEVATIONS SHOWN ARE TO FINISHED SURFACES AND ARE PROVIDED FOR THE PURPOSE OF SHOWING FLOW ROUTING.

CONTRACTOR IS RESPONSIBLE FOR THE ABATEMENT OF SEDIMENT ONTO ADJOINING PUBLIC RIGHTS-OF-WAY DURING CONSTRUCTION AND FOR THE REMOVAL OF ANY SEDIMENT DEPOSITED IN PUBLIC RIGHT-OF-WAY.

CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITS PRIOR TO ANY GRADING OR CONSTRUCTION.

SITE IS NOT SUBJECT TO NPDES SWPPP REQUIREMENTS (DISTURBED AREA < 1 ACRE).

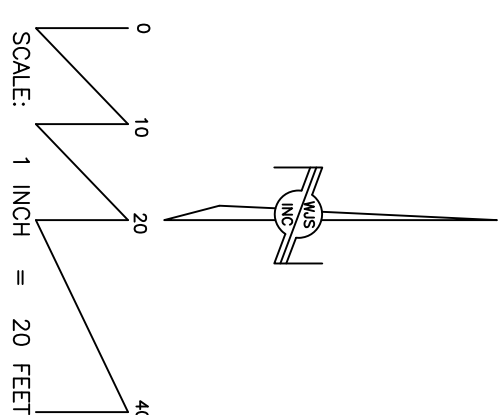
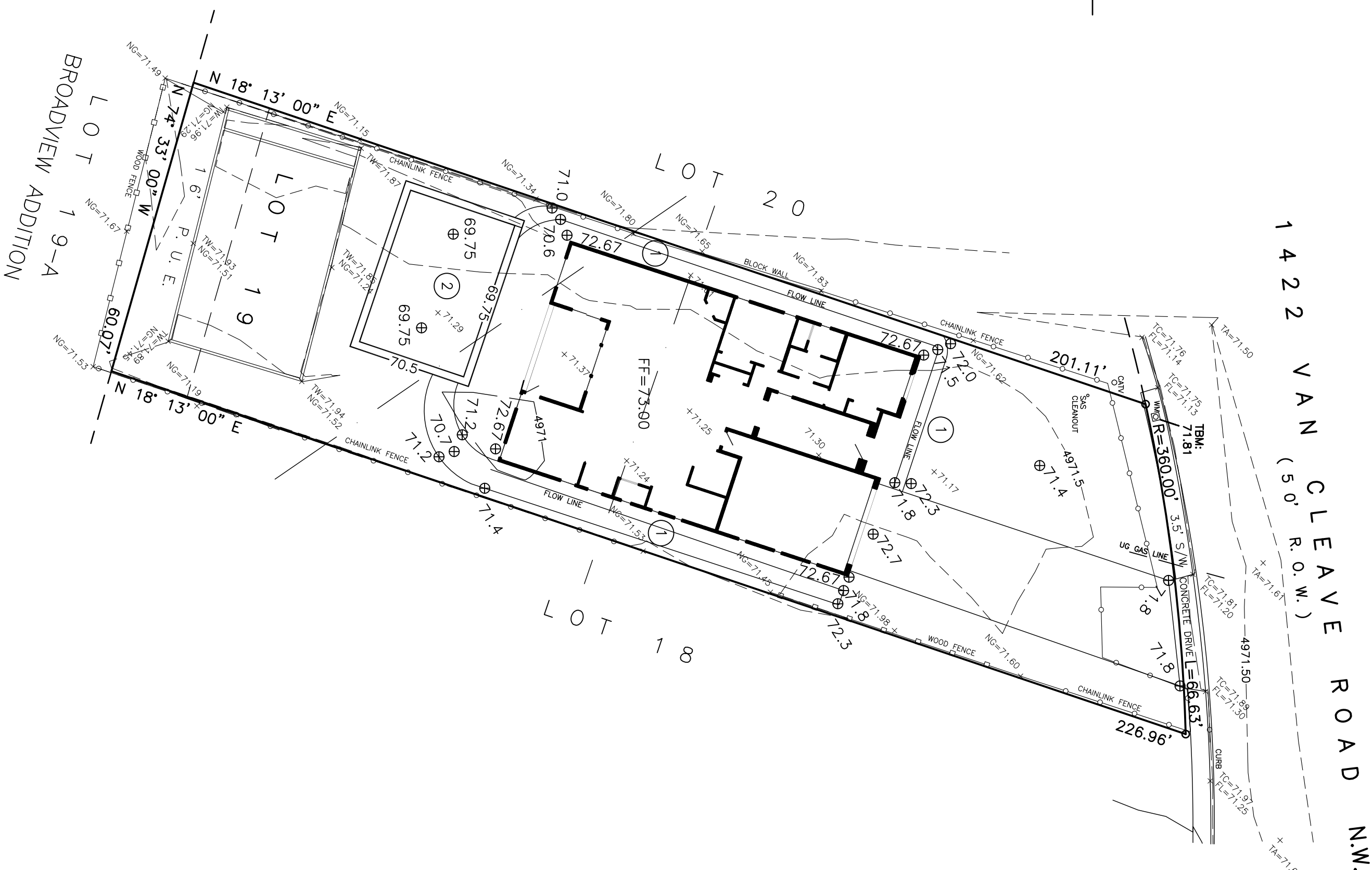
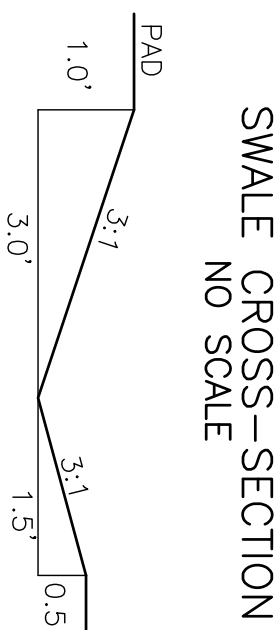
NO WORK SHALL BE PERFORMED IN THE PUBLIC ROW WITHOUT AN EXCAVATION PERMIT.

DRAINAGE NOTES:

- ROOF DRAINAGE CONVEYED TO SWALES TO CAPTURE FIRST FLUSH IN RETENTION PONDS.

KEYED NOTES

- ① SWALE, 6" DEPTH, 3:1 SIDE SLOPES
- ② POND, 595.5 cf, 0.75 FOOT DEPTH



DRAINAGE CONCEPT

THE DRAINAGE CONCEPT FOR THIS SITE IS TO RETAIN THE FIRST FLUSH OF PRECIPITATION WITHIN THE LANDSCAPED AREAS. ADDITIONAL PRECIPITATION SHALL BE RETAINED IN THE FIRST FLUSH POND DUE TO THE NATURAL SLOPE OF THE PROPERTY FROM NORTH TO SOUTH.

ONSITE HYDROLOGY

ADVANCE DATA									
THIS SITE IS WITHIN PRECIPITATION ZONE 2									
Condition	Season	Treatment	Precip.	Runoff	Volume	Rate			
(Years)	(Type)	(Sq. Ft.)	(in.)	(Table A-6)	(cu. Ft.)	(G/S)			
EXISTING	100	A	0.53	1.56	0.0	0.00			
		B	12,910	0.78	288	839.2	0.68		
		C	0	1.13	0.0	0.00	0.00		
		D	0	2.12	4.70	0.0	0.00	0.00	
EXISTING	10	A	0.13	0.38	0.0	0.00	0.00		
		B	12,910	0.28	956	301.2	0.28		
		C	0	0.52	1.71	0.0	0.00	0.00	
		D	0	0.24	0.65	0.0	0.00	0.00	
DEVELOPED	100	A	0	0.52	1.56	0.0	0.00		
		B	5,882	0.78	228	383.0	0.31		
		C	2,389	1.13	3.14	2.28	0.17		
		D	4,659	0.42	4.70	823.1	0.50		
DEVELOPED	10	A	0	0.13	0.38	0.0	0.00		
		B	5,882	0.28	956	137.5	0.13		
		C	2,389	0.52	1.71	102.2	0.09		
		D	4,659	1.34	3.14	520.3	0.34		
TOTAL (EXT)	100				839.2	0.7			
TOTAL (DEV)	100				301.2	1.0			
TOTAL (DEV)	10				1,428.2	0.3			
	10				760.0	0.6			
FLOW RATE INCREASES (100-YR) =	0.3	CFS							
FLOW RATE INCREASES (100-YR) =	0.3	CFS							
6-HOUR RUNOFF INCREASE (100-YR) =	569.1	CU. FT.							
6-HOUR RUNOFF INCREASE (100-YR) =	458.7	CU. FT.							

FIRST FLUSH INFORMATION

THE FIRST FLUSH PRECIPITATION USED IS 0.34" (0.03') OF PRECIPITATION FOR ANY STORM. FIRST FLUSH RETENTION POND VOLUME = (0.03') x IMPERVIOUS SURFACE IN sf.

FIRST FLUSH VOLUME = 132 cf.
THE PONDING AREA WILL CARRY 595.5 cf.

OFFSITE FLOW INFORMATION

OFFSITE FLOWS FROM ADJACENT PROPERTIES ARE NEGLIGIBLE

DRAINAGE AND GRADING PLAN

1422 VAN CLEAVE ROAD NW RESIDENCE



330 LOUISIANA BLVD. NE
ALBUQUERQUE, NM 87108

SHEET NO. C1

DESIGN DATE:	REVISION:	CITY PR
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TY PROJECT NO