

CITY OF ALBUQUERQUE

Planning Department
Brennon Williams, Director



Mayor Timothy M. Keller

July 1, 2020

David Soule, P.E.
Rio Grande Engineering
P.O. Box 93924
Albuquerque, NM 87199

RE: 1459 Valle Lane. NW
Grading and Drainage Plan
Engineer's Stamp Date: 06/28/20
Hydrology File: G13D039

Dear Mr. Soule:

PO Box 1293

Based upon the information provided in your submittal received 06/29/20, the Grading and Drainage Plan is approved for Building Permit.

Albuquerque

Once the grading is complete, a pad certification will be required prior to release of Building Permit. Please attach a copy of this approved plan in the construction sets for Building Permit processing along with a copy of this letter and the pad certification approval letter.

NM 87103

Prior to approval in support of Permanent Release of Occupancy by Hydrology, Engineer Certification per the DPM checklist will be required.

www.cabq.gov

If you have any questions, please contact me at 924-3995 or rbrissette@cabq.gov.

Sincerely,

Renée C. Brissette, P.E. CFM
Senior Engineer, Hydrology
Planning Department

Weighted E Method

Basin	Area (sf)	Area (acres)	100-Year, 6-hr								10-day	
			Treatment A	Treatment B	Treatment C	Treatment D	Weighted E	Volume	Flow		Volume	
EXISTING	14529.00	0.334	40%	0.1334	60%	0.200	0%	0	0%	0.000	0.680	0.019
PROP TO STREET	3049.00	0.070	0%	0	15%	0.010	42%	0.0294	43%	0.030	1.503	0.009
PROP TO RETAIN	11480.00	0.264	0%	0	36%	0.095	46%	0.1212	19%	0.050	1.203	0.026
ALLOWED											0.83	0.033

Equations:

Weighted E = Ea*Aa + Eb*Ab + Ec*Ac + Ed*Ad / (Total Area)

Volume = Weighted D * Total Area

Flow = Qa * Aa + Qb * Ab + Qc * Ac + Qd * Ad

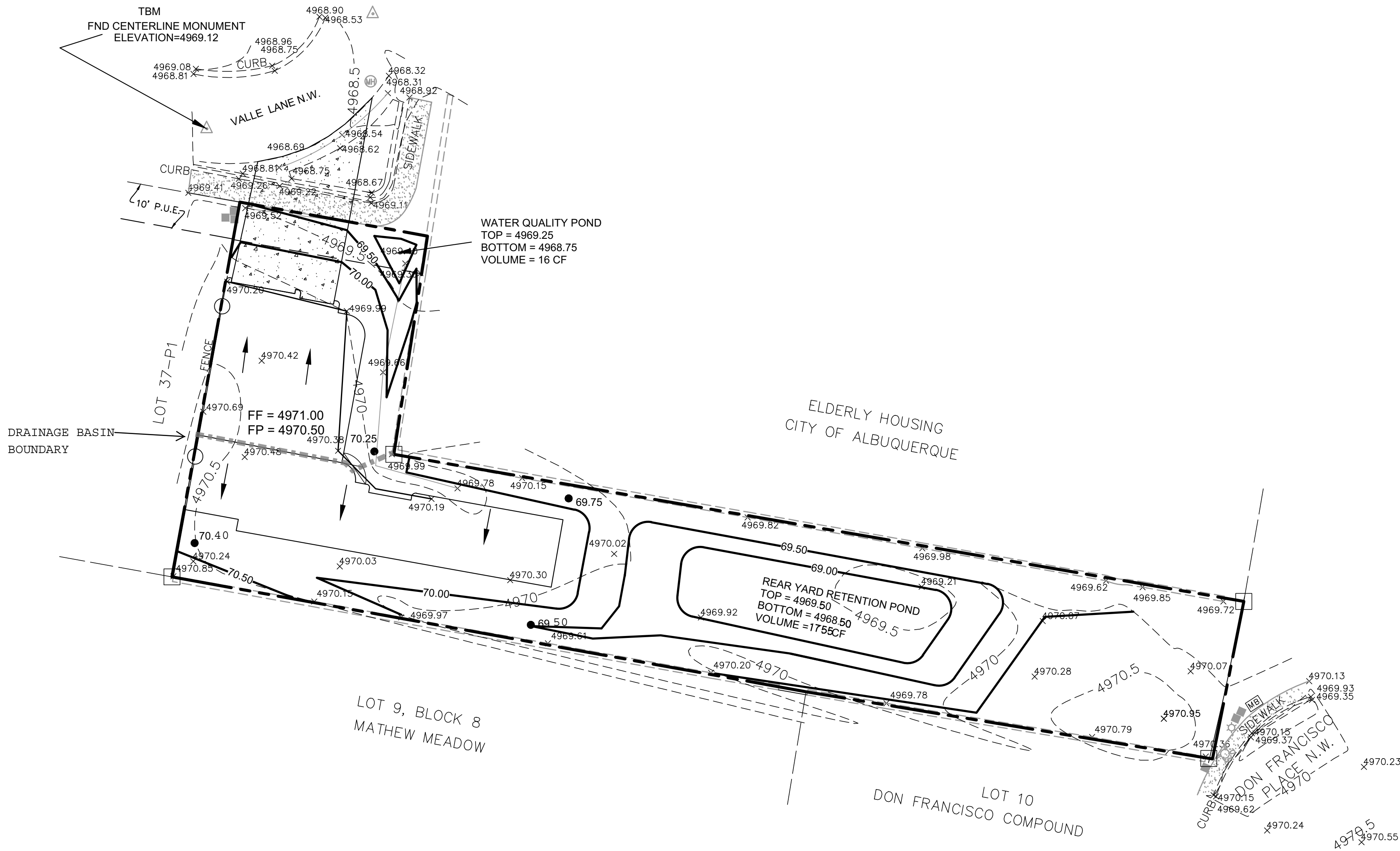
Where for 100-year, 6-hour storm
Ea= 0.53
Eb= 0.78
Ec= 1.13
Ed= 2.12
Qa= 1.56
Qb= 2.28
Qc= 3.14
Qd= 4.7

Developed Conditions

DRAINS TO STREET	
EXISTING	0.66 CFS
PROPOSED	0 CFS
REAR YARD RETENTION	
GENERATED	10-DAY 1442 CF
RETAINED	1775 CF

NARRATIVE

THIS PROJECT CONSISTS OF THE CONSTRUCTION OF A NEW HOME IN AN EXISTING SUBDIVISION. THE SITE IS SURROUNDED BY FULLY DEVELOPED INFRASTRUCTURE. THE DRAINAGE PLAN FOR THE SUBDIVISION(G13D25) CALLS FOR FREE DISCHARGE OF THE DEVELOPED AREA AND RETENTION OF REAR YARDS. THE FLOWS ENTER THE ROADWAY AND ARE CAPTURED BY AN ONSITE INLET CONVEYING THE FLOW TO AN EXISTING STORM DRAIN IN CANDELARIA. DUE TO THE UNIQUE LOT SHAPE THE DRAINAGE SOLUTION PROVIDES FOR FREE DISCHARGE OF THE MAJORITY OF THE DEVELOPED AREA AND RETENTION OF THE AREA THAT CAN NOT DRAIN TO THE STREET. THE VOLUME RETAINED SHALL BE THE 100-YEAR 10-DAY VOLUME.



CAUTION:

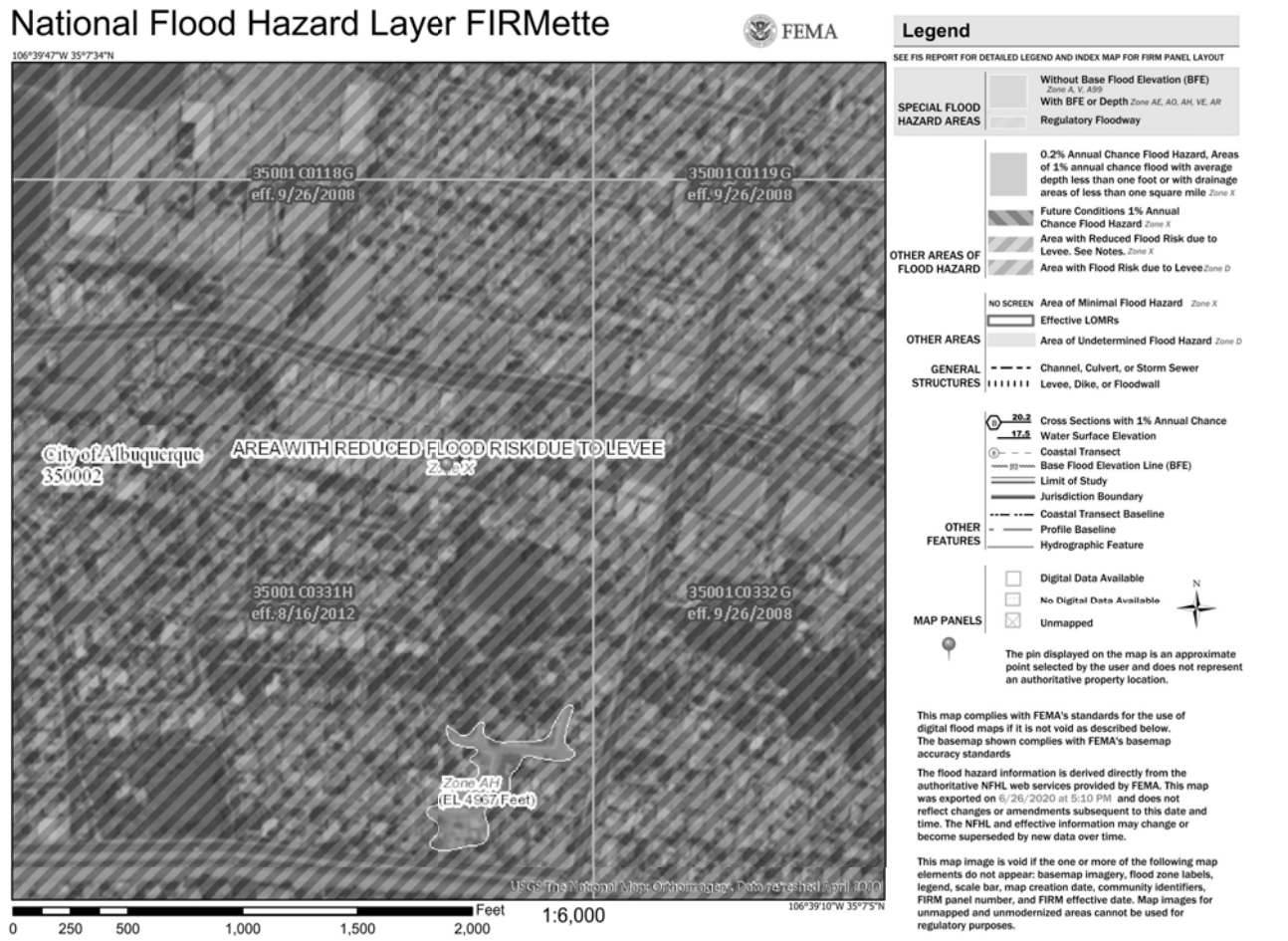
EXISTING UTILITIES ARE NOT SHOWN. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO ANY EXCAVATION TO DETERMINE THE ACTUAL LOCATION OF UTILITIES & OTHER IMPROVEMENTS.

EROSION CONTROL NOTES:

1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
3. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
4. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL ACCEPTANCE OF ANY PROJECT.



VICINITY MAP: G-13-Z



FIRM MAP:

LEGAL DESCRIPTION:

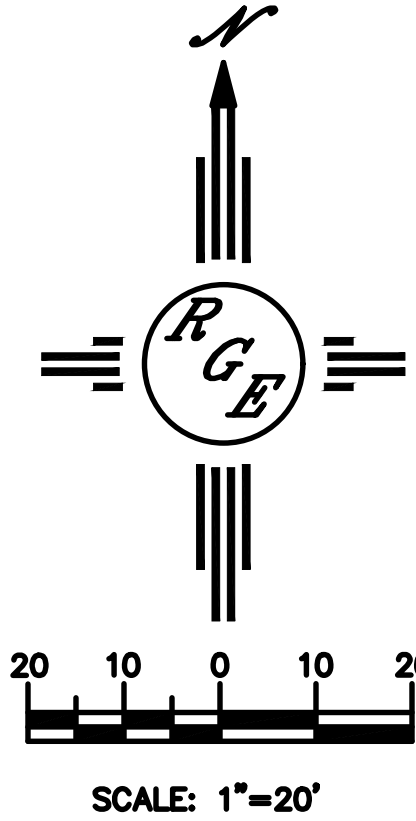
LOT 38-P1 CANDELARIA VILLAGE
CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO

NOTES:

1. ALL SPOT ELEVATIONS REPRESENT FLOWLINE ELEVATION UNLESS OTHERWISE NOTED.
2. ALL SLOPES SHALL BE 3:1 MAX. AND GRAVEL OR NATIVE SEEDING PRIOR TO CO.
3. ANY PERIMETER WALLS MUST BE PERMITTED SEPARATELY. ALL RETAINING WALL DESIGN SHALL BE BY OTHERS.
4. SURVEY INFORMATION PROVIDED BY COMMUNITY SCIENCES CORPORATION USING NAVD DATUM 1988.
5. A PAD ELEVATION CERTIFICATION SHALL BE REQUIRED PRIOR TO RELEASE OF BUILDING PERMIT.

LEGEND

-----XXXX-----	EXISTING CONTOUR
- - - - -XXXX- - - - -	EXISTING INDEX CONTOUR
-----XXXX-----	PROPOSED CONTOUR
-----XXXX-----	PROPOSED INDEX CONTOUR
+ XXXXX	EXISTING SPOT ELEVATION
● XXXX	PROPOSED SPOT ELEVATION
-----	BOUNDARY
----->-----	PROPOSED EARTHEN SWALE
-----	ADJACENT BOUNDARY
=====	EXISTING CURB AND GUTTER
=====	PROPOSED CONCRETE DRIVEWAY



ENGINEER'S SEAL	LOT 38-P1 CANDELARIA VILLAGE 1459 VALLE LANE, N.W.	DRAWN BY DEM
DAVID SOULE 14522 PROFESSIONAL ENGINEER	GRADING AND DRAINAGE PLAN	DATE 6-27-20
6/28/20	Rio Grande Engineering 1608 CENTRAL AVENUE SE SUITE 201 ALBUQUERQUE, NM 87106 (505) 972-0899	LOT 38-P1 CANDELARIA VILLAGE DWG
		SHEET # C1
		JOB #