

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Interim Director



Mayor Timothy M. Keller

September 15, 2021

Levi J. Valdez, PE
George T Rodriguez-Development Consultant
12800 San Juan Rd. SE
Albuquerque, NM 87123

RE: Castillo Residence
3305 Meadow View Dr. NW
Grading and Drainage Plan
Engineer's Stamp Date: 07/15/21
Engineer's Certification Date: 09/13/21
Hydrology File: G13D041

Dear Mr. Valdez:

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

Based upon the information provided in your submittal received 09/14/2021 and site photos sent on 09/15/21, the Grading and Drainage Plan is approved for Building Permit and Building Pad Certification for 3305 Meadow View Dr. NW. Please attach a copy of this approved plan in the construction sets for Building Permit processing along with a copy of this letter.

Prior to approval in support of Permanent Release of Occupancy by Hydrology, Engineer Certification per the DPM checklist will be required.

If you have any questions, please contact me at 924-3995 or rbrissette@cabq.gov.

Sincerely,

Renée C. Brissette, P.E. CFM
Senior Engineer, Hydrology
Planning Department



City of Albuquerque

Planning Department
Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 6-2018)

Project Title: CASTILLO RESIDENCE Building Permit #: _____ Hydrology File #: _____

DRB#: _____ EPC#: _____ Work Order#: _____

Legal Description: LOT 28-B, PLAT OF LOTS 28-A & 28-B, ALVARADO GARDENS

City Address: 3305 MEADOWVIEW DRIVE N.W.

Applicant: ACCESS SOLUTIONS, INC. Contact: DAVID MANN

Address: 4545 MCLEOD ROAD N.E., ALBUQUERQUE, NEW MEXICO 87109

Phone#: 505-379-4863 Fax#: _____ E-mail: dave@nmaccess.com

Other Contact: LEVI J. VALDEZ, P.E. Contact: LEVI VALDEZ
GEORGE T. RODRIGUEZ, DEVELOPMENT CONS. Contact: GEORGE RODRIGUEZ

Address: 12800 SAN JUAN N.E., ALBUQUERQUE, NEW MEXICO 87123

Phone#: 505-610-0593 Fax#: _____ E-mail: paurod@hotmail.com

505-881-4399

TYPE OF DEVELOPMENT: _____ PLAT (# of lots) ☒ RESIDENCE _____ DRB SITE _____ ADMIN SITE

IS THIS A RESUBMITTAL? _____ Yes ☒ No

DEPARTMENT _____ TRANSPORTATION ☒ HYDROLOGY/DRAINAGE

Check all that Apply:

TYPE OF SUBMITTAL:

- ☐ ENGINEER/ARCHITECT CERTIFICATION
- ☒ PAD CERTIFICATION
- ☐ CONCEPTUAL G & D PLAN
- ☐ GRADING PLAN
- ☐ DRAINAGE REPORT
- ☐ DRAINAGE MASTER PLAN
- ☐ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
- ☐ ELEVATION CERTIFICATE
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ TRAFFIC IMPACT STUDY (TIS)
- ☐ STREET LIGHT LAYOUT
- ☐ OTHER (SPECIFY) _____
- ☐ PRE-DESIGN MEETING?

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☒ BUILDING PERMIT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ SITE PLAN FOR SUB'D APPROVAL
- ☐ SITE PLAN FOR BLDG. PERMIT APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ SIA/ RELEASE OF FINANCIAL GUARANTEE
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ GRADING PERMIT APPROVAL
- ☐ SO-19 APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ GRADING/ PAD CERTIFICATION
- ☐ WORK ORDER APPROVAL
- ☐ CLOMR/LOMR
- ☐ FLOODPLAIN DEVELOPMENT PERMIT
- ☐ OTHER (SPECIFY) _____

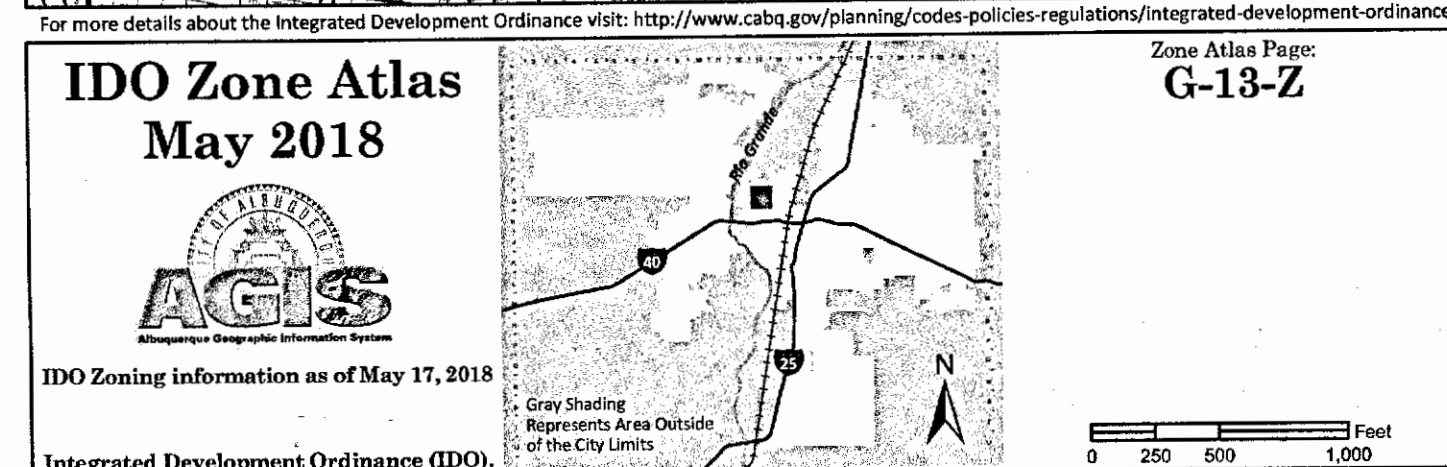
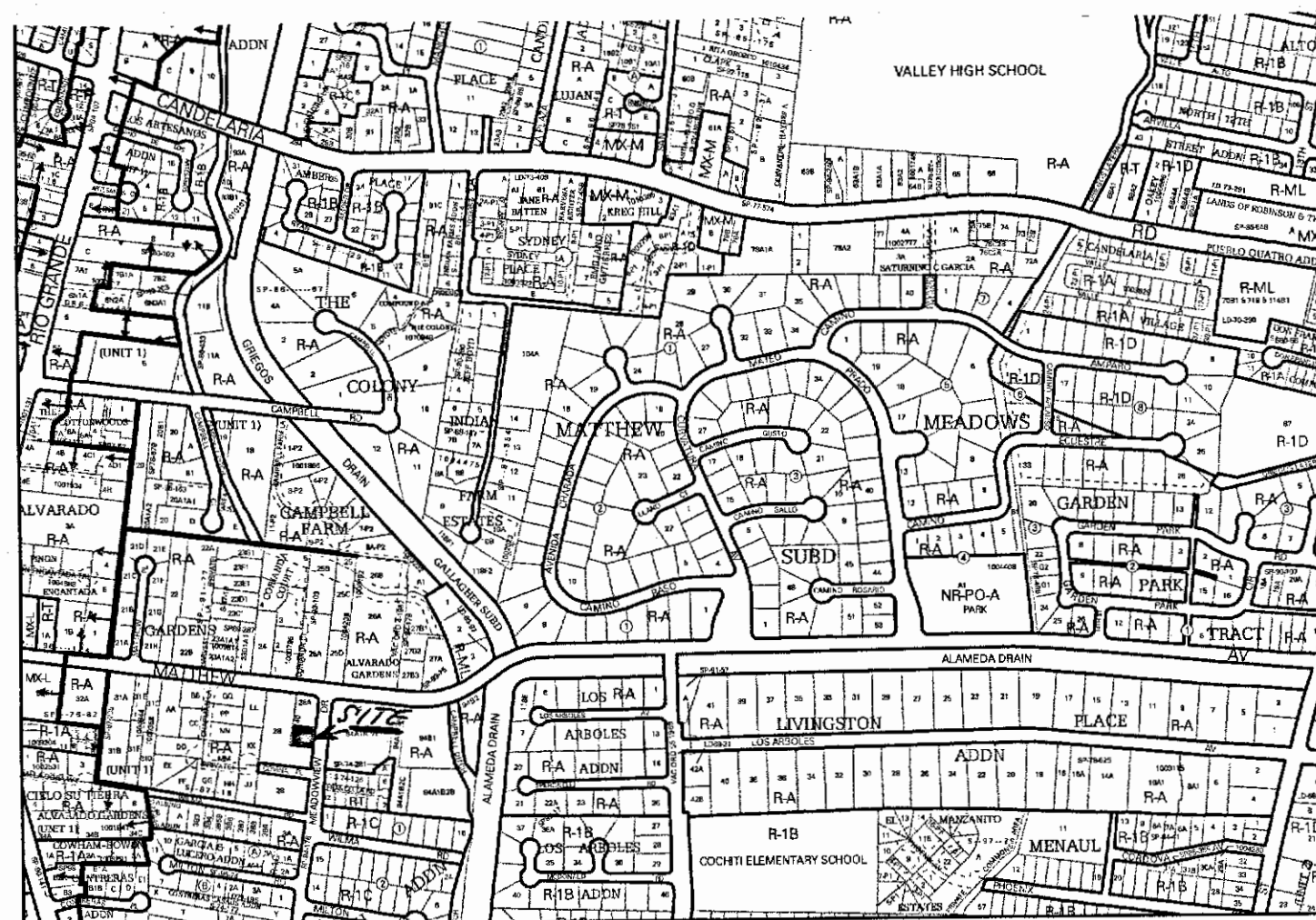
DATE SUBMITTED: 09-13-2021 By: GEORGE T. RODRIGUEZ

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: _____

FEE PAID: _____

September 10, 2021



FEMA FIRM PANEL: # 35001C0331H, (EFFECTIVE DATE: 08-16-2012)

SITE IS LOCATED WITHIN ZONE 'X', AREA WITH REDUCED FLOOD RISK DUE TO LEVEE.

PAD CERTIFICATION :

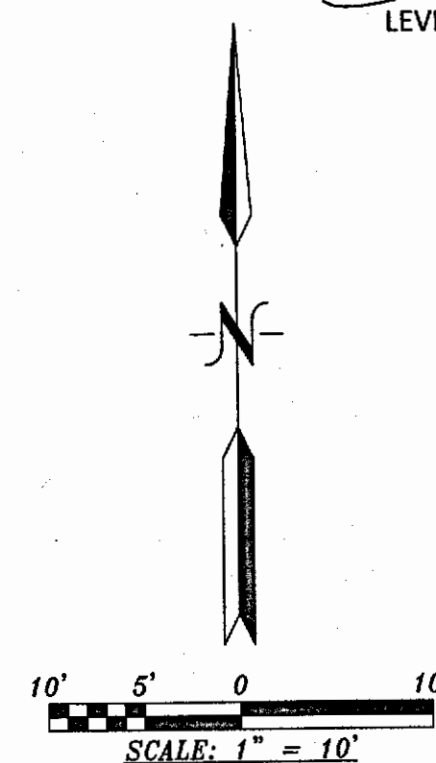
I, LEVI J. VALDEZ, N.M.P.E. NO. 5693, DO HEREBY CERTIFY THAT THE EXISTING GRADED PAD ELEVATION (SUBGRADE) SHOWN ON THE PLAN HEREON IS IN SUBSTANTIAL COMPLIANCE TO THE DESIGN FINISH FLOOR ELEVATION FOR THE PROPOSED RESIDENCE.

Levi J. Valdez
LEVI J. VALDEZ, N.M.P.E. NO. 5693



LEGEND

- Existing Contour
- - - Design Contour
- x Existing Spot Elevation
- + Proposed Spot Elevation



GENERAL NOTES:

1. CONTOUR INTERVAL IS ONE (1) FOOT.
2. ELEVATIONS ARE BASED ON READINGS TAKEN WITH A GPS UNIT STONEX S10A. ELEVATIONS SHOWN ARE NAVD 1988
3. UTILITIES SHOWN HEREON ARE IN THEIR APPROXIMATE LOCATION BASED ONLY ON ABOVE GROUND EVIDENCE FOUND IN THE FIELD AND AS-BUILT INFORMATION PROVIDED BY THE CLIENT. UTILITIES SHOWN HEREON, WHETHER INDICATED AS ABANDONED OR NOT, SHALL BE VERIFIED BY OTHERS FOR EXACT LOCATION AND/OR DEPTH PRIOR TO EXCAVATION OR DESIGN CONSIDERATIONS.
4. THIS IS NOT A BOUNDARY SURVEY. APPARENT PROPERTY CORNERS AND PROPERTY LINES ARE SHOWN FOR INFORMATION ONLY. BOUNDARY DATA SHOWN IS FROM PREVIOUS SURVEY REFERENCE HEREON

LEGEND
BC = BACK OF CURB
FL = FLOW LINE
G = GROUND
SASM# = SANITARY SEWER MANHOLE

LEGAL DESCRIPTION :

LOT 28-B, PLAT OF LOTS 28-A & 28-B, ALVARADO GARDENS, ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO.

GEORGE T. RODRIGUEZ
LAND USE, DEVELOPMENT AND
REDEVELOPMENT CONSULTANT
LEVI J. VALDEZ, P.E.
12800 SAN JUAN, N.E.
ALBUQUERQUE, NEW MEXICO, 87123
(505)610-0593

NOTE : CONTRACTOR TO PROVIDE ROOF GUTTERS WITH DOWNSPOUTS DIRECTED TO SPLASH BOXES SO AS TO DISSIPATE FLOW ENERGY THEN DIRECT FLOWS TO WATER HARVESTING / RETENTION PONDS.

CAUTION:

EXISTING UTILITIES ARE NOT SHOWN. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO ANY EXCAVATION TO DETERMINE THE ACTUAL LOCATION OF UTILITIES & OTHER IMPROVEMENTS.

City of Albuquerque Hydrology Department

Re: Pad certification for: 3305 Meadowview N.W.

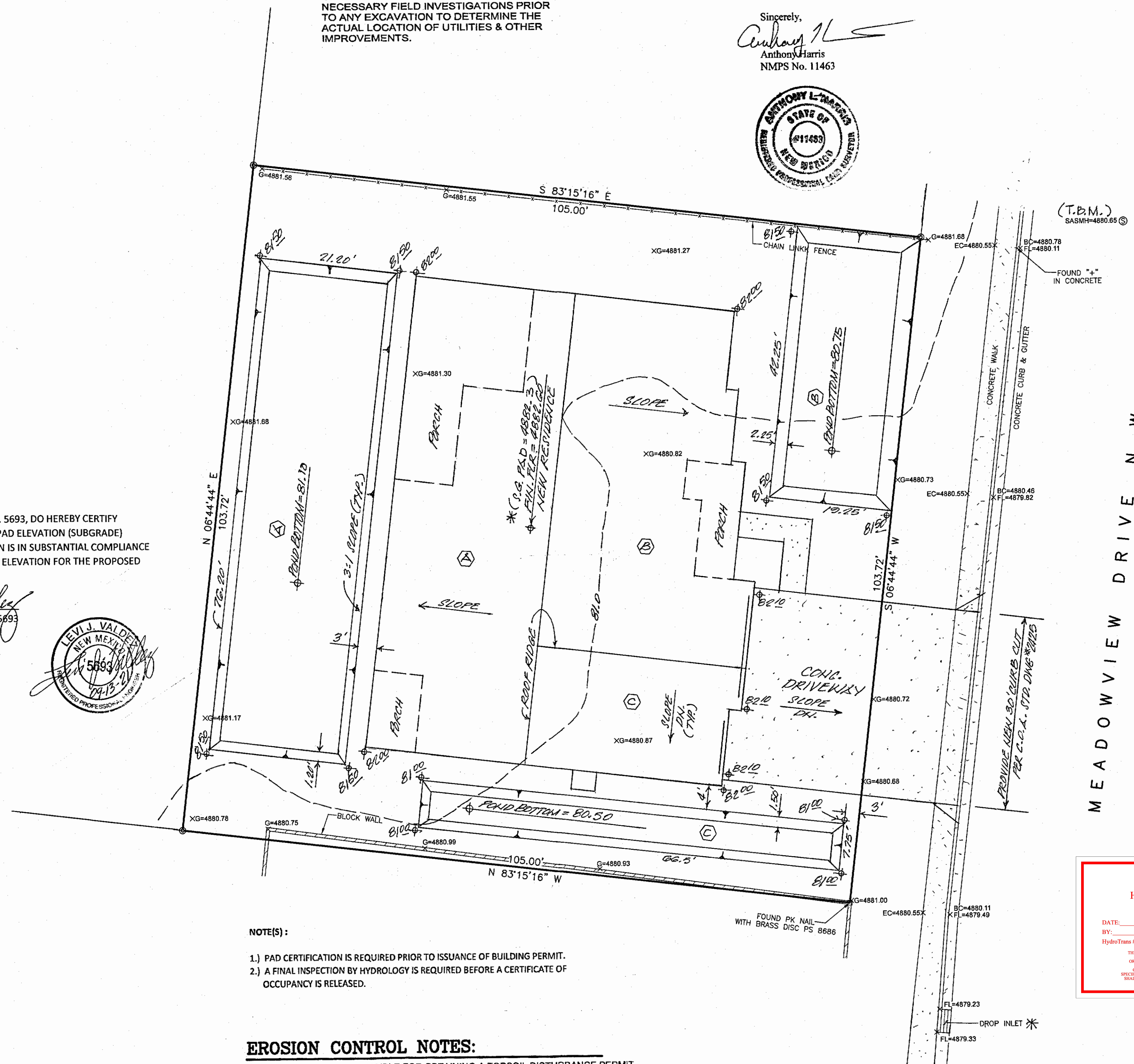
To whom it may concern

Harris Surveying Inc. has been hired to verify the pad height located at 3305 Meadowview N.W. The results of the field work is that the average pad height is at 4882.3 feet. The pad height per plat is 4882.2 feet.

If there are any question, please contact me at my office, (889-8056)

Sincerely,

Anthony Harris
NMPs No. 11463



DRAINAGE COMMENTS :

AS SHOWN ON THE VICINITY MAP HEREON, THE SUBJECT SITE IS LOCATED ON THE WEST SIDE OF MEADOW VIEW DRIVE N.W. JUST SOUTH OF THE INTERSECTION OF MATTHEW AVENUE N.W. AND MEADOW VIEW DRIVE N.W., IN THE CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, (IDO ZONE ATLAS MAP 'G-13-Z').

THE SUBJECT SITE, 1.) IS AN EXISTING INFILL VACANT PROPERTY, 2.) PROPOSES TO HAVE A SINGLE FAMILY RESIDENCE CONSTRUCTED THEREON, 3.) DOES NOT ACCEPT OFFSITE FLOWS FROM ADJACENT PROPERTIES, 4.) DOES NOT CONTRIBUTE FLOWS TO ADJACENT PROPERTIES, 5.) IS TO PROVIDE FOR REQUIRED RETENTION PONDS ONSITE PER 'ARTICLE 6-5 "VALLEY DRAINAGE CRITERIA OF THE DPM".

PER THE DEVELOPMENT PROCESS MANUAL FOR THE CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, HYDROLOGY, CHAPTER 6, ARTICLE 6-2(a.), EFFECTIVE DATE: JUNE 8, 2020.

PER ARTICLE 6-5 "VALLEY DRAINAGE CRITERIA OF THE DPM".

** DESIGNED FINISH FLOOR ELEVATIONS ARE TO BE A MINIMUM OF 1.0' ABOVE HIGHEST ADJACENT GRADE ELEVATION.

HOUSE AREA = 3,960.0 SQ. FT. FOR CALCULATION OF RETENTION POND(S)

CONC. DRIVEPAD = 600.0 SQ. FT. SLOPES AND FLOWS TO MEADOW VIEW DRIVE N.W. (183.0 CU. FT.) AND INTO C.O.A. STORM INLET SHOWN ON PLAN.

TOTAL = 4,560.0 SQ. FT. ("D").

RETENTION POND VOLUME CALCULATION FOR INDIVIDUAL LOTS:

3.67 X IMPERVIOUS AREA ("D") / 12 = REQUIRED VOLUME (CU. FT.)

3.67 X 3,960.0 / 12 = 1,211.0 CU. FT. TOTAL VOLUME REQUIRED

BASIN 'A' / POND 'A': "D" = 1,825.0 SQ. FT.

3.67 X 1,825.0 / 12 = 558.0 CU. FT. REQUIRED VOLUME

POND SIZE: (MEAN DIMENSIONS):

20' X 75' = 1,500.0 SQ. FT. X 0.40' DEPTH = 600.0 CU. FT. PROVIDED VOLUME

BASIN 'B' / POND 'B': "D" = 1,559.0 SQ. FT.

3.67 X 1,559.0 / 12 = 477.0 CU. FT. REQUIRED VOLUME

POND SIZE: (MEAN DIMENSIONS):

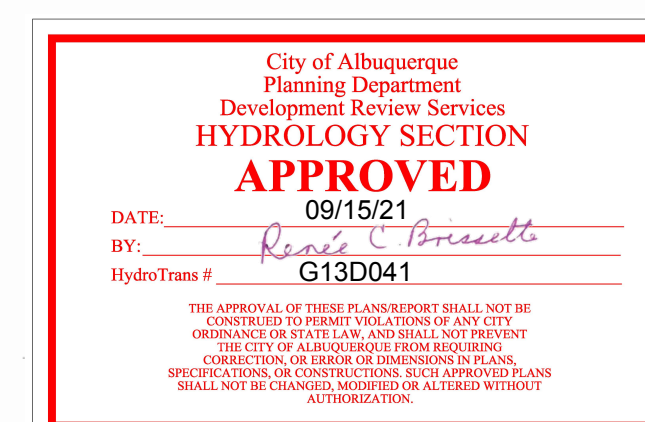
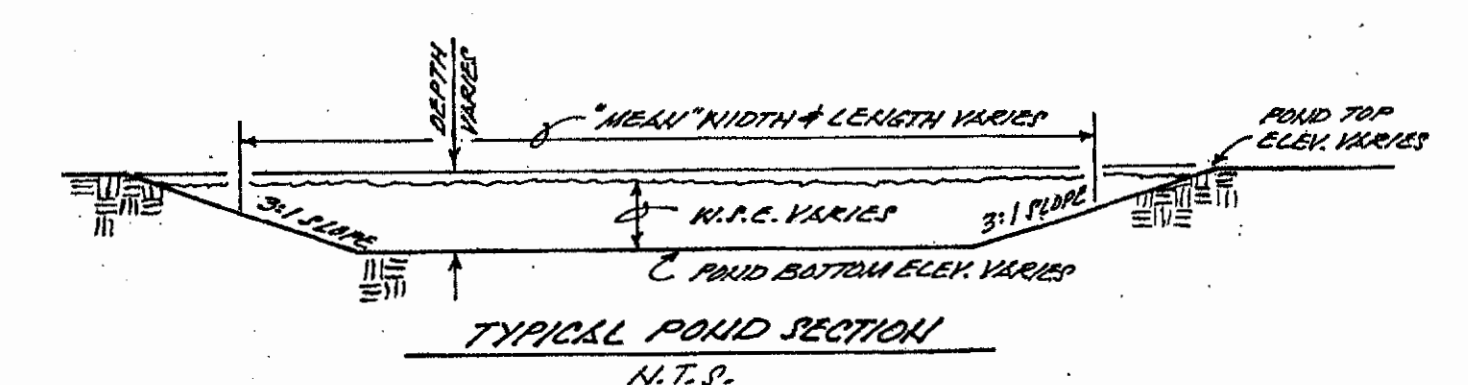
17' X 40' = 680.0 SQ. FT. X 0.75' DEPTH = 510.0 CU. FT. PROVIDED VOLUME

BASIN 'C' / POND 'C': "D" = 576.0 SQ. FT.

3.67 X 576.0 / 12 = 176.0 CU. FT. REQUIRED VOLUME

POND SIZE: (MEAN DIMENSIONS):

6' X 65' = 390.0 SQ. FT. X 0.50' DEPTH = 195.0 CU. FT. PROVIDED VOLUME



A DRAINAGE PLAN

FOR PROPOSED

CASTILLO RESIDENCE

3305 MEADOW VIEW DRIVE N.W.

ALBUQUERQUE, NEW MEXICO

JULY, 2021

