

# CITY OF ALBUQUERQUE

Planning Department  
Alan Varela, Director



Mayor Timothy M. Keller

January 30, 2023

Robert Fierro, P.E.  
Fierro & Company  
6300 Montano Rd. NW  
Albuquerque, NM 87120

**RE: Estate of Emiliano N. Gutierrez  
Grading and Drainage Plans  
Engineer's Stamp Date: 01/05/23  
Hydrology File: G13D042**

Dear Mr. Fierro:

Based upon the information provided in your submittal received 01/10/2023, the Grading & Drainage Plans approved for Work Order and Grading Permit. Please place this stamp approved Grading & Drainage Plan to the Work Order set of construction drawings.

As a reminder, if the project total area of disturbance (including the staging area and any work within the adjacent Right-of-Way) is 1 acre or more, then an Erosion and Sediment Control (ESC) Plan and Owner's certified Notice of Intent (NOI) is required to be submitted to the Stormwater Quality Engineer (Doug Hughes, PE, [jhughes@cabq.gov](mailto:jhughes@cabq.gov), 924-3420) 14 days prior to any earth disturbance.

If you have any questions, please contact me at 924-3995 or [rbrissette@cabq.gov](mailto:rbrissette@cabq.gov).

Sincerely,

*Renée C. Brissette*

Renée C. Brissette, P.E. CFM  
Senior Engineer, Hydrology  
Planning Department



# City of Albuquerque

Planning Department

Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 11/2018)

**Project Title:** Estate of Emiliano N. Gutierrez **Building Permit #:** N/A **Hydrology File #:** \_\_\_\_\_

**DRB#:** N/A **EPC#:** N/A **Work Order#:** 759182

**Legal Description:** Lots 1-5, Lots 7-9 of Estate of Emiliano N. Gutierrez

**City Address:** 1910, 1911, 1912, 1914, 1915, 1916, 1918, and 1919 Wander Duck Lane NW, Albuquerque NM 87107

**Applicant:** Fierro & Company, LLC **Contact:** Robert Fierro

**Address:** 3201 4th Street, Suite C, Albuquerque, NM 87017

**Phone#:** (505) 348-8930 **Fax#:** N/A **E-mail:** robertfierro@fierrocompany.com

**Owner:** Doug Sims **Contact:** Doug Sims

**Address:** \_\_\_\_\_

**Phone#:** 505-263-2513 **Fax#:** \_\_\_\_\_ **E-mail:** cpadilla17@q.com

**TYPE OF SUBMITTAL:** 8 Lots PLAT (   # OF LOTS)   RESIDENCE   DRB SITE   ADMIN SITE

IS THIS A RESUBMITTAL?:   Yes X No

**DEPARTMENT:**   TRAFFIC/ TRANSPORTATION X HYDROLOGY/ DRAINAGE

Check all that Apply:

### TYPE OF SUBMITTAL:

- ENGINEER/ARCHITECT CERTIFICATION
- PAD CERTIFICATION
- CONCEPTUAL G & D PLAN
- GRADING PLAN
- X DRAINAGE MASTER PLAN
- DRAINAGE REPORT
- FLOODPLAIN DEVELOPMENT PERMIT APPLIC
- ELEVATION CERTIFICATE
- CLOMR/LOMR
- TRAFFIC CIRCULATION LAYOUT (TCL)
- TRAFFIC IMPACT STUDY (TIS)
- OTHER (SPECIFY) \_\_\_\_\_
- PRE-DESIGN MEETING?

### TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- BUILDING PERMIT APPROVAL
- CERTIFICATE OF OCCUPANCY
- PRELIMINARY PLAT APPROVAL
- SITE PLAN FOR SUB'D APPROVAL
- SITE PLAN FOR BLDG. PERMIT APPROVAL
- FINAL PLAT APPROVAL
- SIA/ RELEASE OF FINANCIAL GUARANTEE
- FOUNDATION PERMIT APPROVAL
- GRADING PERMIT APPROVAL
- SO-19 APPROVAL
- PAVING PERMIT APPROVAL
- GRADING/ PAD CERTIFICATION
- WORK ORDER APPROVAL
- CLOMR/LOMR
- FLOODPLAIN DEVELOPMENT PERMIT
- X OTHER (SPECIFY) Needed for DRC Workorder

**DATE SUBMITTED:** 01/05/2023 **By:** Robert Fierro

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: \_\_\_\_\_

FEE PAID: \_\_\_\_\_



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LOCATION MAP  
ZONE ATLAS MAP: G-13-Z

## PROJECT INFORMATION

### BENCHMARK

CITY OF ALBUQUERQUE SURVEY MONUMENT: ACS BM, 10-G13A  
NORTHING: 1501108.87 (NM SPC, CENTRAL ZONE, NAD 1983)  
EASTING: 1513724.62 (NM SPC, CENTRAL ZONE, NAD 1983)  
ELEVATION: 4970.872' (NAVD 1988, U.S. SURVEY FOOT)

### DESCRIPTION

LOTS NUMBERED ONE (1) THROUGH FIVE (5) AND LOTS NUMBERED SEVEN (7) THROUGH NINE (9) OF THE PLAT SHOWING PARTITION OF THE ESTATE OF EMILIANO N. GUTIERREZ, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON JULY 13, 1960, IN PLAT BOOK B3, PAGE 152.

### FLOOD NOTE:

THIS PROPERTY LIES WITHIN FLOOD ZONE X WHICH IS DEFINED AS AN AREA WITH REDUCED FLOOD RISK DUE TO LEVEE. AS DETERMINED BY F.E.M.A. AND SHOWN ON THE FLOOD INSURANCE RATE MAP DATED AUGUST 16, 2012, MAP NO. 35001C0331H.

### SURVEYOR INFORMATION

TOPOGRAPHIC SURVEY PERFORMED BY OTHERS.

## LEGEND

- APPARENT PROPERTY BOUNDARY
- APPARENT ADJOINING PROPERTY LINE
- EXISTING FENCE
- EXISTING WOOD FENCE
- PROPERTY CORNER
- APPARENT PROPERTY CORNER
- EXISTING MAJOR CONTOUR
- EXISTING MINOR CONTOUR
- PROPOSED MAJOR CONTOUR
- PROPOSED MINOR CONTOUR
- FL26.29
- AVG.
- EX.
- FG
- WSEL
- NEW GRAVEL

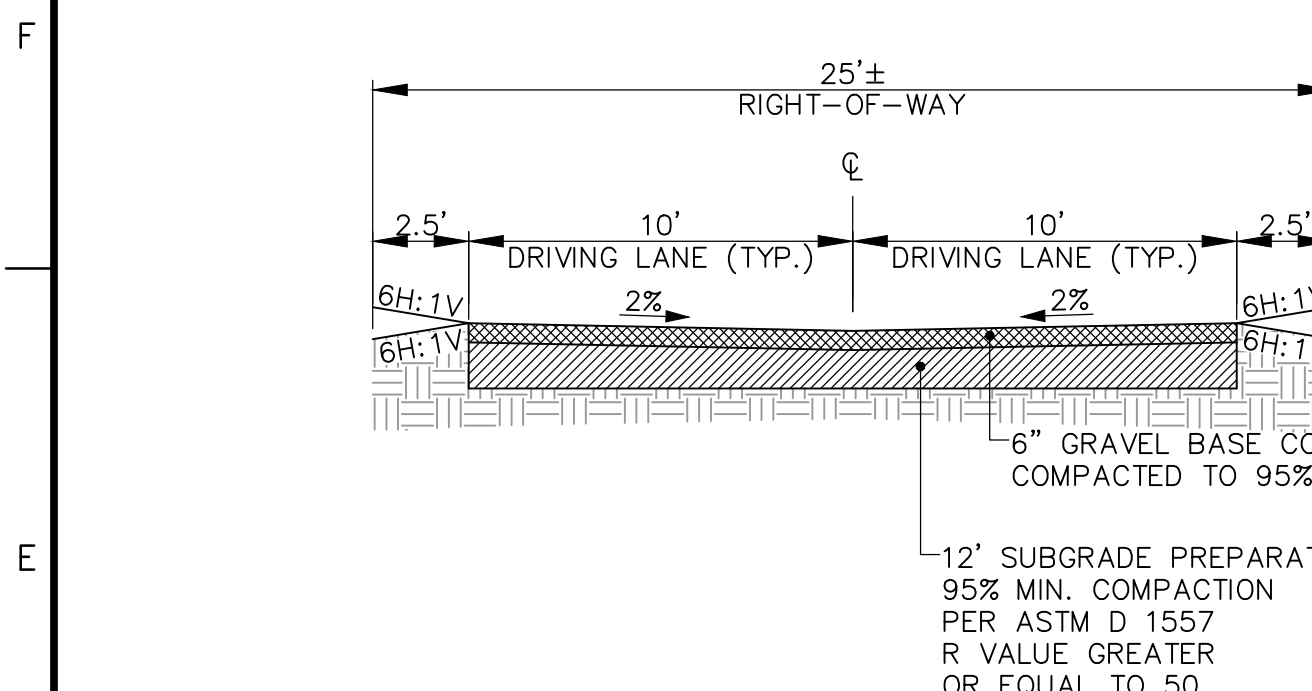
### KEYED NOTES:

- 1 EXISTING ASPHALT.
- 2 NEW GRAVEL

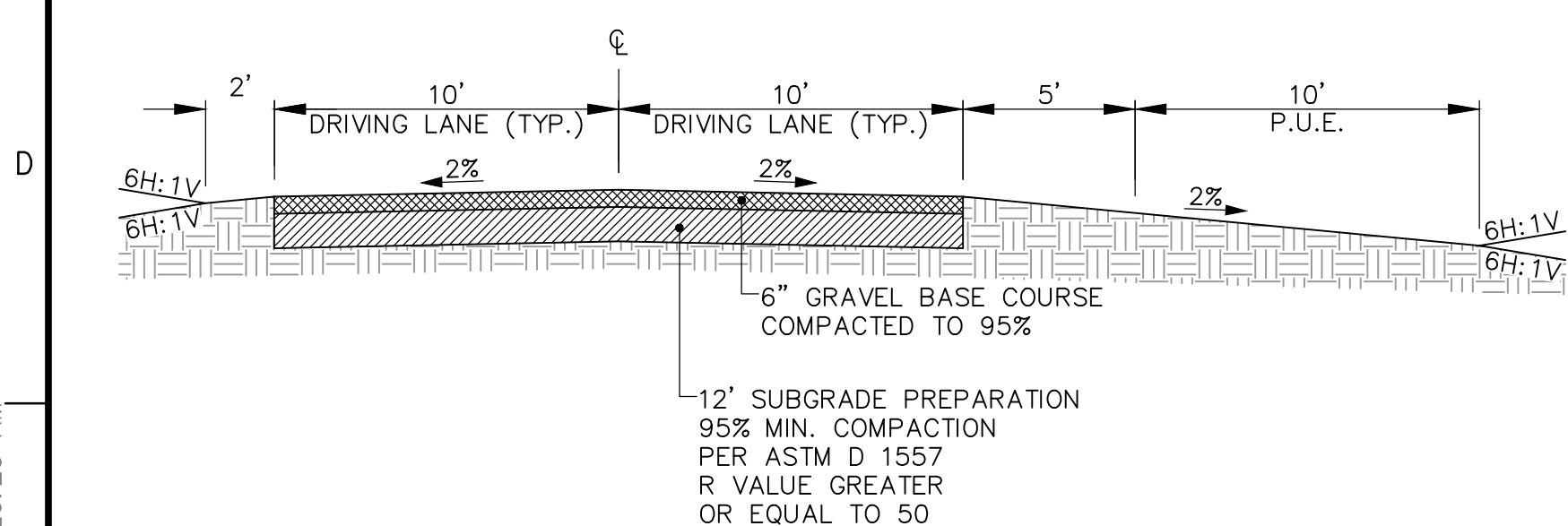


### REQUIREMENT:

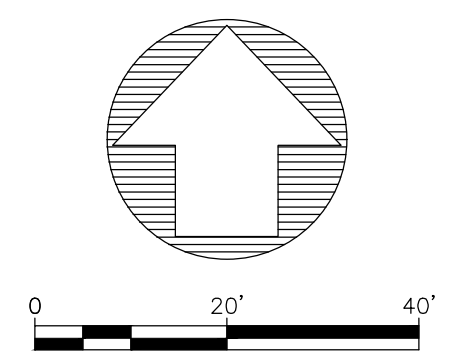
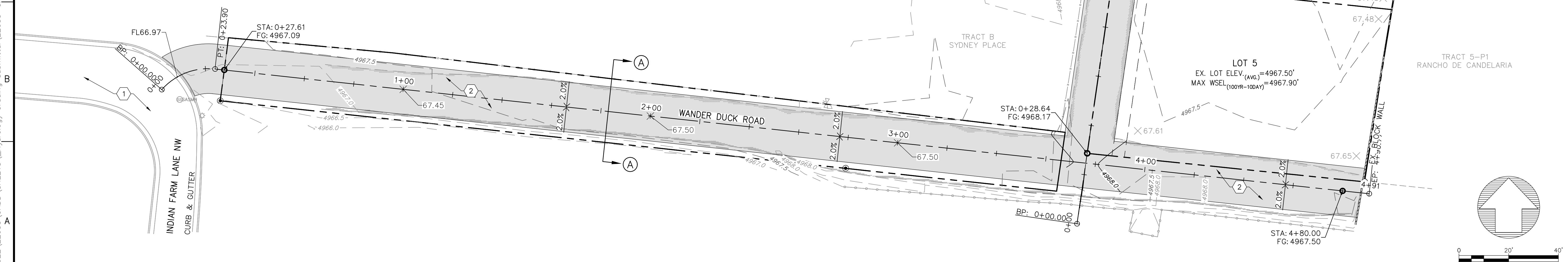
APPROVAL OF THIS GRADING AND DRAINAGE PLAN DOES NOT GIVE APPROVAL FOR BUILDING PERMIT. EACH LOT IS REQUIRED TO SUBMIT A GRADING PLAN TO HYDROLOGY FOR REVIEW AND APPROVAL PRIOR TO ISSUING BUILDING PERMIT FOR THE SITE.



1 WANDER DUCK ROAD TYPICAL ROADWAY SECTION A-A  
SCALE 1" = 5'



2 WANDER DUCK LANE TYPICAL ROADWAY SECTION B-B  
SCALE 1" = 5'



3201 4th STREET NW, SUITE C  
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www.fierrocompany.com



ENGINEER'S SEAL

ESTATE OF EMILIANO N. GUTIERREZ  
INDIAN FARM LANE N.W.  
ALBUQUERQUE, NM

PROJECT NAME

BY	DESCRIPTION	DATE	REV.

PROJECT NO: 22053  
DESIGNED BY: RJF  
DRAWN BY: JB  
CHECKED BY: RJF  
DATE: JANUARY 2023

SHEET TITLE

GRADING PLAN

SHEET NO:

C-1



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BASIN MAP

HYDROLOGY SUMMARY							
BASIN	Total Area (sq.ft.)	Land Treatmentment (%)				Weighted E	Q <sub>100</sub> (cfs)
		A	B	C	D		
LOT 1	9307	0.0	35.0	20.0	45.0	1.535	0.7
LOT 2	7898	0.0	35.0	20.0	45.0	1.535	0.6
LOT 3	7897	0.0	35.0	20.0	45.0	1.535	0.6
LOT 4	7898	0.0	35.0	20.0	45.0	1.535	0.6
LOT 5	7158	0.0	35.0	20.0	45.0	1.535	0.6
LOT 7	7922	0.0	35.0	20.0	45.0	1.535	0.6
LOT 8	7922	0.0	35.0	20.0	45.0	1.535	0.6
LOT 9	8961	0.0	35.0	20.0	45.0	1.535	0.7
WANDER	11466	0.0	0.0	100.0	0.0	1.030	0.8

HYDROLOGY SUMMARY

Wander Pond Stage-Storage Table		
Depth (ft)	Area (sq.ft.)	Cumulative Volume (cu-ft)
0	932	0
0.2	9248	1016

WANDER POND STAGE STORAGE

DESCRIPTION

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LEGEND

- PROPERTY BOUNDARY
- EASEMENT LINE
- BASIN

Introduction

The site is comprised of seven (7) existing lots within the Estate of Emiliano N. Gutierrez (refer to the legal description on this sheet) and Wander Duck Lane. These lots were created in 1960 and have remained undeveloped. Access to these lots is from Wander Duck Lane, which intersects Indian Farm Lane just 550 feet south of Candelaria Road NW. Refer to the location map on this sheet. The purpose of this drainage plan is to provide drainage criteria and requirements for the development of each lot.

Methodology

Hydrologic procedures presented in the Hydrology Section of the DMP, Article 6-2(a), approved June 8, 2020 were followed. Precipitation Zone 1 data was used in the hydrologic computations.

Existing Condition

The site is relatively flat with only a 2-foot drop in elevation from north to south within a distance of approximately 300 feet. The Wander Duck Lane, private road within the subdivision, is approximately 8-inches higher than the adjacent land.

The existing 100-year runoff from the site would discharge to Wander Duck Road, which then would retain most of the runoff until overflowing to Indian Farm Lane. The site does not receive off-site runoff.

There is an existing irrigation ditch which runs along the northern 12 feet of Lot 1 and Lot 9. This irrigation ditch is operational and serves the surrounding area.

Proposed Condition

This site is within the Rio Grande Valley, which is subject to the Valley Drainage Criteria, particularly "Part 6-5(D) Flat Grading Scheme for Residential Subdivisions". There is limited downstream capacity; therefore, ponding is required. Ponding conditions is allowed in the valley as set forth in said Part 6-5(D):

- There is no outfall or insufficient downstream conveyance for the site.
- The site must be flat or graded flat.
- The maximum percent impervious of the lot and the contributing area may not be greater than 45%.
- Finished pad elevation shall be a minimum of 1 foot above the 100-year 10-day stormwater surface elevation.
- The flow between the front yard and back yard cannot be obstructed, the stormwater must be allowed to equalize to the same level between the front yard and back yard.
- A permanent perimeter wall of barrier around the development is required to contain the 100-year 10-day storm developed runoff.
- The high point of all internal streets must be four inches above the 100-year 10-day stormwater surface elevation.

Development of each lot must abide by said Part 6-5(D) and submit a grading plan to Hydrology for Review and approval. Wander Duck Road is an existing public right-of-way not within the estates; however, it is included in this drainage report as road improvements are required to support the residential development. Wander Duck Road will store the 100-year, 10-day storm within the right-of-way by inverting the road with a 2% cross-slope.

Refer to the Hydrology Summary Table on this sheet for the required storage volume of the 100-year, 10-day storm.

Conclusion

This drainage report was prepared to provide drainage criteria and requirements for the development of Lots 1-5 and Lots 7-9, Estate of Emiliano N. Gutierrez. Proposed development of each lot will be required to submit a grading plan and adhere to the conditions under said Part 6-5(D) and store the 100-year, 10-day runoff volume listed in the Hydrology Summary Table.

DRAINAGE REPORT



FLOOD INSURANCE RATE MAP  
MAP NO. 35001C0331H  
EFFECTIVE DATE: 08/16/2012



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ENGINEERS SEAL

PROJECT NAME

ESTATE OF EMILIANO N. GUTIERREZ  
ALBUQUERQUE, NM

PROJECT NAME	DESCRIPTION	DATE	REV.	BY

PROJECT NO: 22053

DESIGNED BY: R/JF

DRAWN BY: JB

CHECKED BY: R/JF

DATE: JANUARY 2023

SHEET TITLE

DRAINAGE PLAN

SHEET NO: D-1