

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

November 7, 2025

Robert Fierro, P.E.
Fierro & Company
3201 4th Street NW, Suite C
Albuquerque, NM 87107

**RE: 1911 Wander Duck Ln NW
Grading & Drainage Plans
Engineer's Stamp Date: 11/5/2025
Hydrology File: G13D042A**

Dear Mr. Fierro:

Based upon the information provided in your submittal received 11/05/2025, the Grading & Drainage Plans **are** approved for Grading Permit and Building Permit. Please attach a copy of this approved plan in the construction sets for Building Permit processing along with a copy of this letter.

PO Box 1293

PRIOR TO CERTIFICATE OF OCCUPANCY:

Albuquerque

NM 87103

www.cabq.gov

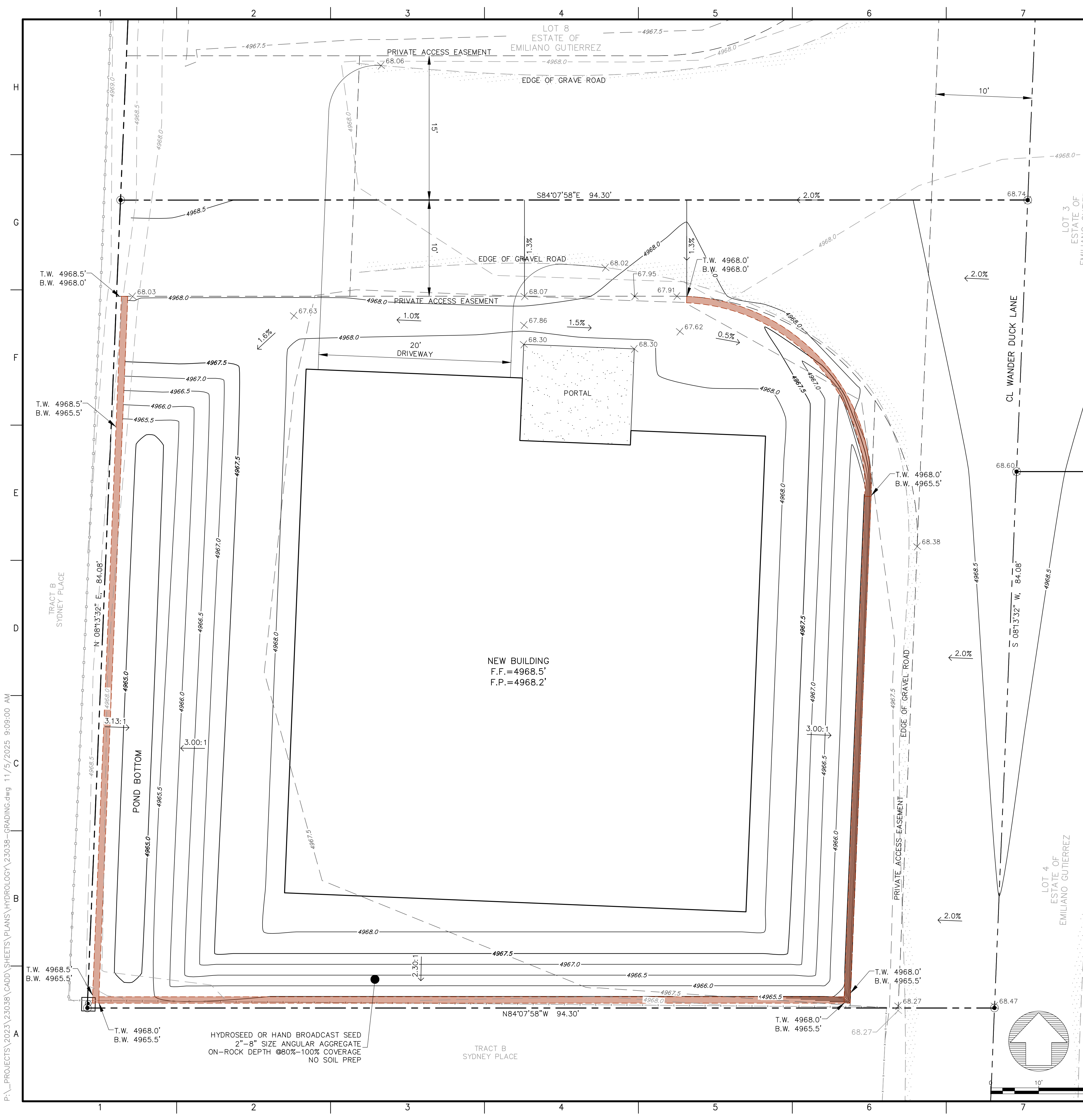
1. Engineer's Certification, per the DPM Part 6-14 (F): Engineer's Certification Checklist For Non-Subdivision is required.
2. Please provide the Drainage Covenant with Exhibit A for the stormwater quality ponds per Article 6-15(C) of the DPM prior to Permanent Release of Occupancy. Please submit the original copies along with the **\$ 25.00** recording fee check made payable to Bernalillo County to the Hydrology Section of Development Review Services on the Ground floor of Plaza de Sol. Electronic submittal through ABQ-PLAN is also required

As a reminder, if the project total area of disturbance (including the staging area and any work within the adjacent Right-of-Way) is 1 acre or more, then an Erosion and Sediment Control (ESC) Plan and Owner's certified Notice of Intent (NOI) is required to be submitted to the Stormwater Quality Engineer (Doug Hughes, PE, jhughes@cabq.gov, 505-924-3420) 14 days prior to any earth disturbance.

If you have any questions, please contact me at 505-924-3314 or amontoya@cabq.gov.

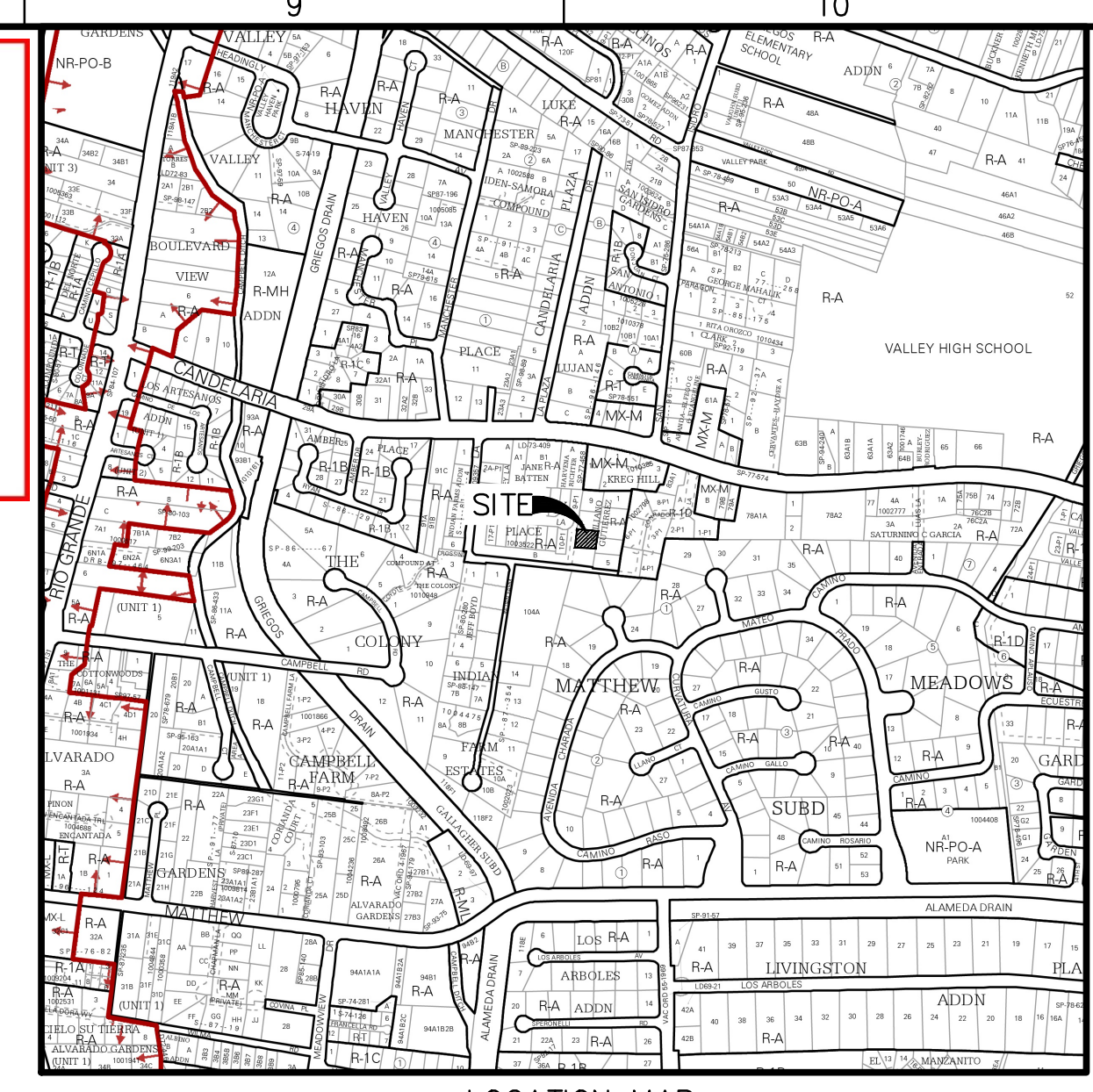
Sincerely,

Anthony Montoya, Jr., P.E., CFM
Senior Engineer, Hydrology
Planning Department, Development Review Services



City of Albuquerque
 Planning Department
 Development Review Services
HYDROLOGY SECTION
APPROVED
 DATE: 11-7-2025
 BY: *Curtis Myers*
 HydroForm #: G13D042A

THE APPROVAL OF THESE PLANS/REPORTS SHALL NOT BE CONSTRUED TO PERMIT VIOLATIONS OF ANY CITY ORDINANCE OR STATE LAW, AND SHALL NOT PREVENT THE CITY OF ALBUQUERQUE FROM REQUESTING CORRECTIONS FOR ERRORS OR DIMENSIONS IN PLANS, SPECIFICATIONS, OR CONSTRUCTION REQUIREMENTS. SUCH APPROVED PLANS/REPORTS SHALL NOT BE CHANGED, MODIFIED OR ALTERED WITHOUT AUTHORIZATION.
 THE APPROVAL OF THESE PLANS/REPORTS SHALL EXPIRE TWO (2) YEARS AFTER THE APPROVAL DATE IF NO BUILDING PERMIT HAS BEEN PULLED ON THE DEVELOPMENT.



GENERAL GRADING NOTES:

1. THE CONTRACTOR TO VERIFY LOCATION OF ALL UTILITIES SHOWN AND COORDINATE WITH ALL UTILITY OWNERS PRIOR TO ANY EXCAVATION.
2. THE CONTRACTOR SHALL LIMIT DISTURBANCE OF NATIVE VEGETATION TO A MINIMUM.
3. THIS PLAN RECOMMENDS POSITIVE DRAINAGE AWAY FROM ALL STRUCTURES TO PROHIBIT PONDING OF RUNOFF WHICH MAY CAUSE STRUCTURAL SETTLEMENT. FUTURE ALTERATION OF GRADES ADJACENT TO THE PROPOSED STRUCTURES IS NOT RECOMMENDED.
4. PERFORM GRADING AND EXCAVATION WORK IN COMPLIANCE WITH APPLICABLE SPECIFICATIONS, REQUIREMENTS, CODES AND ORDINANCES OF CITY OF ALBUQUERQUE, NEW MEXICO.
5. CONTRACTOR SHALL BE RESPONSIBLE FOR THE DISPOSAL OF OR OBTAINING EXCESS CUT OR FILL MATERIAL REQUIRED FOR FINAL GRADE.
6. CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING AND COORDINATING WITH NEW MEXICO ONE CALL PRIOR EXCAVATION.
7. CLEAR AND GRUBBING PER NM APWA SECTION 201 SPECIFICATION.
8. SPOT ELEVATIONS ARE TO FINISH GRADE UNLESS NOTED OTHERWISE.
9. THE CONTRACTOR SHALL CONFINE THEIR WORK TO WITHIN THE CONSTRUCTION LIMITS AND/OR PUBLIC RIGHT-OF-WAY TO PRESERVE EXISTING VEGETATION, LANDSCAPING, AND PRIVATE PROPERTY. APPROVAL OF THESE PLANS DOES NOT GIVE OR IMPLY ANY PERMISSION TO TRESPASS OR WORK ON PRIVATE PROPERTY. PERMISSION MUST BE GRANTED IN WRITING BY THE OWNER OF THAT PROPERTY.
10. CONTRACTOR TO CLEAN UP SEDIMENT AND DEBRIS ON THE STREET, WHICH IS CAUSED BY CONSTRUCTION, AT THE TEMPORARY DIRT RAMPS ARE NOT TO BE LEFT IN STREETS OR NEAR CURB.

PROJECT INFORMATION

BENCHMARK
 C.O.A. SURVEY MONUMENT: ACS BM, 10-G13A
 NORTHING: 1501108.87 (NM SPC, CENTRAL, NAD 1983)
 EASTING: 1513724.62 (NM SPC, CENTRAL, NAD 1983)
 ELEVATION: 4970.872' (NAVD 1988, U.S. SURVEY FT.)

DESCRIPTION
 LOTS 7 OF THE PLAT SHOWING PARTITION OF THE ESTATE OF EMILIANO N. GUTIERREZ, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NM ON JULY 13, 1960, IN BOOK B3, PAGE 152.

FLOOD NOTE:
 THIS PROPERTY LIES WITHIN FLOOD ZONE X WHICH IS DEFINED AS AN AREA WITH REDUCED FLOOD RISK DUE TO LEVEL. AS DETERMINED BY F.E.M.A. AND SHOWN ON THE FLOOD INSURANCE RATE MAP DATED AUGUST 16, 2012, MAP NO. 35001C0331H.

SURVEYOR INFORMATION
 TOPOGRAPHIC SURVEY PERFORMED BY OTHERS.

LEGEND

- APPARENT PROPERTY BOUNDARY
- APPARENT ADJOINING PROPERTY LINE
- x-x- EXISTING FENCE
- PROPERTY CORNER
- APPARENT PROPERTY CORNER
- - - - - EXISTING MAJOR CONTOUR
- - - - - EXISTING MINOR CONTOUR
- - - - - PROPOSED MAJOR CONTOUR
- - - - - PROPOSED MINOR CONTOUR
- RETAINING WALL BY SEPARATE PERMIT

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 3201 4TH STREET NW, SUITE C
 ALBUQUERQUE, NEW MEXICO 87107
 PH (505) 352-8930
 www.fierrocompany.com

ENGINEER'S SEAL

PROJECT NAME: **LOT 7 EMILIANO N. GUTIERREZ SUBDIVISION ALBUQUERQUE, NM**

NO.	REV.	DATE	DESCRIPTION	BY

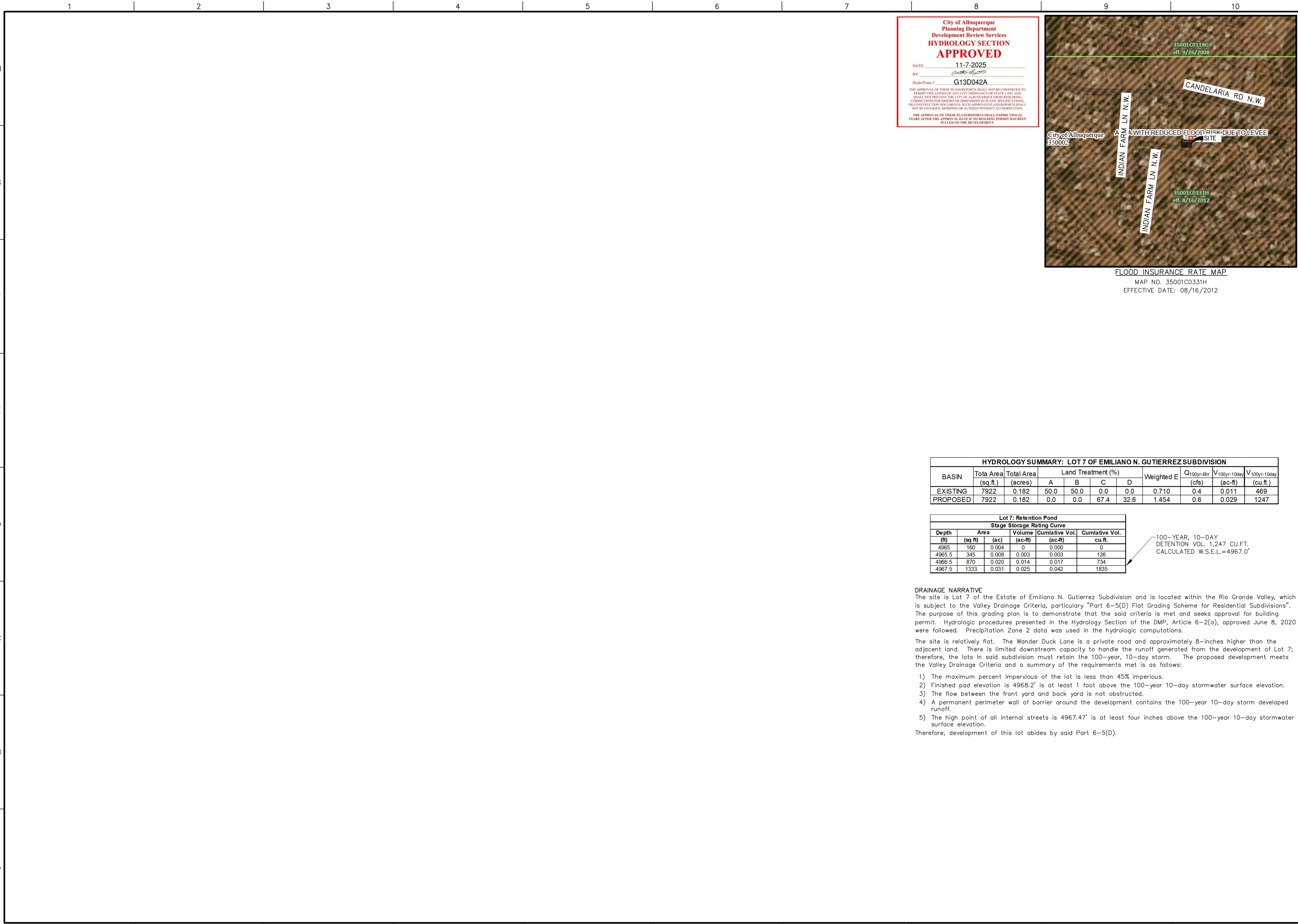
PROJECT NO: 23038
 DESIGNED BY: RJF
 DRAWN BY: JB
 CHECKED BY: RJF
 DATE: NOVEMBER 2025

SHEET TITLE: **GRADING PLAN**

SHEET NO: **C-1**

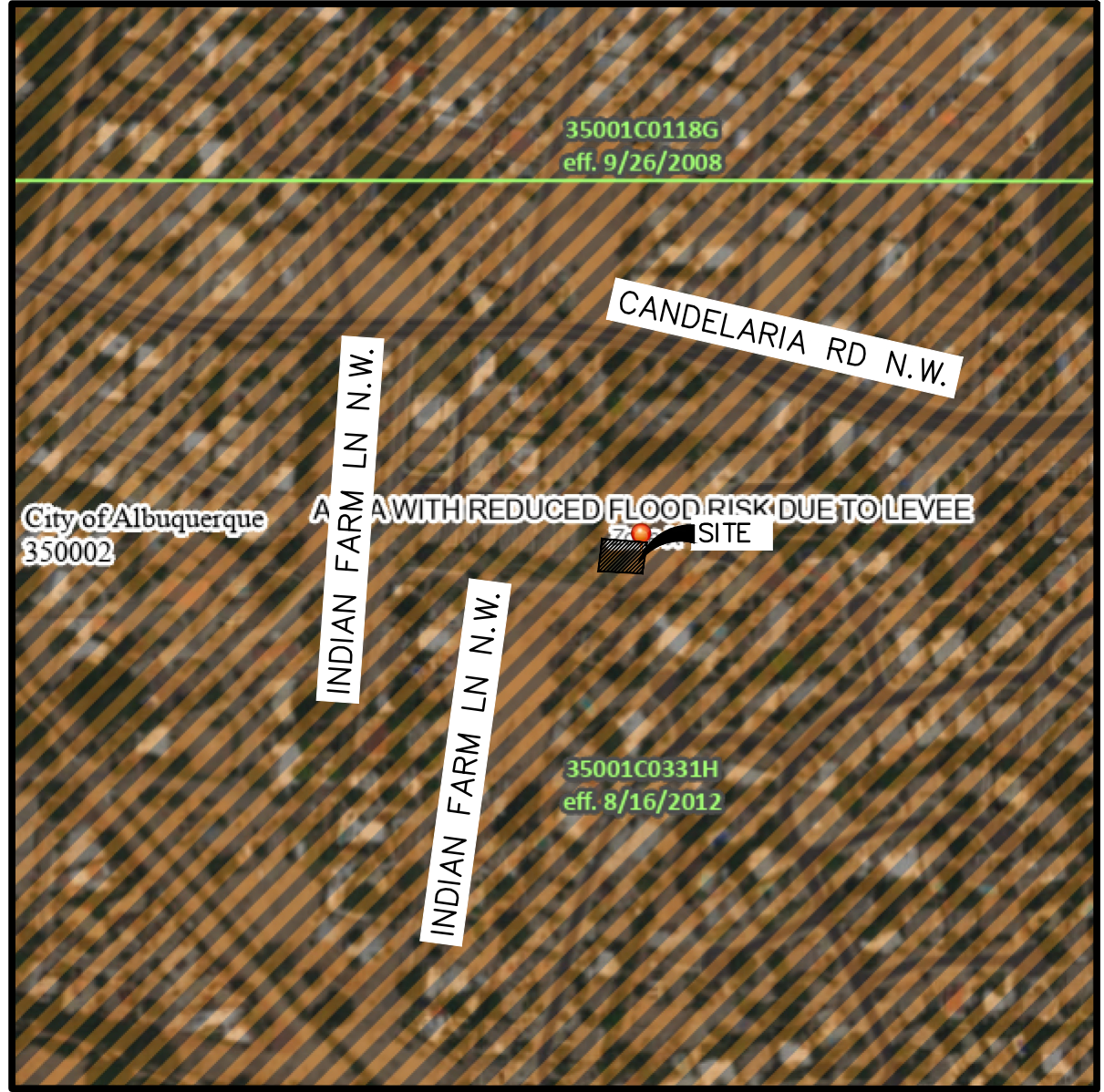
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P:\PROJECTS\2023\23038\CADD\HYDROLOGY\23038-DRAINAGE.dwg 11/5/2025 9:10:50 AM



City of Albuquerque
 Planning Department
 Development Review Services
HYDROLOGY SECTION
APPROVED
 DATE: 11-7-2025
 BY: *[Signature]*
 HydroForm # G13D042A

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FLOOD INSURANCE RATE MAP
 MAP NO. 35001C0331H
 EFFECTIVE DATE: 08/16/2012

HYDROLOGY SUMMARY: LOT 7 OF EMILIANO N. GUTIERREZ SUBDIVISION

BASIN	Total Area		Land Treatment (%)				Weighted E	Q _{100yr-6hr} (cfs)	V _{100yr-10day} (ac-ft)	V _{100yr-10day} (cu.ft.)
	(sq.ft.)	(acres)	A	B	C	D				
EXISTING	7922	0.182	50.0	50.0	0.0	0.0	0.710	0.4	0.011	469
PROPOSED	7922	0.182	0.0	0.0	67.4	32.6	1.454	0.6	0.029	1247

Lot 7: Retention Pond

Stage Storage Rating Curve				
Depth (ft)	Area (sq ft)	Volume (ac-ft)	Cumulative Vol. (ac-ft)	Cumulative Vol. (cu.ft.)
4965	160	0.004	0	0.000
4965.5	345	0.008	0.003	0.003
4966.5	870	0.020	0.014	0.017
4967.5	1333	0.031	0.025	0.042

100-YEAR, 10-DAY
 DETENTION VOL. = 1,247 CU.FT.
 CALCULATED W.S.E.L. = 4967.0'

DRAINAGE NARRATIVE
 The site is Lot 7 of the Estate of Emiliano N. Gutierrez Subdivision and is located within the Rio Grande Valley, which is subject to the Valley Drainage Criteria, particularly "Part 6-5(D) Flat Grading Scheme for Residential Subdivisions". The purpose of this grading plan is to demonstrate that the said criteria is met and seeks approval for building permit. Hydrologic procedures presented in the Hydrology Section of the DMP, Article 6-2(a), approved June 8, 2020 were followed. Precipitation Zone 2 data was used in the hydrologic computations.

The site is relatively flat. The Wander Duck Lane is a private road and approximately 8-inches higher than the adjacent land. There is limited downstream capacity to handle the runoff generated from the development of Lot 7; therefore, the lots in said subdivision must retain the 100-year, 10-day storm. The proposed development meets the Valley Drainage Criteria and a summary of the requirements met is as follows:

- 1) The maximum percent impervious of the lot is less than 45% impervious.
- 2) Finished pad elevation is 4968.2' is at least 1 foot above the 100-year 10-day stormwater surface elevation.
- 3) The flow between the front yard and back yard is not obstructed.
- 4) A permanent perimeter wall of barrier around the development contains the 100-year 10-day storm developed runoff.
- 5) The high point of all internal streets is 4967.47' is at least four inches above the 100-year 10-day stormwater surface elevation.

Therefore, development of this lot abides by said Part 6-5(D).

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PROJECT NAME
**LOT 7
 EMILIANO N. GUTIERREZ SUBDIVISION
 ALBUQUERQUE, NM**

REV.	DATE	DESCRIPTION	BY

PROJECT NO: 23038
 DESIGNED BY: RJF
 DRAWN BY: JB
 CHECKED BY: RJF
 DATE: JULY 2023
 SHEET TITLE
DRAINAGE PLAN
 SHEET NO:
D-1