

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

March 7, 2023

Jackie McDowell
McDowell Engineering, Inc.
7820 Beverly Hills Ave. NE
Albuquerque, NM 87122

RE: 1321 & 1325 Van Cleave Rd. NW
Grading and Drainage Plan
Engineer's Stamp Date: 02/22/23
Hydrology File: G13D043

Dear Ms. McDowell:

Based upon the information provided in your submittal received 02/28/2023, the Grading & Drainage Plan is approved for Grading Permit (earthwork can get started for the earth pad on the house).

PRIOR TO BUILDING PERMIT:

1. Once the grading is complete, a pad certification (meaning that the earthwork is complete) will be required. **Please include a site photo with the submittal.** Also, at the time of pad certification approval, Hydrology will concurrently approve the Grading & Drainage Plan for Building Permit.
2. Please show that the two existing drive pads are being replaced with new curb & gutter and sidewalk.

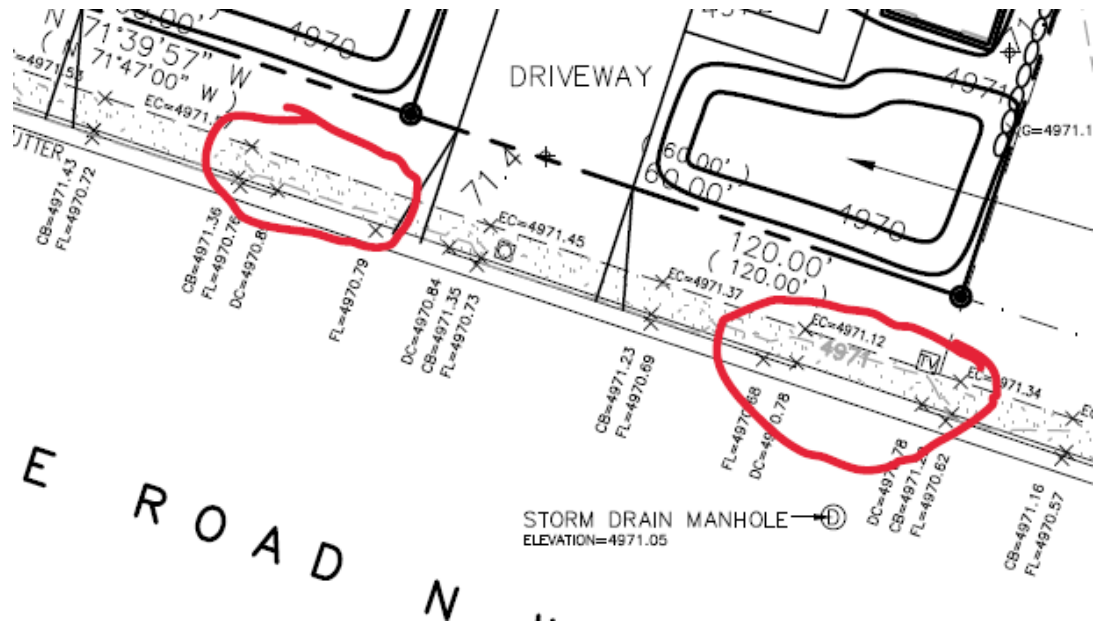


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3. Also, please separate the two since there will be two separate Building Permits pulled. Please just place a big "X" over the lot that does not go with each address.

PO Box 1293

If you have any questions, please contact me at 924-3995 or rbrissette@cabq.gov.

Albuquerque

Sincerely,

NM 87103

Renée C. Brissette

www.cabq.gov

Renée C. Brissette, P.E. CFM
Senior Engineer, Hydrology
Planning Department



City of Albuquerque

Planning Department
Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 6/2018)

Project Title: Heller - Home Lots **Building Permit #:** _____ **Hydrology File #:** _____
DRB#: _____ **EPC#:** _____ **Work Order#:** _____
Legal Description: LOTS 6 & 7, BLOCK 1, FRANKLIN ADD
City Address: 1321 & 1325 Van Cleave Rd NW, Albuquerque, NM 87107

Applicant: MCDOWELL ENGINEERING, INC. **Contact:** JACKIE MCDOWELL
Address: 7820 BEVERLY HILLS AVE. NE
Phone#: 505-828-2430 **Fax#:** 505-821-4857 **E-mail:** jackmcdowell@comcast.net

Other Contact: Adam S. Heller, Evergreen Enterprises LLC **Contact:** Adam S. Heller
Address: 814 ARTIE RD NW ALBUQUERQUE NM 87114
Phone#: 505.525.1500 **Fax#:** _____ **E-mail:** adamheller8@aol.com

TYPE OF DEVELOPMENT: _____ PLAT (# of lots) ☒ RESIDENCE _____ DRB SITE _____ ADMIN SITE

IS THIS A RESUBMITTAL? _____ Yes ☒ No

DEPARTMENT _____ TRANSPORTATION ☒ HYDROLOGY/DRAINAGE

Check all that Apply:

TYPE OF SUBMITTAL:

- ☐ ENGINEER/ARCHITECT CERTIFICATION
- ☐ PAD CERTIFICATION
- ☐ CONCEPTUAL G & D PLAN
- ☒ GRADING PLAN
- ☐ DRAINAGE REPORT
- ☐ DRAINAGE MASTER PLAN
- ☐ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
- ☐ ELEVATION CERTIFICATE
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ TRAFFIC IMPACT STUDY (TIS)
- ☐ STREET LIGHT LAYOUT
- ☐ OTHER (SPECIFY) _____
- ☐ PRE-DESIGN MEETING?

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☒ BUILDING PERMIT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ SITE PLAN FOR SUB'D APPROVAL
- ☐ SITE PLAN FOR BLDG. PERMIT APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ SIA/ RELEASE OF FINANCIAL GUARANTEE
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ GRADING PERMIT APPROVAL
- ☐ SO-19 APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ GRADING/ PAD CERTIFICATION
- ☐ WORK ORDER APPROVAL
- ☐ CLOMR/LOMR
- ☐ FLOODPLAIN DEVELOPMENT PERMIT
- ☐ OTHER (SPECIFY) _____

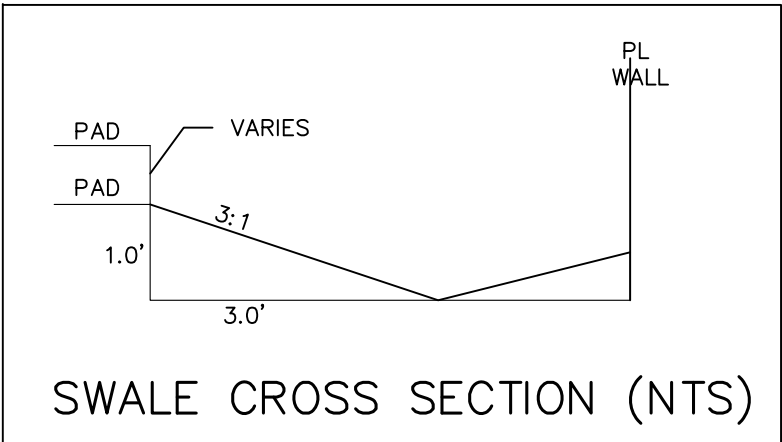
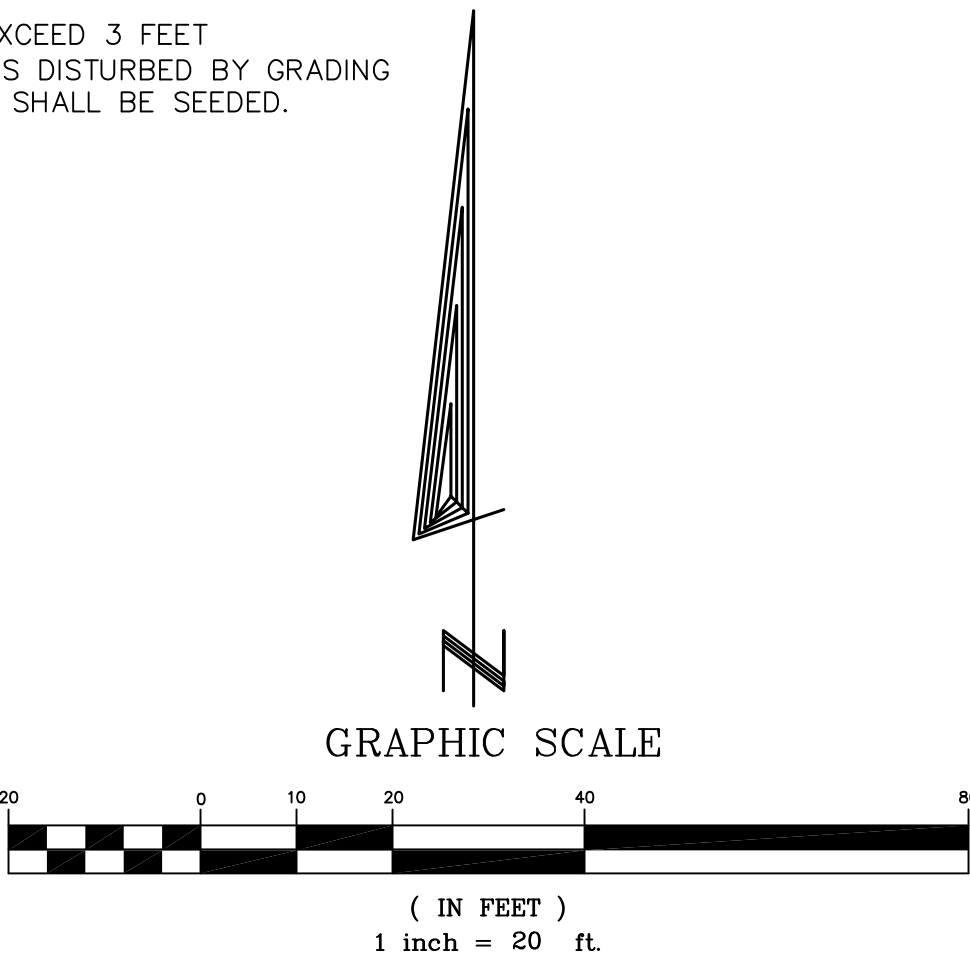
DATE SUBMITTED: 2-22-23 **By:** JACKIE MCDOWELL

COA STAFF:

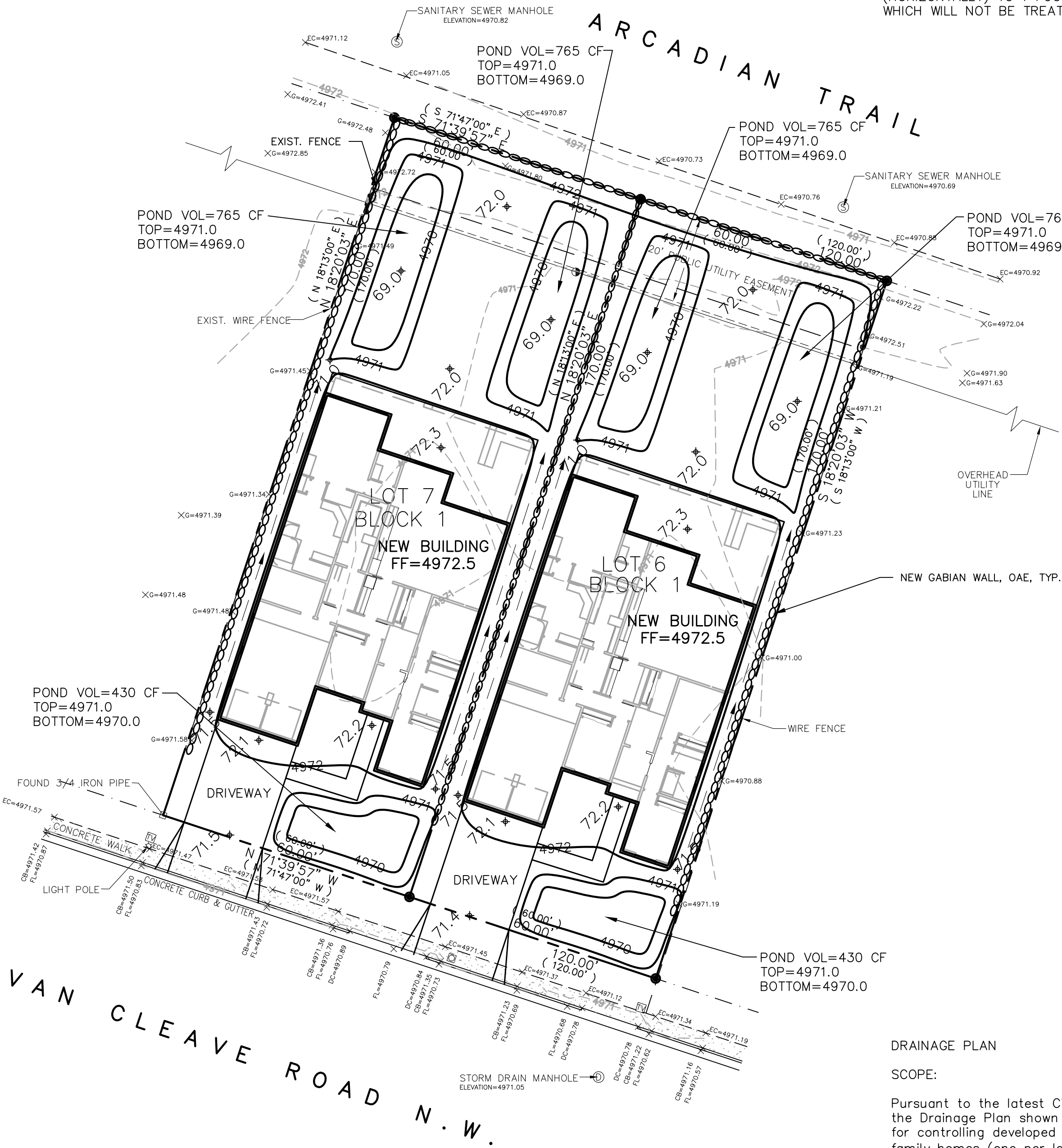
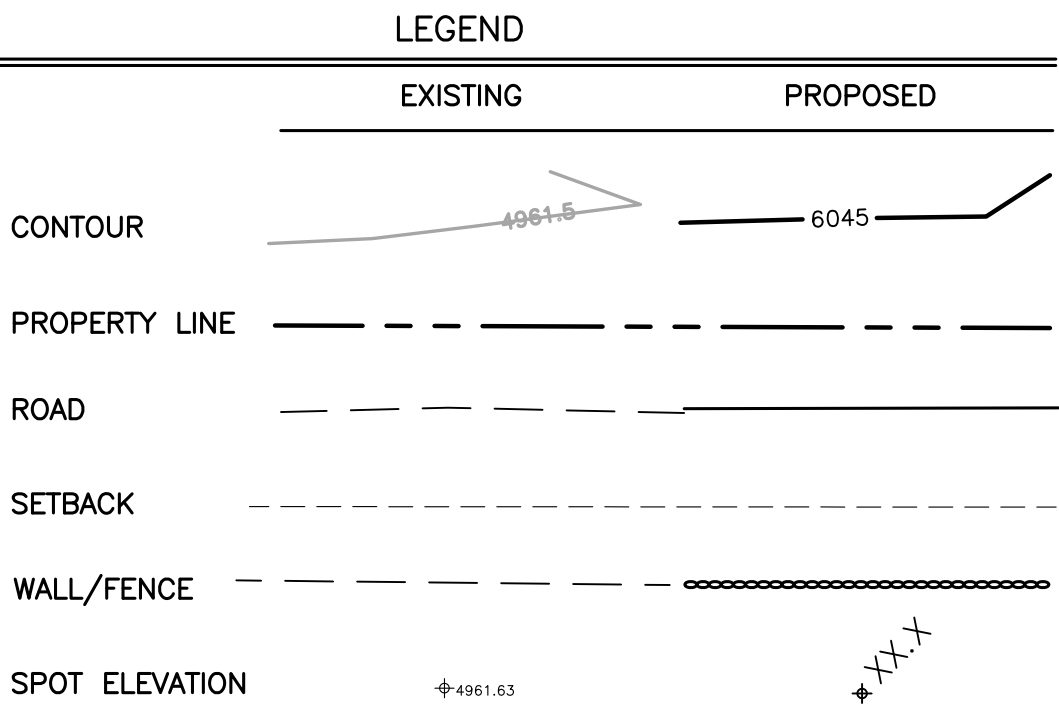
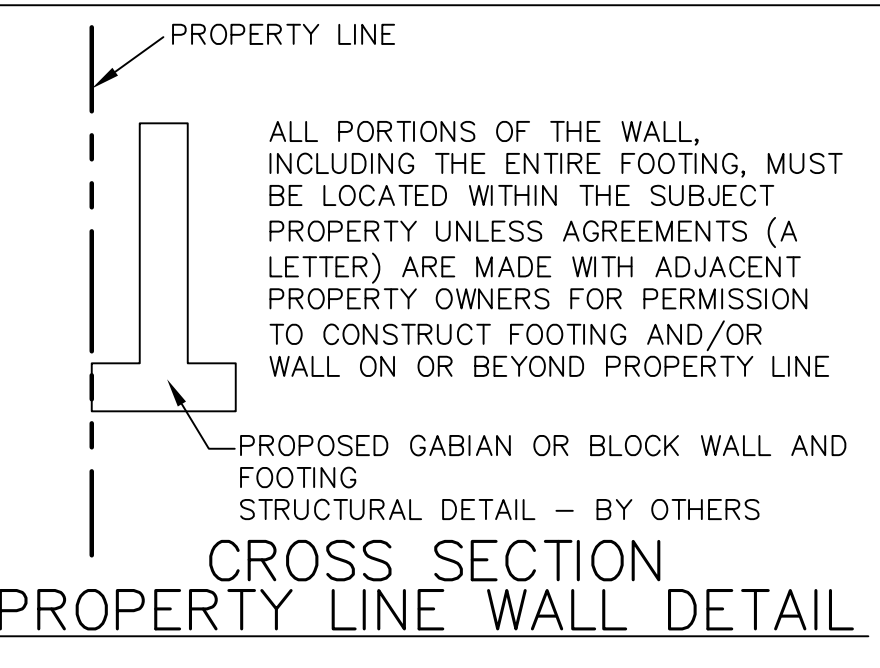
ELECTRONIC SUBMITTAL RECEIVED: _____

FEE PAID: _____

STANDARD GRADING NOTE:
THE MAXIMUM GRADED SIDE SLOPE SHALL NOT EXCEED 3 FEET
(HORIZONTALLY) TO 1 FOOT (VERTICALLY). AREAS DISTURBED BY GRADING
WHICH WILL NOT BE TREATED WITH LANDSCAPING SHALL BE SEEDED.



FEMA FLOODWAY MAP PANEL #118G VICINITY MAP ZONE ATLAS G-14



DRAINAGE PLAN

SCOPE:

Pursuant to the latest City of Albuquerque and Bernalillo County Ordinances, the Drainage Plan shown hereon outlines the drainage management criteria for controlling developed runoff on and exiting the project site. Two single family homes (one per lot) are proposed for the site with associated parking, access, landscaping, and utility improvements.

EXISTING CONDITIONS:

Presently, the 0.46 acre (0.23 acres per lot) site was developed. This is a redevelopment of the property. The site is bounded on the west and east by private property, on the south by Van Cleave Rd. and on the north by Arcadian Trail. The site is relatively level. As shown on FEMA Panel #1118G, dated September 26, 2008, the site is not located in a 100 year flood plain.

PROPOSED CONDITIONS:

As shown by the plan, the buildings are located in the center of the lots. This is a redevelopment of the property. The proposed drainage solution will utilize the flat grading scheme and the finished floor will be over 1' above the roadway. The 100-year, 10-day storm water volume will be retained onsite which includes the first flush volume. Negligible off-site flows enter the site due to existing grades. On site flows will drain around the structure via swales/slopes, and flow to the south and north to ponds. All roof drainage will discharge from the roofs to the lot and be directed around the structures to the drainage paths.

Supplemental calculations are shown as part of this Grading and Drainage plan.

CALCULATIONS:

The calculations shown hereon define the 100 year-6 hour design storm falling within the project area under existing and developed conditions.

PROPERTY ADDRESS:

1321 & 1325 Van Cleave Rd NW, Albuquerque, NM 87107

TOPOGRAPHY:

Topographic information provided by Anthony Harris dated November, 2022.

STANDARD EROSION CONTROL NOTES:

1. Contractor is responsible for obtaining a topsoil disturbance permit prior to beginning work, if required.
2. Contractor is responsible for maintaining runoff on site during construction.
3. Contractor is responsible for cleaning all sediment that gets into the right-of-way.
4. Repair of damaged facilities and cleanup of sediment accumulations on adjacent properties and in public facilities is the responsibility of the contractor.
5. All exposed earth surfaces must be protected from wind and water erosion prior to final acceptance of any project.

GENERAL DRAINAGE PLAN NOTES:

1. It is recommended that the Owner obtain a Geotechnical Evaluation of the on-site soils prior to foundation/structural design.
2. This plan recommends positive drainage away from all structures to prohibit ponding of runoff adjacent to the structure. Future alterations of the grades next to the structures are not recommended.
3. Irrigation within 10 feet of any proposed structure is not recommended. Irrigation water adjacent to the structures could cause settlement.
4. This plan establishes on-site drainage and assumes no responsibility for subsurface analysis, foundation or structural design, or utility design.
5. Local codes may require all footings to be placed in natural undisturbed soil. If the contractor plans to place footings on engineered fill, a certification by a registered Professional Engineer is recommended.
6. It is recommended that the Owner obtain the services of a Geotechnical Engineer to test and inspect all earthwork aspects of the project.
7. The property boundary shown on this plan is given for information only to describe the project limits. Property boundary information shown hereon does not constitute a boundary survey.
8. All work shall be constructed in accordance with the City of Albuquerque Standard Specifications for Public Works Construction with updates.
9. All work on this project shall be performed in accordance with applicable Federal, State, and Local laws, rules, and regulations concerning construction safety and health.
10. Contactor shall ensure that no site soils/sediment or silt enters the right-of-ways during construction.
11. Areas disturbed due to construction shall be restored per City of Albuquerque Spec. 1012 native seed mix.

ENTIRE SITE - BOTH LOTS

Precipitation Zone = 2

Areas: (acres)	Existing	Proposed
Treatment A	0.00	0.00
Treatment B	0.00	0.13
Treatment C	0.37	0.12
Treatment D	0.09	0.21
Total (acres) =	0.46	0.46

Volume	100 year Existing	100 year Proposed	10 year Existing	10 year Proposed	2 year Existing	2 year Proposed
Volume (acre-feet) =	0.049	0.060	0.026	0.034	0.012	0.019
Volume (cubic feet) =	2,145	2,602	1,138	1,502	535	826

Total Q(p), cfs:	100 year Existing Q(p)*A	100 year Proposed Q(p)*A	10 year Existing Q(p)*A	10 year Proposed Q(p)*A	2 year Existing Q(p)*A	2 year Proposed Q(p)*A
Treatment A	0.00	0.00	0.00	0.00	0.00	0.00
Treatment B	0.00	0.31	0.00	0.12	0.00	0.01
Treatment C	1.13	0.37	0.59	0.19	0.23	0.07
Treatment D	0.39	0.91	0.24	0.57	0.15	0.35
Total Q (cfs) =	1.52	1.58	0.83	0.88	0.38	0.43

$$\sqrt{(10 \text{ day})} = V (360) + A (D) * (P10\text{day}-P360)/12 \text{ in/ft} = 0.0830 \text{ ac-ft}$$
$$= 3616 \text{ cu-ft Both Lots} = 1808 \text{ cf per Lot}$$

EACH LOT:		
NORTH POND VOLUME PROVIDE:		
ELEV.	AREA (SF)	VOL. (CF)
4971	762	
		573
4970	384	
		192
4969	0	
	sub-total	765
	2 ponds	1530
SOUTH POND VOLUME PROVIDE:		
ELEV.	AREA (SF)	VOL. (CF)
4971	563	
		430
4970	297	
	TOTAL	1960

2-22-23

ENGINEER'S CERTIFICATION:

I, Jackie S. McDowell, hereby certify that I personally inspected the site shown on this plan on February 7, 2023 and as of that date it appeared that no filling, grading, or excavation had occurred thereon since completion of the topographic survey used to prepare this plan.

1321 & 1325 Van Cleave Rd NW, Albuquerque, NM 87107

CITY OF ALBUQUERQUE, BERNALILLO COUNTY NEW MEXICO

LOTS 6 & 7, BLOCK 1
FRANKLIN ADDITION

HELLER, ADAM - GRADING & DRAINAGE PLAN

McDowell Engineering, Inc.

7820 BEVERLY HILLS AVE. NE • ALBUQUERQUE, NM 87122

TELE: 505-828-2430 • FAX: 505-821-4857

Designed JSM Drawn STAFF Checked JSM Sheet of
File HEL0123L Date FEBRUARY,2023 1 1