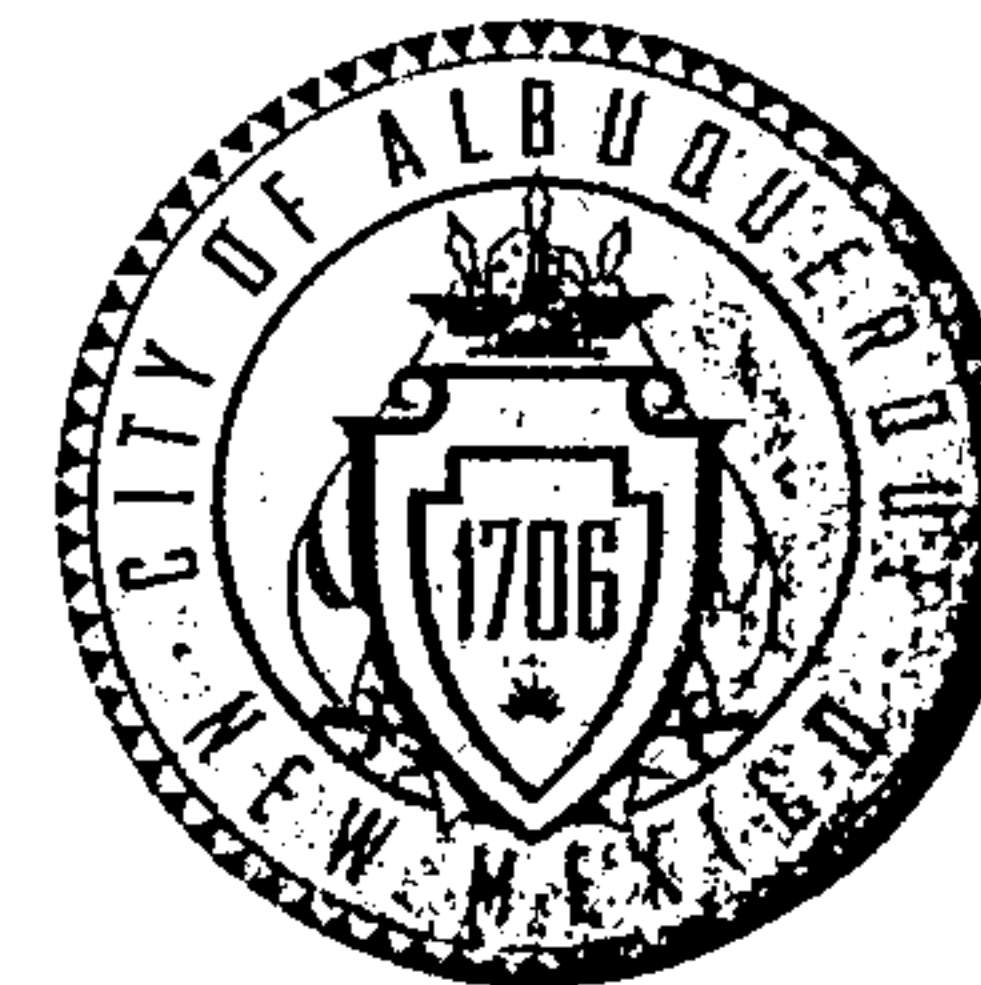


CITY OF ALBUQUERQUE

PLANNING DEPARTMENT – Development & Building Services



August 22, 2008

Guy Jackson, P.E.
Guy Jackson & Associates, LLC
10522 Florence Ave. N.E.
Albuquerque, New Mexico 87122

RE: **APS Garfield Middle School – Lab Add'n - 5103 6th St NW (G14-D 011)**
Grading Plan for Building Permit and SO-19 (PE Stamped 08-21-08)

Dear Mr. Jackson,

Based upon the information provided in your submittal received 7-11-08, and the revised information received 8/21/08, the above referenced Grading Plan is approved for Building Permit & SO-19 Permit.

PO Box 1293 A separate permit is required for the construction of sidewalk culverts within the Fairfields Place ROW. A copy of this approval letter must be on hand when applying for the excavation/barricading permit.

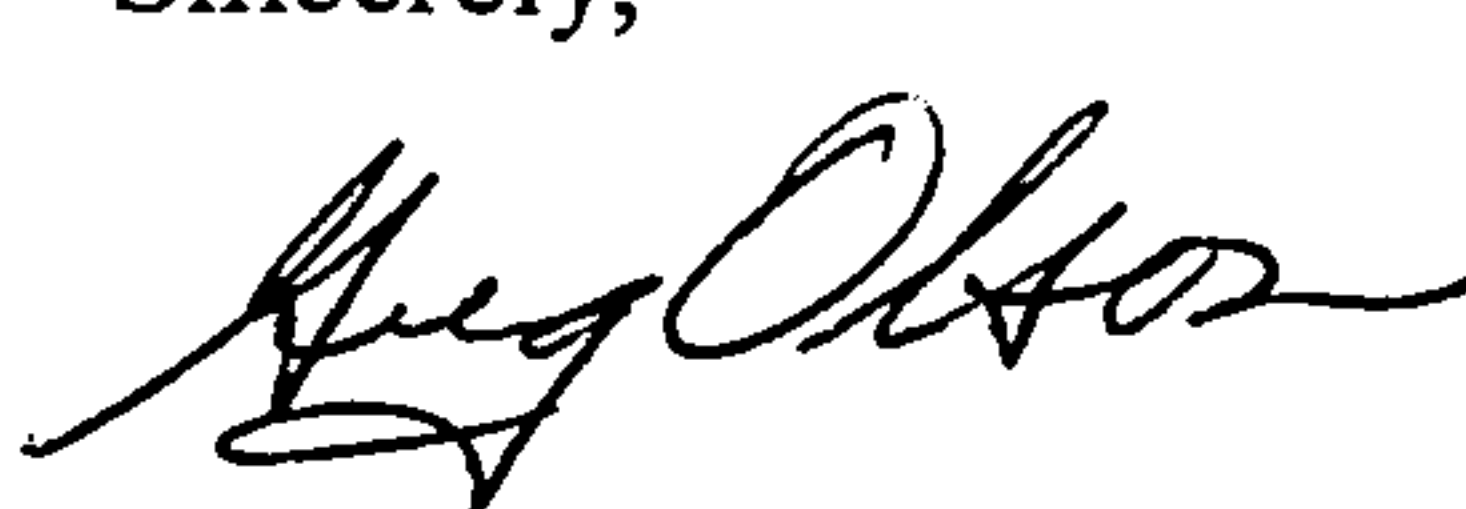
Albuquerque To obtain a Building CO, an Engineer's Certification of the Grading Plan is required per the DPM, and the storm drain work in the City ROW must be inspected and accepted. Please contact Duane Schmitz, 235-8016, to schedule an inspection of the SO-19 work.

NM 87103

If you have any questions, you can contact me at 924-3981.

www.cabq.gov

Sincerely,

 8/22/08

Gregory R. Olson, P.E.
Hydrology Section

XC: Bradley Bingham, COA-PLN/Hydrology
Antoinette Baldonado, Excavation and Barricading
Duane Schmitz, Street/Storm Drain Maintenance (w/ Copy of Plan)
Drainage file: G14 – D 011

DRAINAGE AND TRANSPORTATION INFORMATION SHEET
(Rev. 12/05)

PROJECT TITLE: Garfield Middle School -Lab Classroom Addition
DRB#: NA EPC#: NA WORK ORDER#: NA

ZONE MAP/DRG. FILE # G-14/1011

LEGAL DESCRIPTION: Lands of APS, Garfield Middle School
CITY ADDRESS: 3501 6th St. NW

ENGINEERING FIRM: GUY JACKSON & ASSOCIATES, LLC
ADDRESS: 10522 FLORENCE AVE. NE
CITY, STATE: ALBUQUERQUE, NM

CONTACT: GUY JACKSON, PE
PHONE: 235-1426
ZIP CODE: 87122

OWNER: APS
ADDRESS: 915 Oak St. SE
CITY, STATE: Albuquerque, NM

CONTACT: Myron Johnson
PHONE: 848-8811
ZIP CODE: 87106

ARCHITECT: Darren Sowell Architect
ADDRESS: 4700 Lincoln Rd. NE, Suite 111
CITY, STATE: Albuquerque

CONTACT: Craig Calvert
PHONE: 342-6200
ZIP CODE: 87109

SURVEYOR: High Mesa Consulting Group.
ADDRESS: 6010 Midway Park NE
CITY, STATE: ALBUQUERQUE, NM

CONTACT: Chuck Cala
PHONE: 345-4250
ZIP CODE: 87109

CONTRACTOR: SEE OWNER
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

TYPE OF SUBMITTAL:

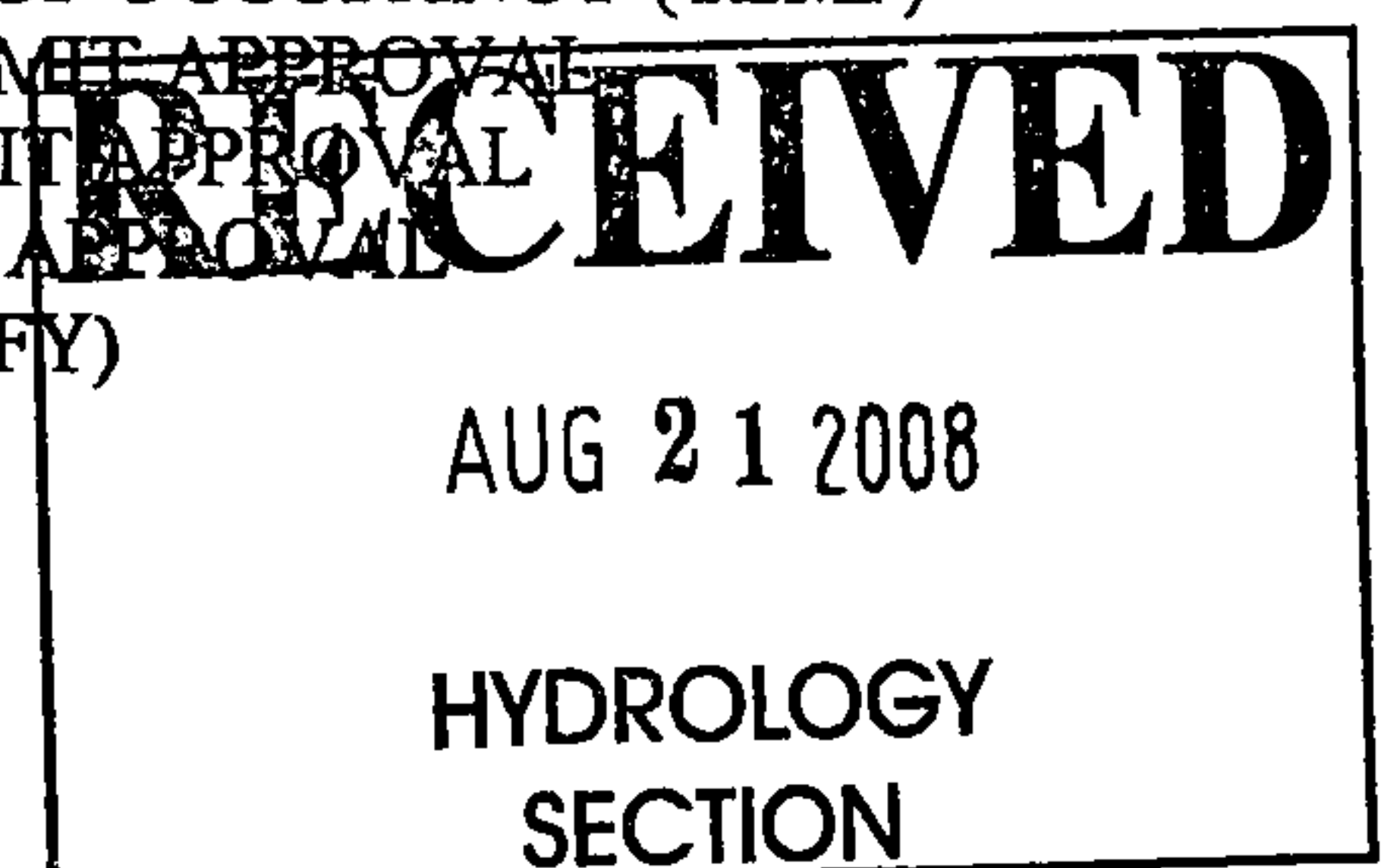
☐ DRAINAGE REPORT
☐ DRAINAGE PLAN 1st SUBMITTAL
☐ DRAINAGE PLAN RESUBMITTAL
☐ CONCEPTUAL G & D PLAN
☒ GRADING PLAN
☐ EROSION CONTROL PLAN
☐ ENGINEER'S CERT (HYDROLOGY)
☐ CLOMR/LOMR
☐ TRAFFIC CIRCULATION LAYOUT
☐ ENGINEER/ARCHITECT CERT (TCL)
☐ ENGINEER/ARCHITECT CERT (DRB S.P.)
☐ ENGINEER/ARCHITECT CERT (AA)
☐ OTHER (SPECIFY) _____

CHECK TYPE OF APPROVAL SOUGHT:

☐ SIA/FINANCIAL GUARANTEE RELEASE
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D APPROVAL
☐ S. DEV. FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ FOUNDATION PERMIT APPROVAL
☒ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY (PERM)
☐ CERTIFICATE OF OCCUPANCY (TEMP)
☒ GRADING PERMIT APPROVAL
☒ PAVING PERMIT APPROVAL
☐ WORK ORDER APPROVAL
☐ OTHER (SPECIFY) _____

WAS A PRE-DESIGN CONFERENCE ATTENDED:

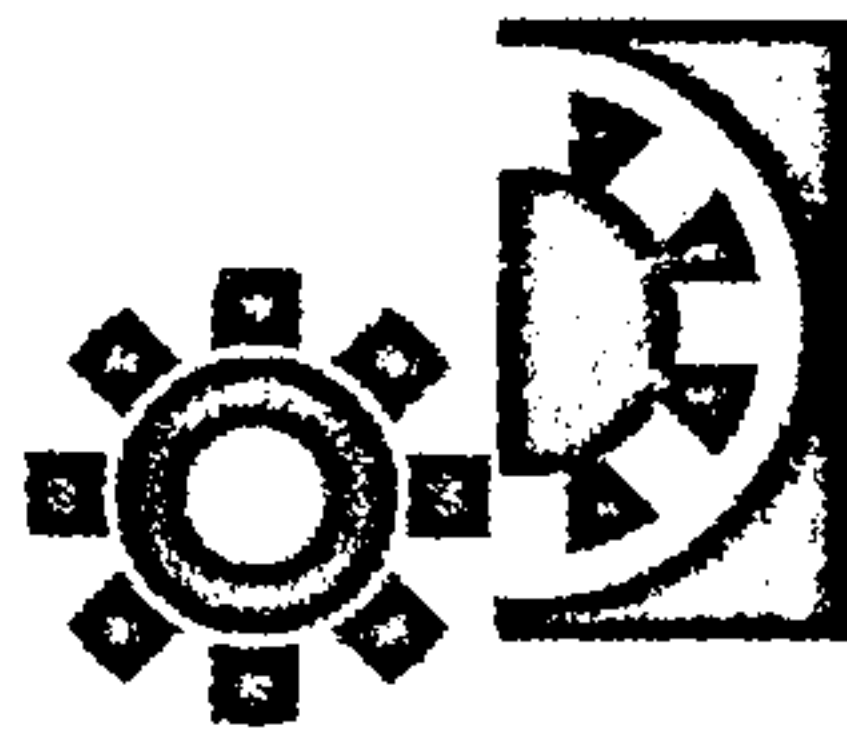
☐ YES
☒ NO
☐ COPY PROVIDED



SUBMITTED BY: GUY JACKSON, PE DATE: 8-21-08

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope to the proposed development define the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.



GUY JACKSON
AND ASSOCIATES, LLC
CIVIL ENGINEERING

August 21, 2008

Greg Olsen, PE
Hydrology
Development Services
PO Box 1293
Albuquerque, New Mexico 87103

**Re: Garfield Middle School –Classroom/Lab Addition,
3501 6th St. NE Albuquerque, NM
(Zone Atlas Map G-14)**

Dear Greg:

Per your minor comments on the August 5, 2008 e-mail, attached for building permit approval are the following:

- One (1) drainage information sheet
- One (1) additional copy of the overall grading plan (C-104)
- Two (1) copies of the "revised" enlarged grading plan(C-105)

I added the construction notes to the sidewalk culverts (with revisions to some of their sizes) and included the SO-19 notes on Sheet C-105. I did not reference sheet C-106, so I didn't include it.

The project is located at the Garfield Middle School with the address of 3501 6th St. NE. The proposed improvements include the removal of two modular classroom buildings (1800sf total) and the addition of approx. 2785sf lab/classroom buildings in their place.

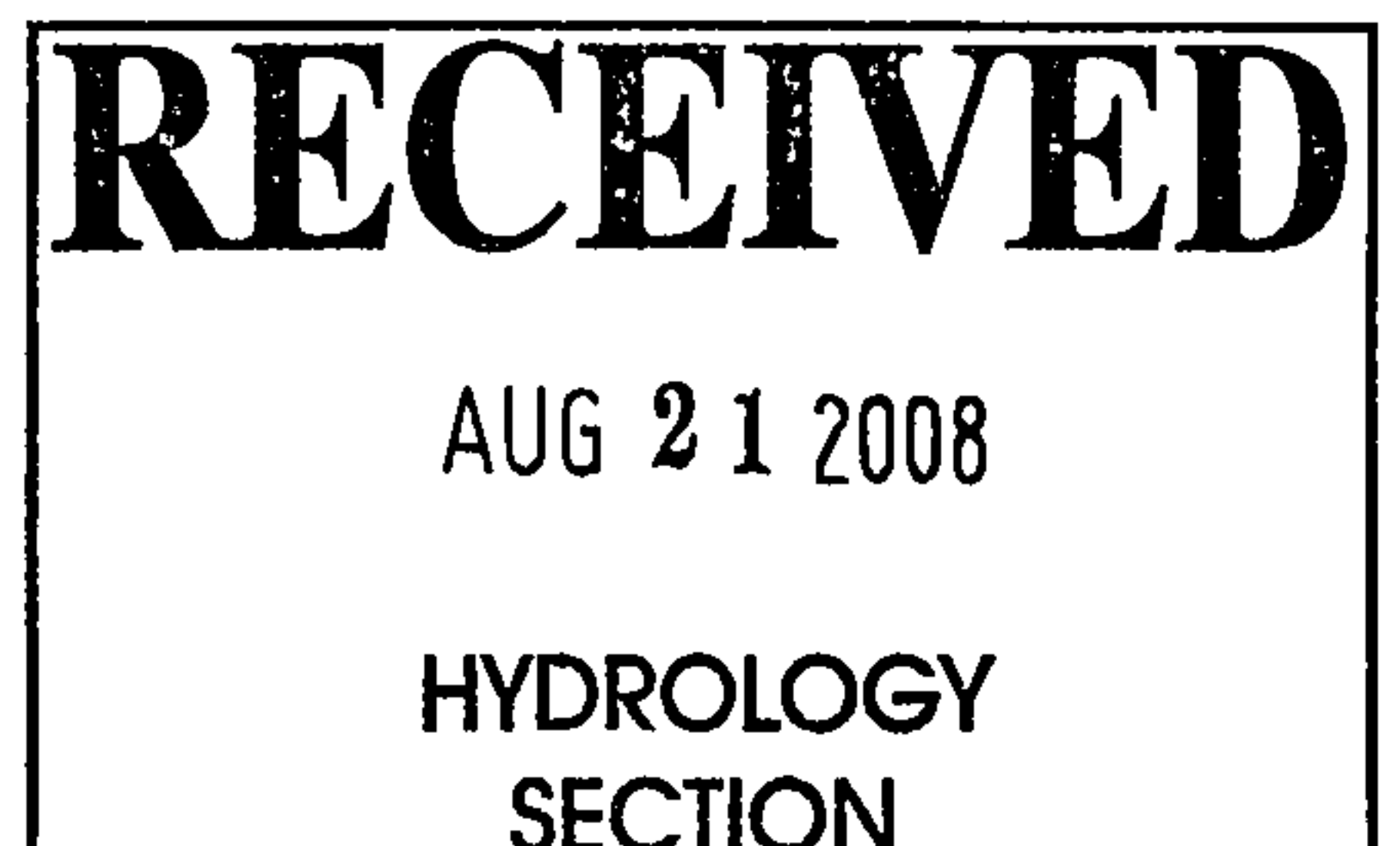
Please contact me if you have any questions or comments.

Thanks for your help.

Sincerely,

GUY JACKSON & ASSOCIATES, LLC

Guy C. Jackson, PE
President
10522 Florence Ave. NE
Albuquerque, NM 87122
505-25-35-1426



DRAINAGE AND TRANSPORTATION INFORMATION SHEET
(Rev. 12/05)

PROJECT TITLE: Garfield Middle School -Lab Classroom Addition
DRB#: NA EPC#: NA WORK ORDER#: NA

ZONE MAP/DRG. FILE # G-14/10-11

LEGAL DESCRIPTION: Lands of APS, Garfield Middle School
CITY ADDRESS: 3501 6th St. NW

ENGINEERING FIRM: GUY JACKSON & ASSOCIATES, LLC
ADDRESS: 10522 FLORENCE AVE. NE
CITY, STATE: ALBUQUERQUE, NM

CONTACT: GUY JACKSON, PE
PHONE: 235-1426
ZIP CODE: 87122

OWNER: APS
ADDRESS: 915 Oak St. SE
CITY, STATE: Albuquerque, NM

CONTACT: Myron Johnson
PHONE: 848-8811
ZIP CODE: 87106

ARCHITECT: Darren Sowell Architect
ADDRESS: 4700 Lincoln Rd. NE, Suite 111
CITY, STATE: Albuquerque

CONTACT: Craig Calvert
PHONE: 342-6200
ZIP CODE: 87109

SURVEYOR: High Mesa Consulting Group.
ADDRESS: 6010 Midway Park NE
CITY, STATE: ALBUQUERQUE, NM

CONTACT: Chuck Cala
PHONE: 345-4250
ZIP CODE: 87109

CONTRACTOR: SEE OWNER
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

TYPE OF SUBMITTAL:

☐ DRAINAGE REPORT
☐ DRAINAGE PLAN 1st SUBMITTAL
☐ DRAINAGE PLAN RESUBMITTAL
☐ CONCEPTUAL G & D PLAN
☒ GRADING PLAN
☐ EROSION CONTROL PLAN
☐ ENGINEER'S CERT (HYDROLOGY)
☐ CLOMR/LOMR
☐ TRAFFIC CIRCULATION LAYOUT
☐ ENGINEER/ARCHITECT CERT (TCL)
☐ ENGINEER/ARCHITECT CERT (DRB S.P.)
☐ ENGINEER/ARCHITECT CERT (AA)
☐ OTHER (SPECIFY) _____

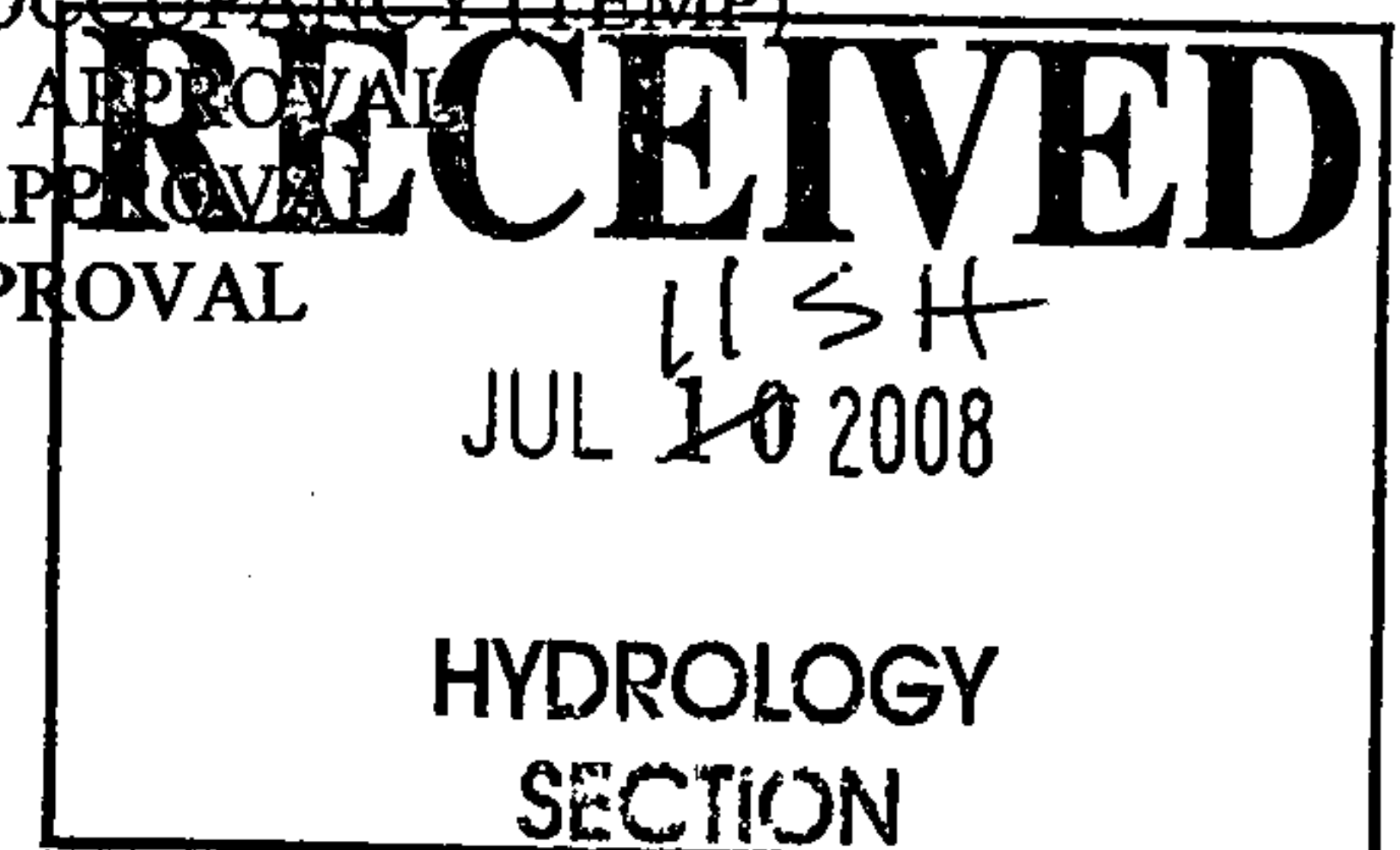
CHECK TYPE OF APPROVAL SOUGHT:

☐ SIA/FINANCIAL GUARANTEE RELEASE
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D APPROVAL
☐ S. DEV. FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ FOUNDATION PERMIT APPROVAL
☒ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY (PERM)
☐ CERTIFICATE OF OCCUPANCY (TEMP)
☒ GRADING PERMIT APPROVAL
☒ PAVING PERMIT APPROVAL
☐ WORK ORDER APPROVAL
☐ OTHER (SPECIFY) _____

WAS A PRE-DESIGN CONFERENCE ATTENDED:

☐ YES
☒ NO
☐ COPY PROVIDED

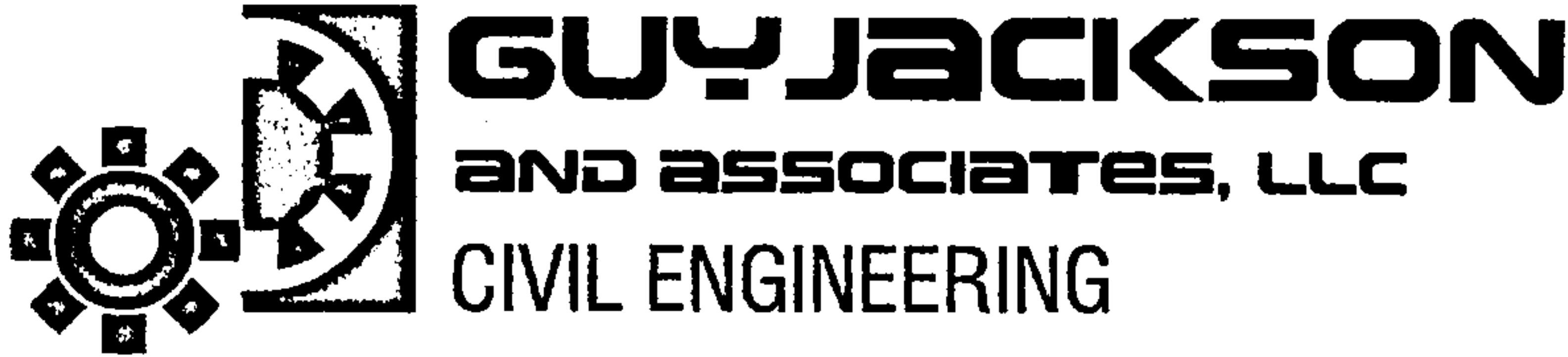
\$50.00



SUBMITTED BY: GUY JACKSON, PE DATE: 7-10-08

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope to the proposed development define the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.



July 10, 2008

Bradley L. Bingham, PE
Section Head, Hydrology
Development Services
PO Box 1293
Albuquerque, New Mexico 87103

**Re: Garfield Middle School – Classroom/Lab Addition,
3501 6th St. NE Albuquerque, NM
(Zone Atlas Map G-14)**

Dear Brad:

Attached for building permit approval are the following:

- One (1) drainage information sheet
- One (1) copy of the overall grading plan
- One (1) copy of the enlarged grading plan
- One (1) copy of the original master plan (5 sheets)
-

The project is located at the Garfield Middle School with the address of 3501 6th St. NE. The proposed improvements include the removal of two modular classroom buildings (1800sf total) and the addition of approx. 2785sf lab/classroom buildings in their place.

Note that the area of the proposed building has been identified and accounted for in the original Master Drainage Plan prepared by Jeff Mortensen & Associates (March 2001). See highlighted portions of sheets 1 & 4 of 5 showing the drainage calculations for the new building and the narrative describing the area of the building addition as "already developed with impervious land treatments and that historic flow paths will be unchanged".

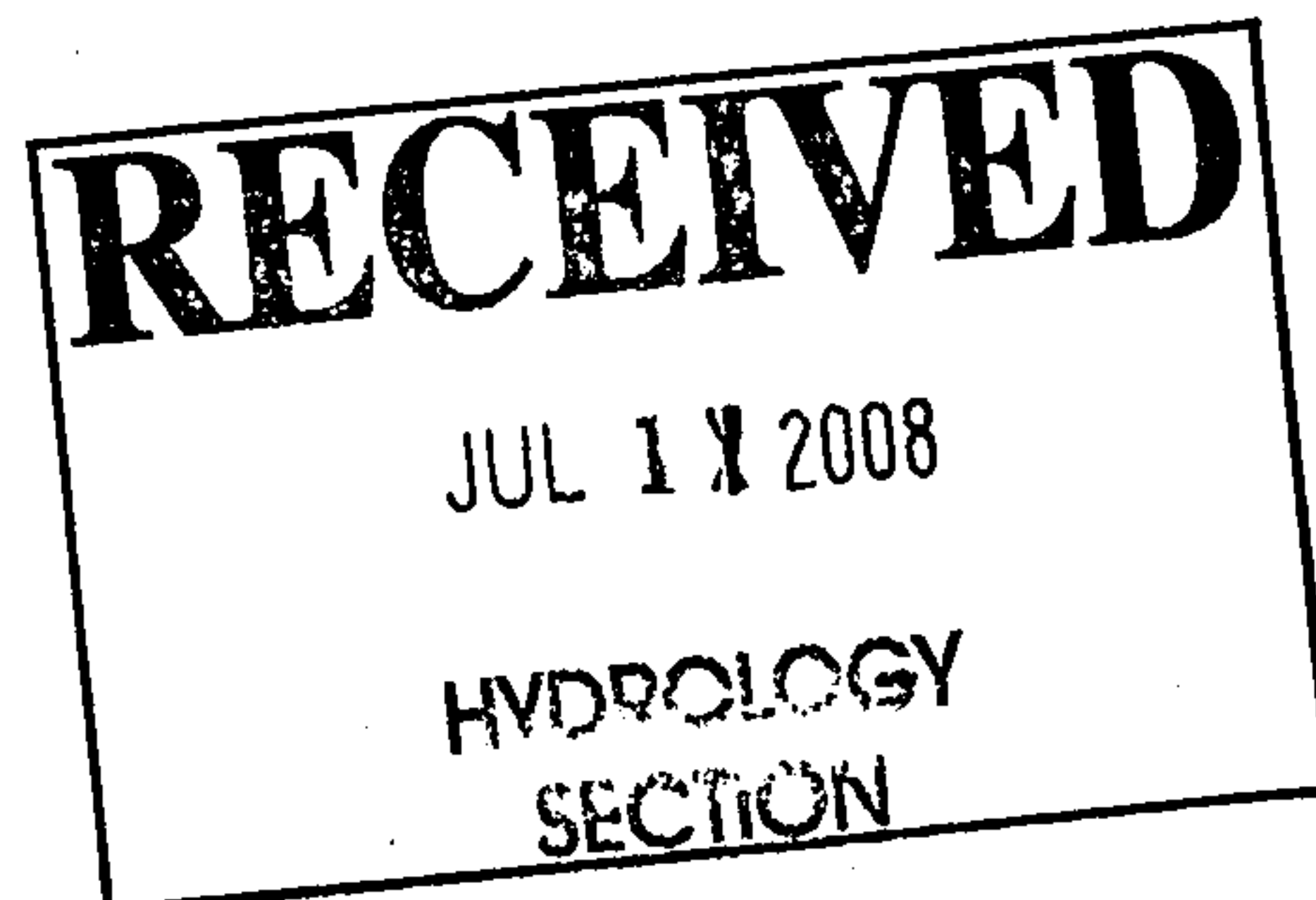
Please contact me if you have any questions or comments.

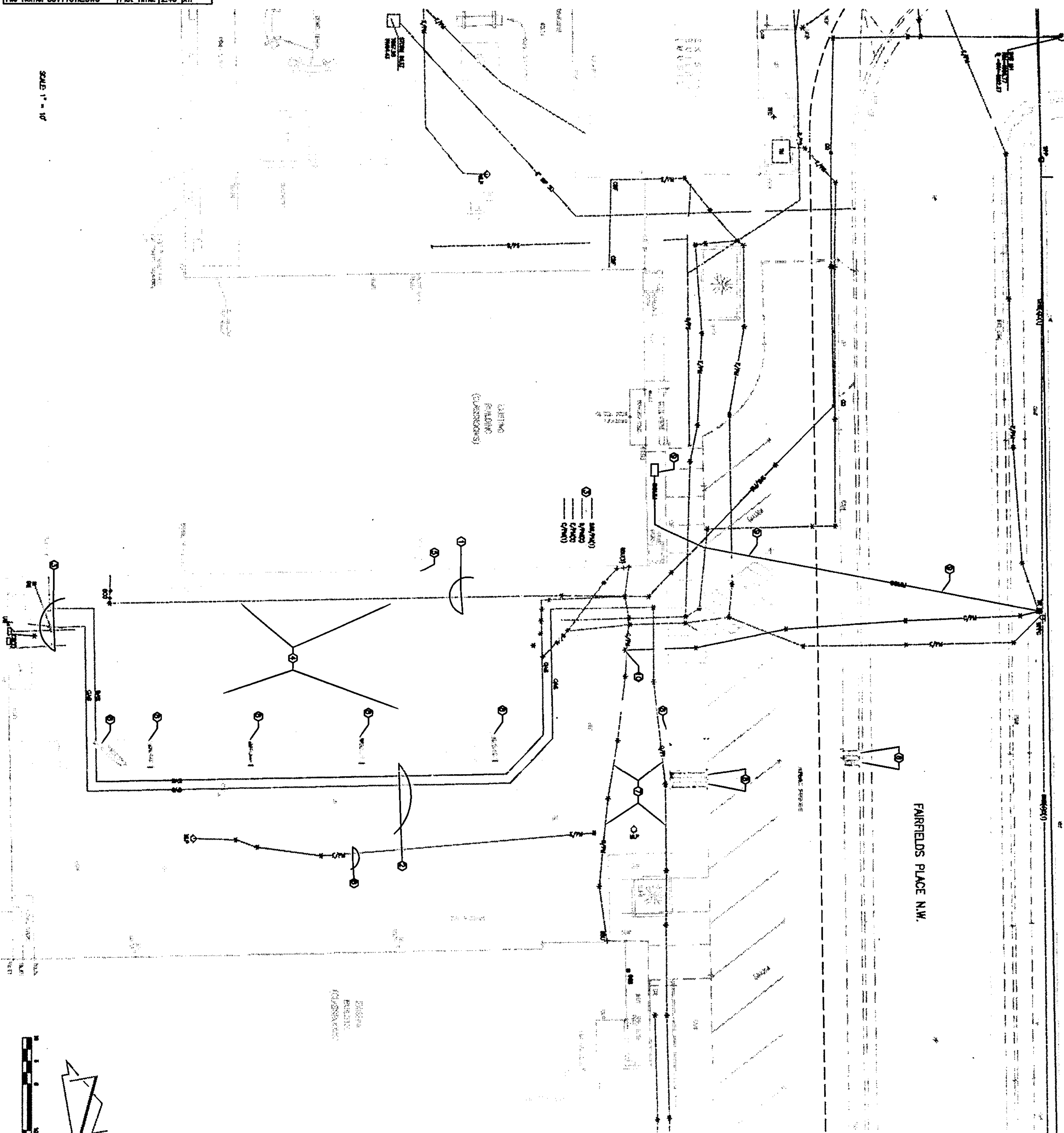
Sincerely,

GUY JACKSON & ASSOCIATES, LLC

Guy C. Jackson, PE
President
10522 Florence Ave. NE
Albuquerque, NM 87122
505-253-1426

235





- ① PRIOR TO REMOVAL OF EXISTING SWIMMING SPOT, PUT HOLE/EXPOSE EXISTING SWIMMING SPOT TO DETERMINE LOCATION, SIZE, SLOPE AND DIRECTION OF EXISTING SWIMMING SPOT FOR INSTALLATION OF NEW BUILDING SWIMMING SPOT COLLECTION SYSTEM, SEE PLUMBING PLAN PL-101 FOR CONNECTION POINTS AND UTILITIES RELOCATION.
- ② APPROXIMATE LOCATION OF PROPOSED UNDERGROUND UTILITIES RELOCATION.
- ③ PROTECT UNDERGROUND UTILITIES TO REMAIN.
- ④ NEW CLASSROOM/JAB ADDITION.
- ⑤ REMOVE EXISTING ROOF DRAIN TO NEW BUILDING ROOF DRAIN SYSTEM, SEE PLUMBING PLANS.
- ⑥ PROTECT EXISTING JETTY STAIRWAYS TO REMAIN.
- ⑦ REMOVE & REPLACE EXISTING GAS LINE TO ACCOMMODATE CHANGING OPERATIONS.
- ⑧ UTILITY LOT, SEE SANITARY CLIENTS PROJ. COA STD. DET. 2234
- ⑨ INSTALL NEW GUEST COMMUNICATION LINE FROM EXISTING COMMUNICATION LINE, SEE SHEET BR-102 FOR CONNECTION POINT.
- ⑩ APPROXIMATE LOCATION OF CAPPED AND ABANDONED EXISTING COMMUNICATION LINE COMMUNICATION TERMINATION POINT BY GUEST DESIGN ENGINEER (MUTUAL AUTHORITY) - 246-4940.

CUTLER & SON
c/o Montgomery Ward, Inc.
1400 N. 1st St.
Chicago, IL 60610



UTILITY PLAN

C-106



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

***Planning Department
Transportation Development Services Section***

April 16, 2003

Frank H. Mackay, JR., Registered Architect
1717 Louisiana NE, Suite 205
Albuquerque, NM 87110-7027

Re: Certification Submittal for Final Building Certificate of Occupancy for
Garfield Middle School Additions, [G-14 / D11]
3501 6th St. NW
Architect's Stamp Dated 04/16/03

Dear Mr. Mackay:

The TCL / Letter of Certification submitted on April 16, 2003 is sufficient for acceptance by this office for final Certificate of Occupancy (C.O.). Notification has been made to the Building and Safety Section.

Sincerely,

Nilo E. Salgado-Fernandez, P.E.
Senior Traffic Engineer
Development and Building Services
Planning Department

c: Engineer
Hydrology file
CO Clerk

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV. 1/28/2003rd)

PROJECT TITLE: GARFIELD MIDDLE SCHOOL ADDITIONS

DRB #: _____ EPC#: _____

ZONE MAP/DRG. FILE #: G-14/D11

WORK ORDER#: _____

LEGAL DESCRIPTION: GARFIELD MIDDLE SCHOOL & PARK

CITY ADDRESS: _____

ENGINEERING FIRM: JEFF MORTENSEN & ASSOC.

ADDRESS: _____

CITY, STATE: _____

CONTACT: _____

PHONE: _____

ZIP CODE: _____

OWNER: ALBUQUERQUE PUBLIC SCHOOLS

ADDRESS: _____

CITY, STATE: _____

CONTACT: _____

PHONE: _____

ZIP CODE: _____

ARCHITECT: GREER STAFFORD - SJC, INC.

ADDRESS: _____

CITY, STATE: _____

CONTACT: FRANK MACKAY

PHONE: 821-0235

ZIP CODE: _____

SURVEYOR: JEFF MORTENSEN & ASSOC.

ADDRESS: _____

CITY, STATE: _____

CONTACT: _____

PHONE: _____

ZIP CODE: _____

CONTRACTOR: NEWT & BUTCH ROOFING & SHEET METAL

ADDRESS: _____

CITY, STATE: _____

CONTACT: _____

PHONE: _____

ZIP CODE: _____

CHECK TYPE OF SUBMITTAL:

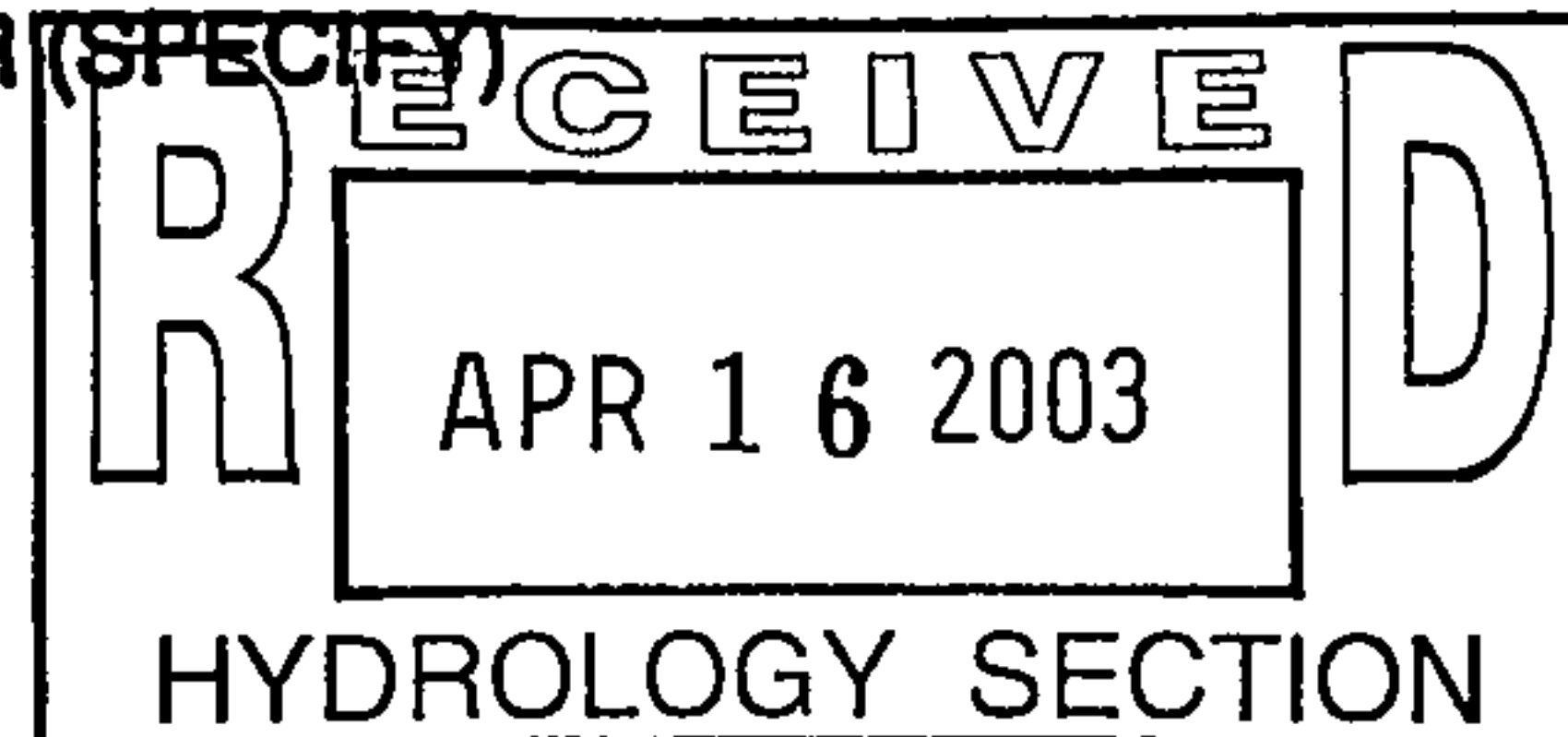
- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1st SUBMITTAL, **REQUIRES TCL or equal**
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL GRADING & DRAINAGE PLAN
- ☐ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☐ ENGINEER'S CERTIFICATION (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☒ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEERS CERTIFICATION (TCL)
- ☐ ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)
- ☐ OTHER

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA / FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D. APPROVAL
- ☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ BUILDING PERMIT APPROVAL
- ☒ CERTIFICATE OF OCCUPANCY (PERM.)
- ☐ CERTIFICATE OF OCCUPANCY (TEMP.)
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ OTHER (SPECIFY) _____

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
- ☐ NO
- ☐ COPY PROVIDED



DATE SUBMITTED: 4/16/03

BY: [Signature]

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

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3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.

DRAINAGE AND TRANSPORTATION INFORMATION SHEET
(REV. 1/28/2003rd)

G-14/D11

PROJECT TITLE: GARFIELD MIDDLE SCHOOL PHASE I ADDITIONS ZONE MAP/DRG. FILE #: G-14
DRB #: _____ EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION: 98A / GARFIELD MIDDLE SCHOOL & PARK, MRGCD MAP 33
CITY ADDRESS: 3501 6TH STREET NW, ALBUQUERQUE, NEW MEXICO

ENGINEERING FIRM: JMA, INC.
ADDRESS: 6010-B MIDWAY PARK NE
CITY, STATE: ALBUR. NEW MEXICO

CONTACT: JEFF MORTENSEN
PHONE: 345-4250
ZIP CODE: 87109

OWNER: ALBUQUERQUE PUBLIC SCHOOLS
ADDRESS: 915 OAK ST. SE
CITY, STATE: ALBUR. NEW MEXICO

CONTACT: ANDRE LARROQUE
PHONE: _____
ZIP CODE: 87106

ARCHITECT: GREEN STAFFORD - SJCF, INC.
ADDRESS: 1717 LOUISIANA BLVD NE, ALBUR. NM
CITY, STATE: ALBUR. NEW MEXICO

CONTACT: FRANK MACKAY
PHONE: 821.0235
ZIP CODE: 87110

SURVEYOR: JMA, INC.
ADDRESS: 6010-B MIDWAY PARK NE
CITY, STATE: ALBUR. NEW MEXICO

CONTACT: JEFF MORTENSEN
PHONE: 345-4250
ZIP CODE: 87109

CONTRACTOR: NEW & BUTCH ROOFING & SHEET METAL
ADDRESS: 5601 SAN FRANCISCO NE
CITY, STATE: ALBUR. NEW MEXICO

CONTACT: DANNY SMITH
PHONE: 797-5564
ZIP CODE: 87109

CHECK TYPE OF SUBMITTAL:

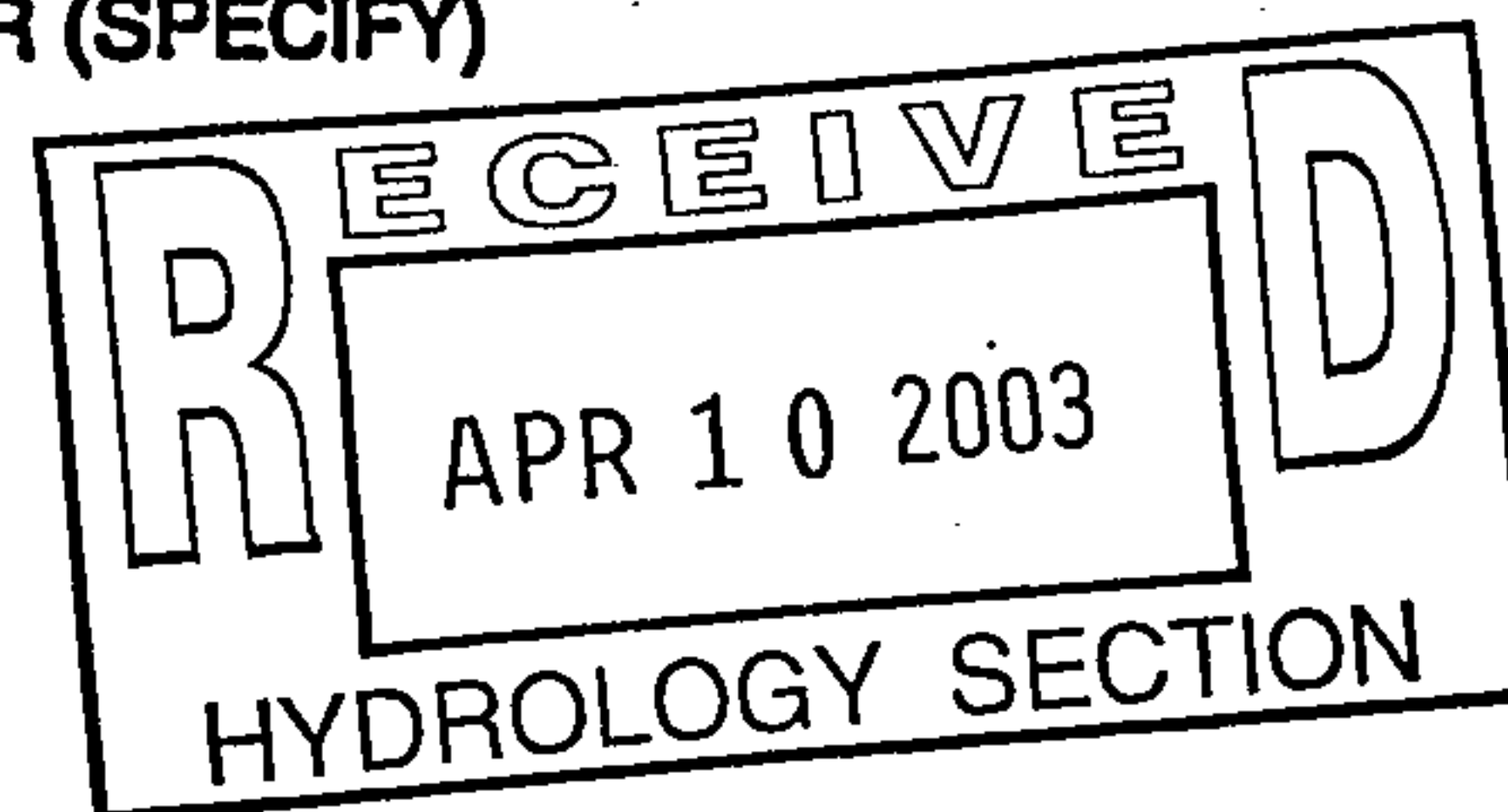
- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1st SUBMITTAL, *REQUIRES TCL or equal*
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL GRADING & DRAINAGE PLAN
- ☐ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☐ ENGINEER'S CERTIFICATION (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☒ ~~TRAFFIC~~ ☒ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☒ ENGINEERS CERTIFICATION (TCL)
- ☐ ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)
- ☐ OTHER

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA / FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D. APPROVAL
- ☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ BUILDING PERMIT APPROVAL
- ☒ CERTIFICATE OF OCCUPANCY (PERM.)
- ☐ CERTIFICATE OF OCCUPANCY (TEMP.)
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED:

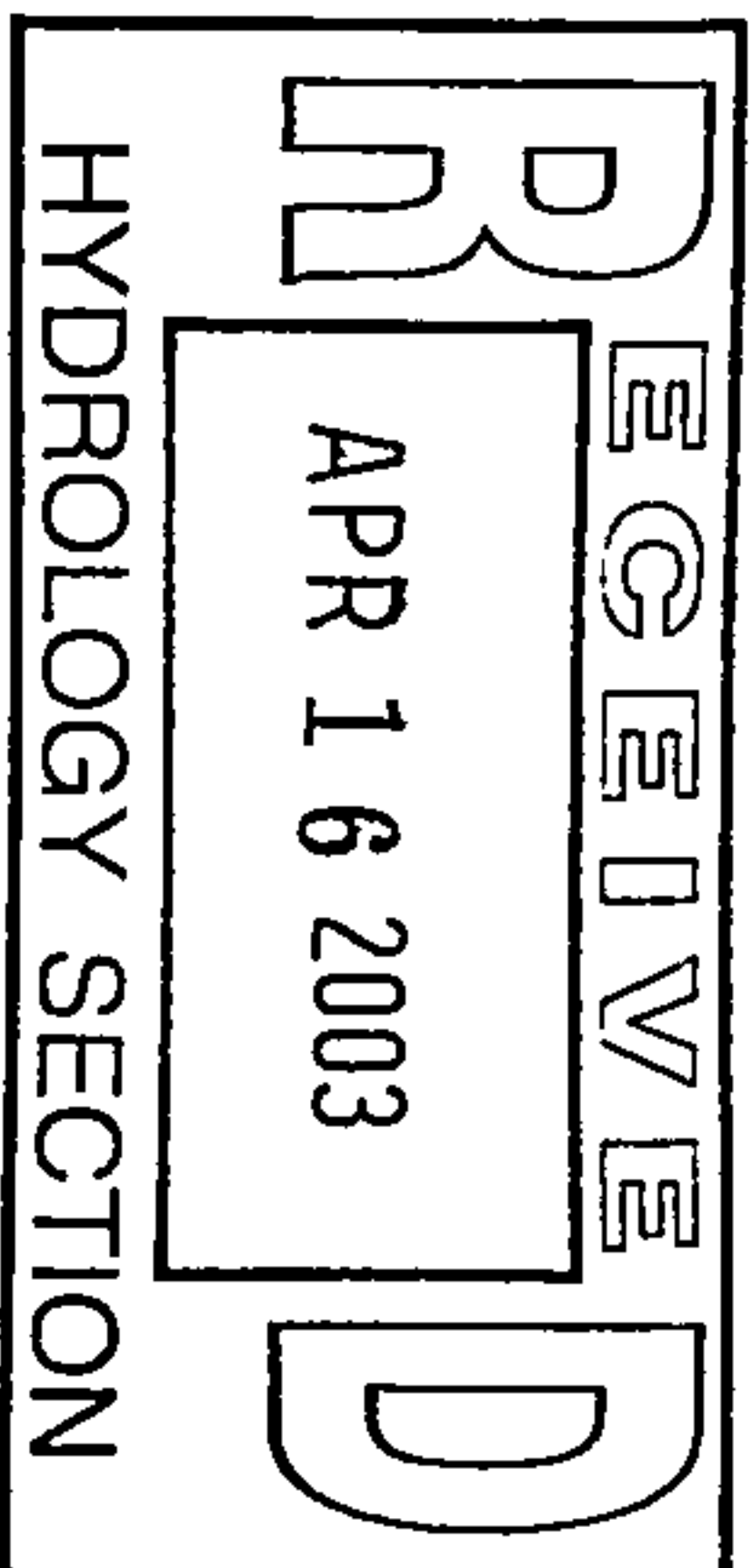
- ☐ YES
- ☐ NO
- ☐ COPY PROVIDED



DATE SUBMITTED: 4/10/03 BY: [Signature]

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

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3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.





April 16, 2003

1717 LOUISIANA NE, SUITE 205
ALBUQUERQUE, NM 87110-7027

505.821.0235
FAX 505.821.0348

Nilo Salgado-Fernandez
City of Albuquerque
Planning Department
Development and Building Services
600 Second Street NW
Albuquerque, NM 87102

Reference: Garfield Mid School - Phase 1 Additions & Modifications
Greer Stafford/SJCF Project No 2734.00
APS Bid No. 02-062-CC

Dear Mr. Salgado-Fernandez :

Attached are two sets of Traffic Circulation Layout Plans (Sheets A1.3 and A1.4) for the above referenced Project. We have reviewed the "as-built" conditions and certify that these plans represent the completed construction.

ARE IN SUBSTANTIAL COMPLIANCE WITH THE CONTRACT DOCUMENTS *FMH 4/16/03*

Also attached are two Boundary Survey Plats for Garfield Middle School that indicates Fairfields Place NW as an easement on this property and not a City Right-of Way. Therefore, we have not submitted a License Agreement for the portion of the north parking lot, identified as a condition on the permit set. The times for bus and refuse pick-up at this school are as follows:

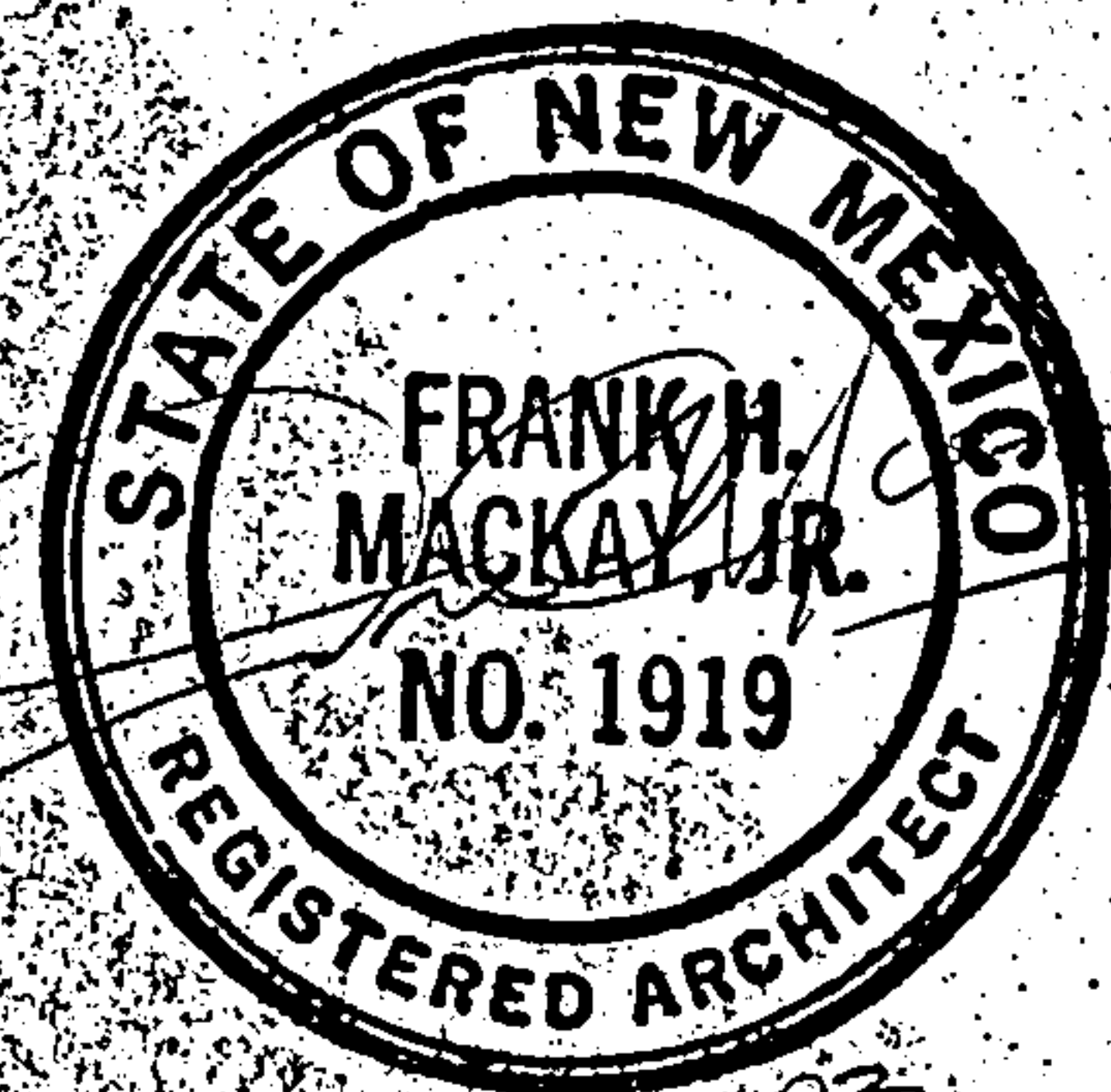
1. Buses arrive just prior to 8:00 am on regularly scheduled schools days and return just prior to 3:00 pm.
2. Refuse pick-up occurs just prior to 6:00 am on Mondays and Thursdays.

Please review these plans with regards to the Final Certification of Occupancy for Garfield Middle School Additions and Modifications - Phase One.

If you have any questions, please give me a call.

Sincerely,

Frank Mackay,
Project Architect



Enclo.

Cc: Andre Larroque - Albuquerque Public Schools (Letter only)
Danny Smith - Newt & Butch's Roofing & Sheet Metal, Inc. (Letter only)
file

JOHN L. GREER
SCOTT W. STAFFORD
DENNIS L. WETTERSTROM
CHRISTOPHER K. RASMUSSEN

SCHAEFER JOHNSON COX FREY & ASSOCIATES PA



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

***Public Works Department
Transportation Development Services Section***

November 20, 2001

Frances Kilpatrick for Chris Rasmussen, Registered Architect
Greer/Stafford
6020 Academy NE, Suite 205
Albuquerque, NM 87109-3315

Re: TCL Submittal for Building Permit Approval for
Garfield Middle School Addition, [G14 / D011]
3501 6th St., NW
Architect's Stamp Dated 08/21/01

Dear Ms. Kilpatrick:

The TCL submitted for second review is not sufficient for acceptance by this office. It requires completion of the items that have not been addressed on the original mark up. Ninety-five percent of the comments have not been addressed and the check list issued at first review (June 2001) has not been submitted with this last submittal (November 9th).

Please submit the corrected TCL and check list again to Hydrology along with all documentation and mark up copies.

Sincerely,

Mike Zamora
Commercial Plan Checker
Development and Building Services
Public Works Department

c: Engineer
Terri Martin, Hydrology
Office File

MZ:gds

DRAINAGE INFORMATION SHEET

(REV. 11/01/2001)

PROJECT TITLE: GARFIELD MID SCHOOL ADNS & MODIFS. ZONE MAP/DRG. FILE #: G14-D11
 DRB #: EPC#: WORK ORDER#:

LEGAL DESCRIPTION:
 CITY ADDRESS: 3501 6TH ST. NW

ENGINEERING FIRM: JEFF MONTENSEN & ASSOC.
 ADDRESS: 6010-B MIDWAY PARK BLVD NE
 CITY, STATE: ALBUQ. NM

CONTACT: CHRIS SHOLTS
 PHONE: 345-4250
 ZIP CODE: 87109

OWNER: APS/CITY OF ALBUQ.
 ADDRESS:
 CITY, STATE:

CONTACT: ANDRE LARROQUE
 PHONE: 242-4865
 ZIP CODE:

ARCHITECT: GREEN STAFFORD
 ADDRESS: 6070 ACADEMY NE SUITE 205
 CITY, STATE: ALBUQ. NM

CONTACT: FRANCES KILPATRICK
 PHONE: 821-0735
 ZIP CODE: 87109-3315

SURVEYOR: JEFF MONTENSEN & ASSOC.
 ADDRESS: (SAME AS ABOVE)
 CITY, STATE:

CONTACT: (SAME AS ABOVE)
 PHONE: 345-4250
 ZIP CODE:

CONTRACTOR:
 ADDRESS:
 CITY, STATE:

CONTACT:
 PHONE:
 ZIP CODE:

CHECK TYPE OF SUBMITTAL:

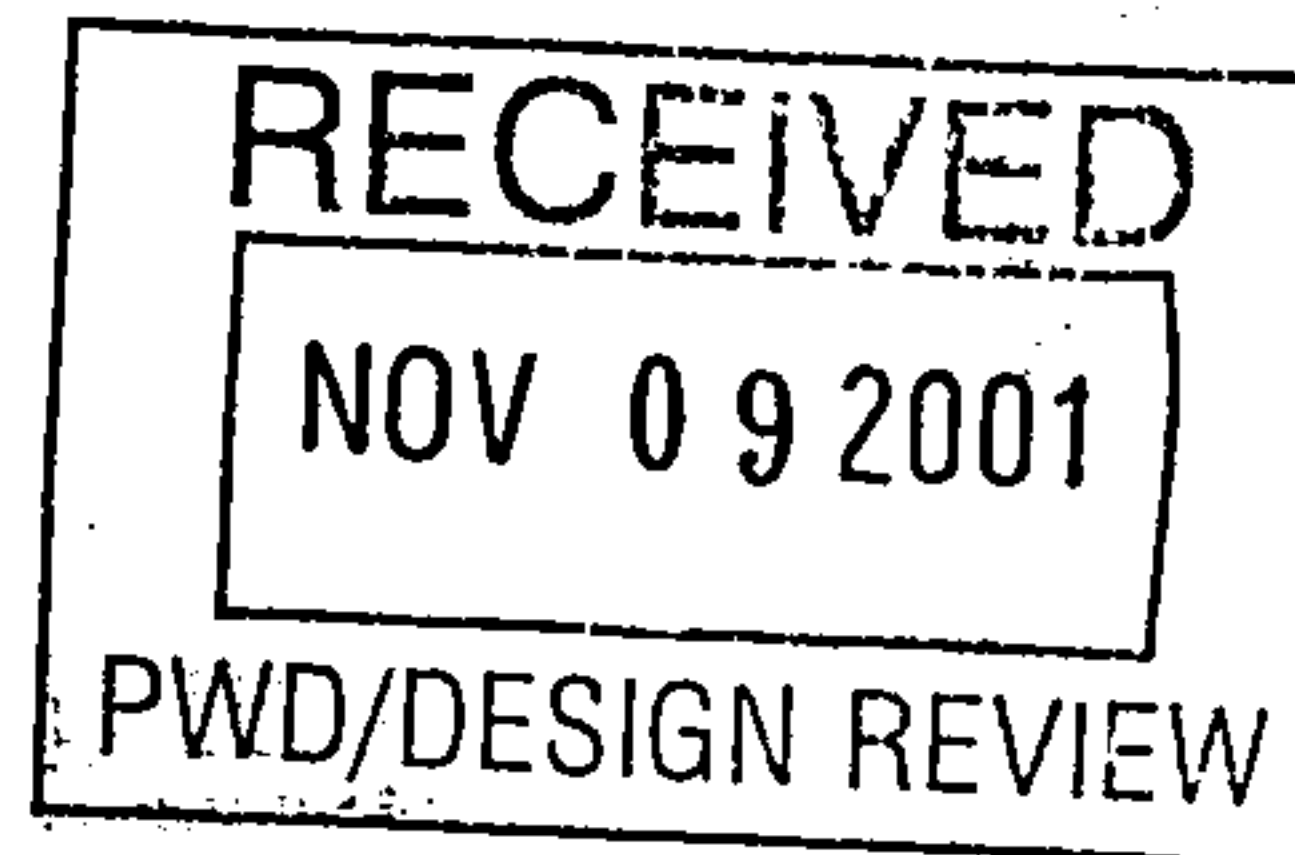
- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN
- ☐ CONCEPTUAL GRADING & DRAINAGE PLAN
- ☐ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☐ ENGINEER'S CERTIFICATION (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☒ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEERS CERTIFICATION (TCL)
- ☐ ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)
- ☐ OTHER

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA / FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D. APPROVAL
- ☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☒ FOUNDATION PERMIT APPROVAL
- ☒ BUILDING PERMIT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY (PERM.)
- ☐ CERTIFICATE OF OCCUPANCY (TEMP.)
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
- ☐ NO
- ☐ COPY PROVIDED

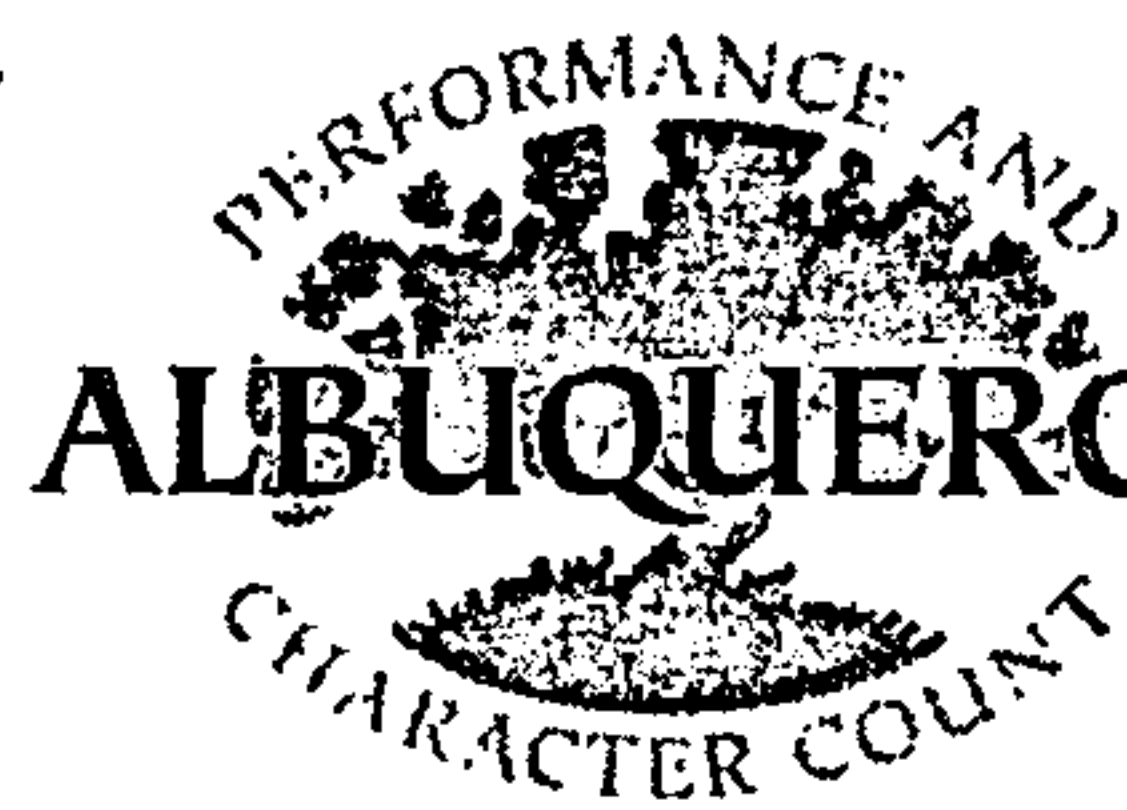


DATE SUBMITTED: 11/9/01 BY: Frances Kilpatrick

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5)
3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or

11/10/01 - Sent Letter - Reject (2) dated 11/20/01; 11/20/01 - Logged w/ T.M.



DEPARTMENT OF FACILITIES
ALBUQUERQUE PUBLIC SCHOOLS
PLANNING & CONSTRUCTION

Bradford Allison, Ph.D.
SUPERINTENDENT

Bill Koelm
EXECUTIVE DIRECTOR

Pat McMurray

DIRECTOR November 14, 2001

Mike Zamora
Plan Checker, Building Permit Department
City of Albuquerque

Re: Additions and Renovations at Garfield Middle School
Project No. 9931
Sidewalk Requirement Waiver Request

Dear Mr. Zamora:

We request that the requirement for a six-foot wide sidewalk along the north property line be waived. This "north" sidewalk is existing, and it runs along the south side of Fairfield Place NW. We are not proposing to modify it as part of this Project.

There is an existing parking lot designated on the plans as "NEW STAFF & VISITOR PARKING" that abuts the south edge of this sidewalk. The plans show a slight modification to this parking lot by adding sidewalks at the east and west ends only, so that students will not be required to walk through the existing parking lot.

We are unable to change the width of this existing parking lot because the lot has an existing sidewalk for student circulation along its south side, which runs along the north side of the existing school building. This "south" sidewalk cannot be moved, because it is adjacent to the building and there is no space available.

The parking area is critical to the school's function and safety, and the cost of widening is prohibitive.

Thank you for your consideration in this matter.

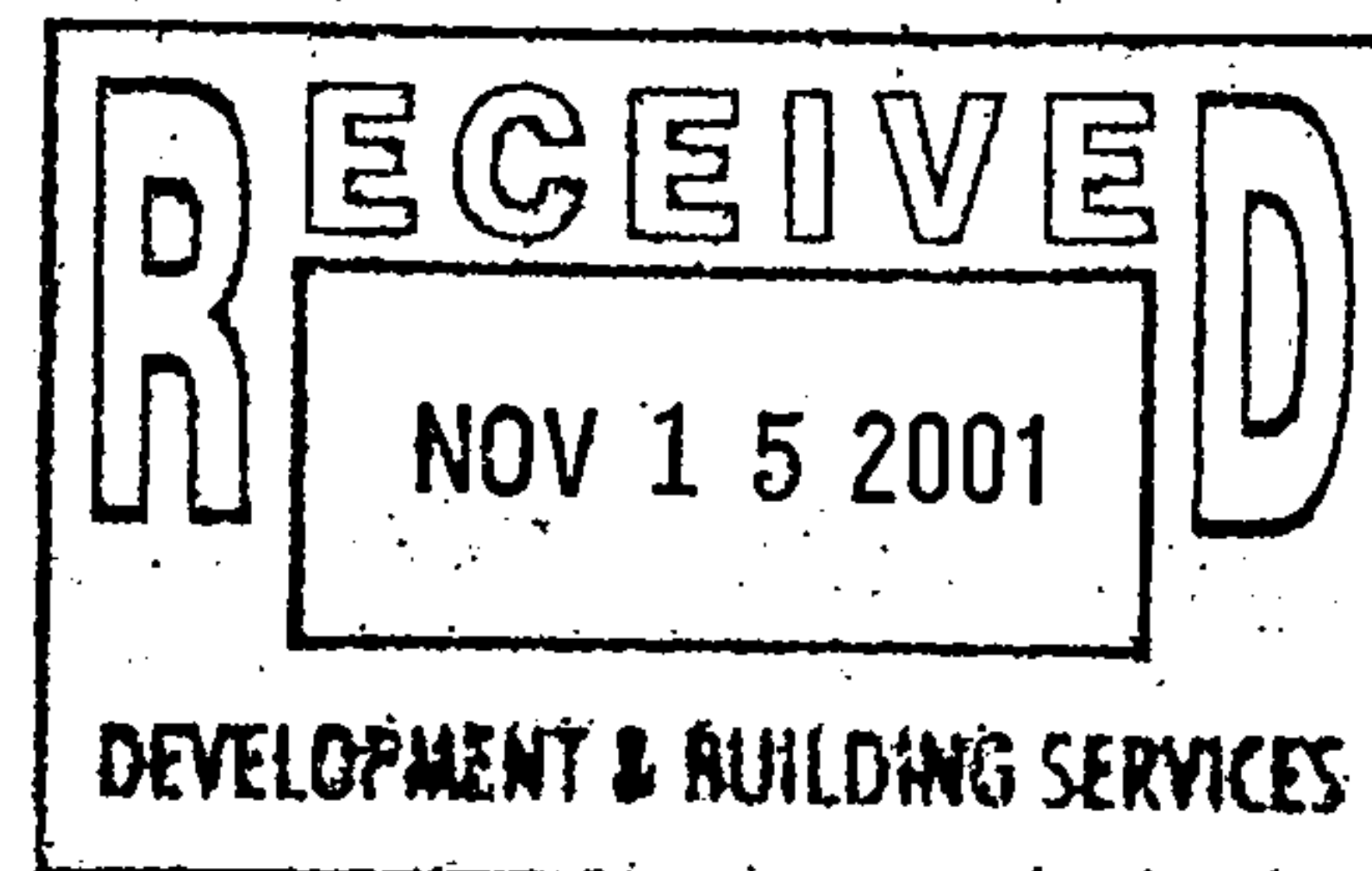
Sincerely,


Andre A. Larroque, AIA
Staff Architect

Xc: Pat McMurray
Chris Rasmussen, AIA / Greer-Stafford Architects

915 OAK STREET, SE
ALBUQUERQUE, NEW MEXICO
87106
PHONE: (505) 242-5865
FAX: (505) 246-9020

AN EQUAL OPPORTUNITY EMPLOYER





City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

June 21, 2001

Jeff Mortensen, P.E.
Jeff Mortensen & Assoc.
6010 B Midway Park Blvd. NE
Albuquerque, NM 87109

Attn: Christian J. Sholtis, E.I.

***RE: GARFIELD MIDDLE SCHOOL, PHASE I ADDITIONS (G14-D11). GRADING
AND DRAINAGE PLAN FOR BUILDING PERMIT APPROVAL. ENGINEER'S
STAMP DATED JUNE 15, 2001.***

Dear Mr. Mortensen:

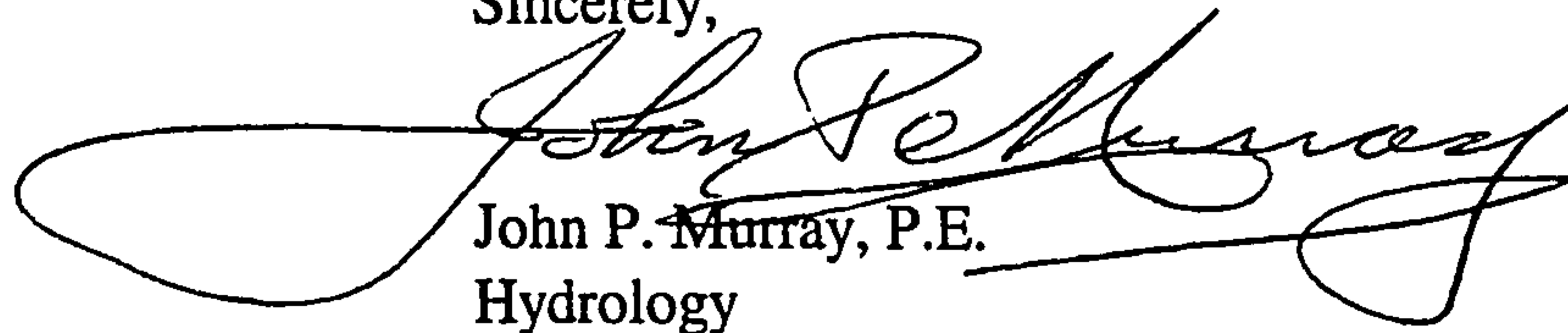
Based on the information provided on your June 15, 2001 submittal, the above referenced project is approved for Building Permit.

Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology.

Prior to Certificate of Occupancy approval, an Engineer's Certification per the DPM will be required.

If I can be of further assistance, please feel free to contact me at 924-3984.

Sincerely,


John P. Murray, P.E.
Hydrology

c: Terri Martin
✓ File

DRAINAGE INFORMATION SHEET**PROJECT TITLE:** Garfield Middle School Phase 1 Addns.**ZONE ATLAS/DRNG. FILE #:** G-14 / D11**DRB #:****EPC #:****WORK ORDER #:****LEGAL DESCRIPTION:** Garfield Middle School and Park**CITY ADDRESS:** 3501 6th Street NW, Albuquerque, NM**ENGINEERING FIRM:** Jeff Mortensen & Associates, Inc.**CONTACT:** Christian J. Sholtis**ADDRESS:** 6010-B Midway Pk. N.E., Albuquerque, NM 87109**PHONE:** (505)345-4250**OWNER:** Albuquerque Public Schools**CONTACT:** Andre Larroque**ADDRESS:** 915 Oak St. SE, Albuquerque, NM 87106**PHONE:** (505) 242-5865**ARCHITECT:** Greer Stafford SJCF**CONTACT:** Frances Kilpatrick**ADDRESS:** 6020 Academy NE, Ste. 205, Albuq., NM 87109**PHONE:** (505)821-0235**SURVEYOR:** Jeff Mortensen & Associates, Inc.**CONTACT:** Charles G. Cala**ADDRESS:** 6010-B Midway Pk. N.E., Albuquerque, NM 87109**PHONE:** (505) 345-4250**CONTRACTOR:** Not yet determined**CONTACT:****ADDRESS:****PHONE:****TYPE OF SUBMITTAL:****CHECK TYPE OF APPROVAL SOUGHT:****DRAINAGE REPORT**☒ **DRAINAGE PLAN****CONCEPTUAL GRADING & DRAINAGE
PLAN**☒ **GRADING PLAN****EROSION CONTROL PLAN****ENGINEER'S CERTIFICATION****OTHER****SKETCH PLAT APPROVAL****PRELIMINARY PLAT APPROVAL****S. DEV. PLAN FOR SUB'D APPROVAL****S. DEV. PLAN FOR BLDG. PERMIT APPROVAL****SECTOR PLAN APPROVAL****FINAL PLAT APPROVAL****FOUNDATION PERMIT APPROVAL**☒ **BUILDING PERMIT APPROVAL****CERTIFICATE OF OCCUPANCY APPROVAL****GRADING PERMIT APPROVAL****PAVING PERMIT APPROVAL****S.A.D. DRAINAGE REPORT****DRAINAGE REQUIREMENTS****OTHER (SPECIFY)****PRE-DESIGN MEETING:**☒ **YES (MDP Phase, Copy in File)****NO****COPY PROVIDED****DATE SUBMITTED:** June 15, 2001**BY:** Christian J. Sholtis, E.I.



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

***Public Works Department
Transportation Development Services Section***

June 20, 2001

Frances Kilpatrick for Christopher Rasmussen, Registered Architect,
Greer Stafford SJCF Architecture
6020 Academy N.E., Suite 205,
Albuquerque, New Mexico 87109-3315

Re: T.C.L. submittal for building permit approval for Garfield Middle School Phase I,
3501 6th Street N.W. [G14/D011],
Architect Stamp undated.

Dear Mr. Kilpatrick,

The location referenced above is not acceptable and requires modification to the Traffic Circulation Layout (T.C.L.) prior to Building Permit release as stated on the attached TCL checklist, and red-lined T.C.L. markup with comments.

Please resubmit revised T.C.L. after addressing typed and marked up comments.
Submit Plan along with typed comments and all red-lined, mark-up copies.

Sincerely,

Mike Zamora,
Commercial Plan Checker

cc:
Engineer
Hydrology File
Office File

TRAFFIC CIRCULATION LAYOUT CHECKLIST

SITE ADDRESS: 3501 6th St. N.W. **AGENT:** Frances Kilpatrick-Graer Stafford **DATE:** 6/20/01
LEGAL DESCRIPTION: Garfield Middle School - A.P.S. **ZONE ATLAS PAGE:** G 14

The Traffic Control Layout (TCL) is a basic Site Plan that contains information on all new and existing elements involved in the development of the site including: buildings, street widths, street sidewalks and curb & gutter, parking lot features, driveways, landscaped areas, lot lines and easement limits, etc. It will be reviewed prior to submittal of plans for a building permit. The TCL must be processed prior to submittal of plans for building permit. In most all cases the TCL must be certified by the designer-of-record prior to the issuance of a Certificate of Occupancy.

On all subsequent submittals, the design firm needs to complete and return the new **TRAFFIC CIRCULATION LAYOUT CHECKLIST** (Amendment To Come) provided, along with us of the DPM (Development Process Manual) to confirm required City standards. Also refer to previous TCL/Building Permit submittals (along with comments and markups) for past projects to avoid repeating errors and to help reduce the time required for plan review on subsequent TCL submittals. The first checklist has been completed by Transportation.

LEGEND-

- ☒ *Item addressed on initial submittal*
- ☐ *Item not yet addressed by designer or plan checker*
- ☒ *Not Applicable*

GENERAL INFORMATION REQUIRED:

- ☐ 1. TCL will be stamped, signed and dated by architect or engineer.
- ☒ 2. Street address of site - could be part of title block or Drainage Application sheet in Hydrology file.
- ☒ 3. Provide name of subdivision; lot number and/or tract number on TCL, if it's not on the Drainage Information Sheet.
- ☐ 4. Place note on TCL and Site Plan for Construction:

As required by Transportation Development Section, a copy of the approved TCL AS-BUILT will be submitted by the designer or acceptable representative party which includes a letter of certification stating the site has been constructed in accordance with the approved TCL. Verification of TCL acceptability, to include random field checks, will be made before a Final Certificate of Occupancy (C.O.) is issued. Please call this office to obtain temporary CO. Confirmation from Hydrology, supporting this requirement, will be needed prior to approval of TCL by Transportation.

- ☐ 5. The plan review by Zoning could initiate a new review if original parking lot layout, approved by Transportation, needs to be altered.
- ☒ 6. Any Infrastructure work on city property, as part of this development, must be complete before issuance of CO. If work is not completed, Financial Guarantee must be on file with Design Review Office.
- ☐ 7. Encroachment agreements are needed when structures, fences, walls or items of equal conflict are within City property.
- ☐ 8. Drawing line work on Drainage and Landscape Plans must exactly match Site Plan.

SPECIFIC INFORMATION REQUIRED:

- 1. State Highway Department approval is required at locations where access is being taken from Highway Dept. roadways.
- 2. Call out all overhead doors on site or call out, including size, on TCL.
- 3. Overhead doors desired on site. Expectation by plan reviewer is that large wheel base (refuse/UPS) vehicle will be smallest vehicle to use doors. Refer to DPM for restrictions.
- 4. State the design vehicle to be used at rear of site.
- 5. Provide new and existing elements on TCL, properly labeled, and dimensioned. Show clear differentiation between existing construction and new improvements on TCL.
- 6. Indicate which buildings the permit will certify. If applicable, clearly differentiate future construction line type from new construction line type.
- 7. Any minor changes to TCL as required by Transportation and are acceptable by Hydrology, call out on Site Plan as such: "INSPECTION OF CONSTRUCTION FOR CO, FOR TRANSPORTATION, WILL BE DONE FROM THIS SHEET."
- ✓ 8. Indicate transition from one surface type to the other on TCL, for example, ramps (include handicap (HC) ramps), concrete/ asphalt, landscape area/ concrete, concrete / dirt, concrete /gravel, etc. Label each area or stipple--or equal--to show varying surfaces.
- 9. Show, label and dimension position of all existing obstructions in sidewalks in City right-of-way.
- 10. Label to paint, on asphalt, stalls for small car parking as "COMPACT" or equal.
- 11. Minimum 5 foot width concrete sidewalk raised 6" above parking surface will be needed, when located at front of parking vehicles (min.20' long stall) adjacent to any building. Place sidewalk at other locations where landscape shrubbery is required, by Zoning, at front of stalls.
- 12. At HC parking area, HC ramp must be constructed as part of sidewalk and not part of parking area.
- 13. Restriping of parking stalls shall be called out, to be per City Standard.
- ✓ 14. For future reference and for this project, provide half width of all streets 40' wide and over on TCL. Also, show all streets which will be used for Heavy Commercial traffic accessing site. On major streets, include median and openings, if existing and if not, show traffic lanes on developer's side of street, up to and including middle turn lane.
- 15. Alley limits must be 20-foot width
- 16. City standard paved roadway must be constructed in alley, along the entire lot frontage from point of access into alley from street at either end of alley.
- 17. Construct alley entrance per City Std. Detail Dwg. 2428. Width of entrance will be a minimum of 24 feet when the development is the first lot on the block, and access to proposed parking is taken thorough the alley.



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

April 6, 2001

Jeff Mortensen, P.E.
Jeff Mortensen & Assoc.
6010 B Midway Park Blvd. NE
Albuquerque, NM 87109

Attn: C.J. Sholtis

***RE: GARFIELD MIDDLE SCHOOL (G14-D11). Updated MASTER DRAINAGE PLAN.
ENGINEER'S STAMP DATED MARCH 19, 2001.***

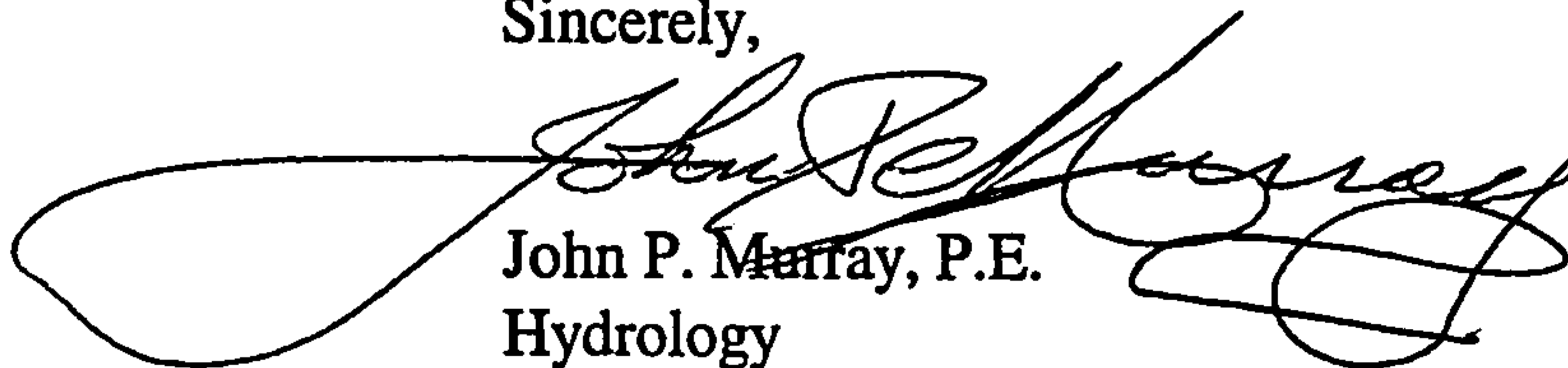
Dear Mr. Mortensen:

Based on the information provided on your March 20, 2001 submittal, the above referenced facility is approved for MASTER DRAINAGE PLAN. Note that a separate permit is still required for each new construction project.

Just as the Match Line references for Existing Conditions are Sheets 2 and 3, the references for Developed Conditions should be Sheets 4 and 5.

If I can be of further assistance, please feel free to contact me at 924-3984.

Sincerely,


John P. Murray, P.E.
Hydrology

c: Terri Martin
✓ File

DRAINAGE INFORMATION SHEET**PROJECT TITLE:** Garfield Middle School Master Drainage Plan **ZONE ATLAS/DRNG. FILE #:** G-14 /D11**DRB #:** **EPC #:** **WORK ORDER #:****LEGAL DESCRIPTION:** Garfield Middle School and Park**CITY ADDRESS:** 3501 6th Street NW, Albuquerque, NM**ENGINEERING FIRM:** Jeff Mortensen & Associates, Inc.**CONTACT:** Christian J. Sholtis**ADDRESS:** 6010-B Midway Pk. N.E., Albuquerque, NM 87109**PHONE:** (505)345-4250**OWNER:** Albuquerque Public Schools**CONTACT:** Andre Larroque**ADDRESS:** 915 Oak St. SE, Albuquerque, NM 87106**PHONE:** (505) 242-5865**ARCHITECT:** Greer Stafford SJCF**CONTACT:** Frances Kilpatrick**ADDRESS:** 6020 Academy NE, Ste. 205, Albuq., NM 87109**PHONE:** (505)821-0235**SURVEYOR:** Jeff Mortensen & Associates, Inc.**CONTACT:** Charles G. Cala**ADDRESS:** 6010-B Midway Pk. N.E., Albuquerque, NM 87109**PHONE:** (505) 345-4250**CONTRACTOR:** Not yet determined**CONTACT:****ADDRESS:****PHONE:****TYPE OF SUBMITTAL:****CHECK TYPE OF APPROVAL SOUGHT:**

DRAINAGE REPORT

DRAINAGE PLAN

☒ **CONCEPTUAL GRADING & DRAINAGE
PLAN**

GRADING PLAN

EROSION CONTROL PLAN

ENGINEER'S CERTIFICATION

OTHER

SKETCH PLAT APPROVAL

PRELIMINARY PLAT APPROVAL

S. DEV. PLAN FOR SUB'D APPROVAL

S. DEV. PLAN FOR BLDG. PERMIT APPROVAL

SECTOR PLAN APPROVAL

FINAL PLAT APPROVAL

FOUNDATION PERMIT APPROVAL

BUILDING PERMIT APPROVAL

CERTIFICATE OF OCCUPANCY APPROVAL

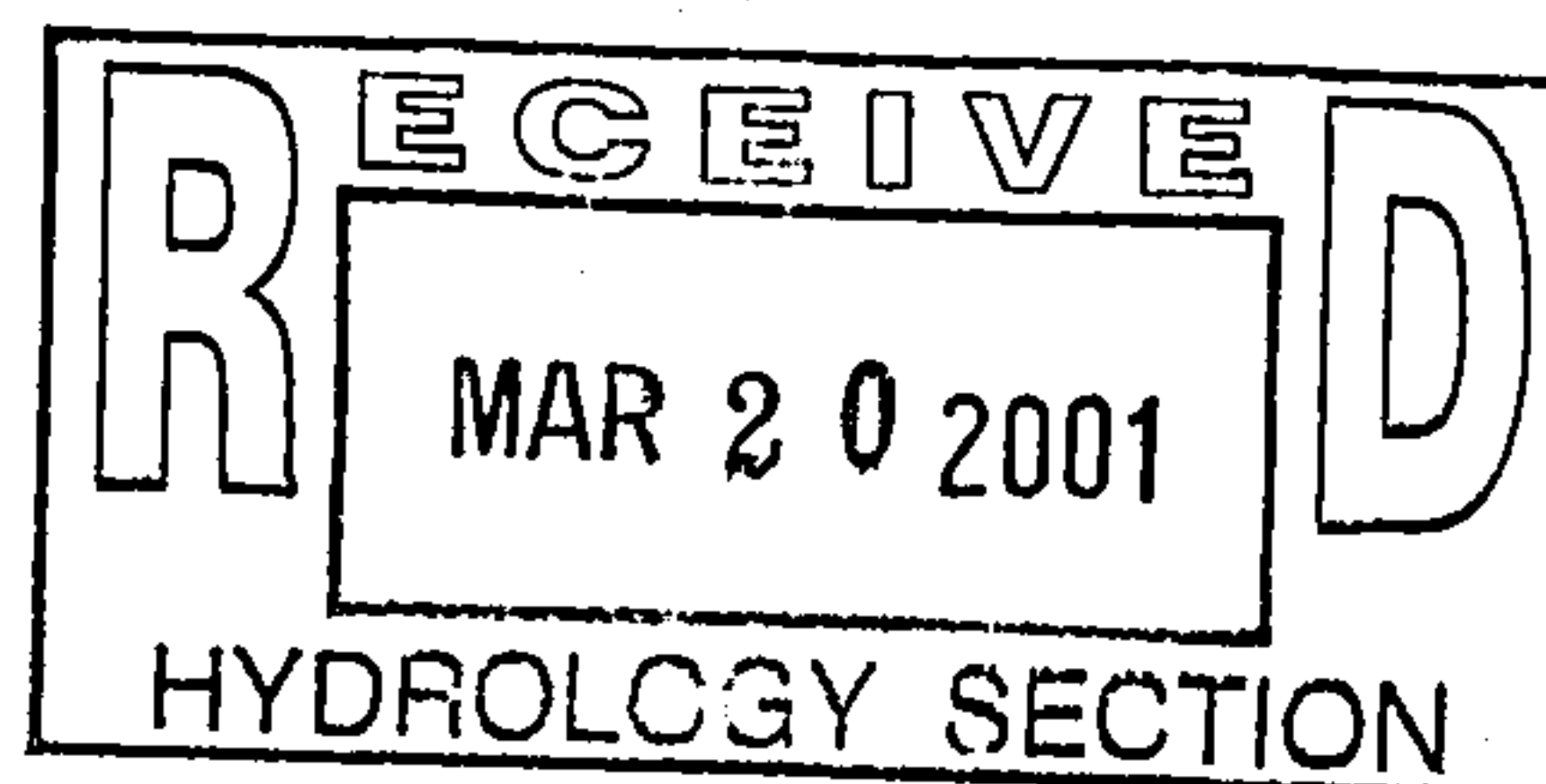
GRADING PERMIT APPROVAL

PAVING PERMIT APPROVAL

S.A.D. DRAINAGE REPORT

DRAINAGE REQUIREMENTS

OTHER (SPECIFY)

PRE-DESIGN MEETING:☒ **YES****NO**☒ **COPY PROVIDED****DATE SUBMITTED:** March 19, 2001**BY:** Christian J. Sholtis, E.I.

17.000.055.1

CITY OF ALBUQUERQUE
DEVELOPMENT & BUILDING SERVICES CENTER
PUBLIC WORKS DEPARTMENT/HYDROLOGY

CONFERENCE RECAP

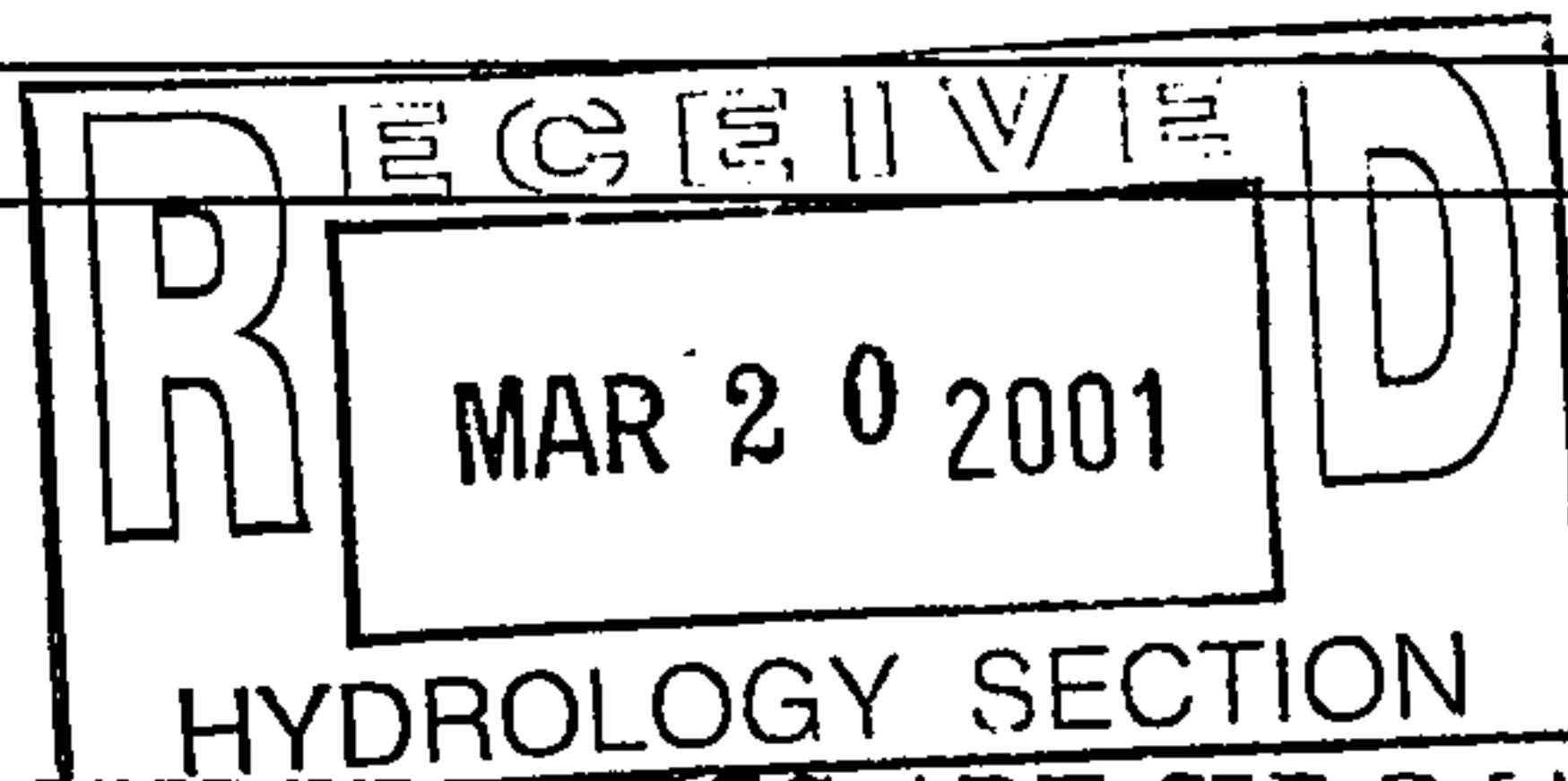
DRAINAGE FILE/ZONE ATLAS PAGE NUMBER: G14 DATE: 02-05-00
CROSS REFERENCE NUMBERS: EPC - DRB - DRC -
SUBJECT: GARFIELD ELEMENTARY SCHOOL MDP UPDATE /
STREET ADDRESS: FLOODPLAIN ISSUES
SUBDIVISION NAME: -

TYPE OF APPROVAL

- PRELIMINARY PLAT - FINAL PLAT
- SITE DEVELOPMENT PLAN X BUILDING PERMIT
X OTHER update master plan - ROUGH GRADING

ATTENDEE: Jeff Peterson ORGANIZATION: - PHONE: 924-3982
Carlos A. Montoya

FINDINGS:



THE UNDERSIGNED AGREE THAT THE ABOVE FINDINGS ARE SUMMARIZED ACCURATELY AND ARE ONLY SUBJECT TO CHANGE IF FURTHER INVESTIGATION REVEALS THAT THE FINDINGS ARE NOT REASONABLE OR THAT THEY ARE BASED UPON INACCURATE INFORMATION.

SIGNED: Carlos A. Montoya SIGNED: [Signature]
TITLE: - TITLE: Project Engineer
DATE: 2-5-01 DATE: 2/5/01

NOTE: PROVIDE A COPY OF THIS RECAP WITH DRAINAGE SUBMITTAL

- ① update Master Plan - include school & park site.
- ② Allow discharge to existing pond area in park.
- ③ Determine WSEL in pond for 100 yr. storm
A. If WSEL is less than 4965.5 elevation
then no FEMA requirements.
- ④ Submit MRGCD license to discharge into Alameda Drain
- ⑤ MRGCD has required an oil/water separator.

CITY OF ALBUQUERQUE
DEVELOPMENT & BUILDING SERVICES CENTER
PUBLIC WORKS DEPARTMENT/HYDROLOGY

MDP
20693
971815

CONFERENCE RECAP

DRAINAGE FILE/ZONE ATLAS PAGE NUMBER: G14 DATE: 02-05-00
CROSS REFERENCE NUMBERS: EPC - DRB - DRC -
SUBJECT: GARFIELD ELEMENTARY SCHOOL MDP UPDATE /
STREET ADDRESS: FLOODPLAIN ISSUES
SUBDIVISION NAME:

TYPE OF APPROVAL

<u>PRELIMINARY PLAT</u>	<u>FINAL PLAT</u>
<u>SITE DEVELOPMENT PLAN</u>	<u>X</u> <u>BUILDING PERMIT</u>
<u>X</u> <u>OTHER update master plan</u>	<u>ROUGH GRADING</u>

<u>ATTENDEE:</u>	<u>ORGANIZATION:</u>	<u>PHONE:</u>
<u>Jeff Peterson</u>		
<u>Carlos A Montoya</u>		<u>924-3982</u>
<u></u>		
<u></u>		

FINDINGS:

THE UNDERSIGNED AGREE THAT THE ABOVE FINDINGS ARE SUMMARIZED ACCURATELY AND ARE ONLY SUBJECT TO CHANGE IF FURTHER INVESTIGATION REVEALS THAT THE FINDINGS ARE NOT REASONABLE OR THAT THEY ARE BASED UPON INACCURATE INFORMATION.

SIGNED: <u>Carlos Montoya</u>	SIGNED: <u>[Signature]</u>
TITLE: <u></u>	TITLE: <u>Project Engineer</u>
DATE: <u>2-5-01</u>	DATE: <u>2/5/01</u>

NOTE: PROVIDE A COPY OF THIS RECAP WITH DRAINAGE SUBMITTAL

- ① update Master Plan - include school & park site.
- ② Allow discharge to existing pond area in park.
- ③ Determine WSEL in pond for 100 yr. storm
A. If WSEL is less than 4965.5 elevation
then no FEMA requirements.
- ④ Submit MRGCD license to discharge into Alameda Drain
- ⑤ MRGCD has required an oil/water separator.

DRAINAGE INFORMATION SHEET

20683

PROJECT TITLE: Garfield Middle School ZONE ATLAS/DRNG. FILE #: G14/D11
DRB #: _____ EPC #: _____ WORK ORDER #: _____
LEGAL DESCRIPTION: Portion of Garfield M.S. lands of A.P.S.
CITY ADDRESS: 3501 6th Street N.W.
ENGINEERING FIRM: Jeff Mortensen & Assoc. CONTACT: Michele (Mike) F. De Lilla
ADDRESS: 6010-B Midway Park Blvd N.E. PHONE: 345-4250
OWNER: APS CONTACT: Myron Johnson
ADDRESS: P.O. Box 25704 PHONE: 242-5865
ARCHITECT: SMPC CONTACT: Greg Gerwin
ADDRESS: 115 Amherst Drive S.E. PHONE: 235-8668
SURVEYOR: Jeff Mortensen & Assoc. CONTACT: Chuck Cala
ADDRESS: 6010B Midway Park Blvd. N.E. PHONE: 345-4250
CONTRACTOR: N/A CONTACT: _____
ADDRESS: _____ PHONE: _____

TYPE OF SUBMITTAL:

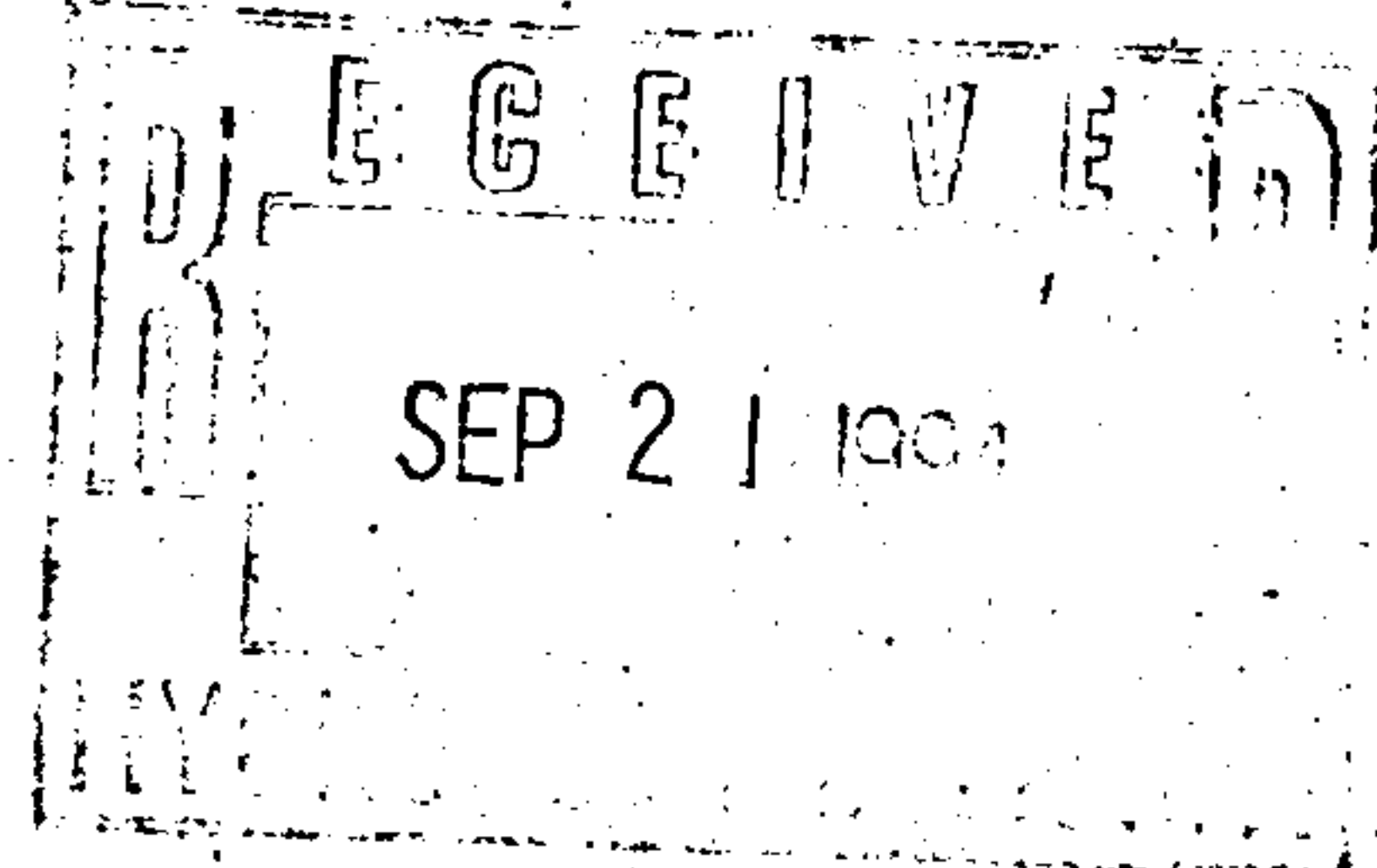
- ☐ DRAINAGE REPORT
☐ DRAINAGE PLAN
☐ CONCEPTUAL GRADING & DRAINAGE PLAN
☐ GRADING PLAN
☐ EROSION CONTROL PLAN
☐ ENGINEER'S CERTIFICATION
☒ OTHER Master Drainage Plan

PRE-DESIGN MEETING:

- ☒ YES
☐ NO
☒ COPY PROVIDED

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SKETCH PLAT APPROVAL
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D. APPROVAL
☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ FOUNDATION PERMIT APPROVAL
☐ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY APPROVAL
☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ S.A.D. DRAINAGE REPORT
☐ DRAINAGE REQUIREMENTS
☒ OTHER Master Drainage Plan (SPECIFY)

DATE SUBMITTED: 9/20/94BY: Michele (Mike) F. De Lilla

CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
UTILITY DEVELOPMENT DIVISION/HYDROLOGY SECTION

20683

PRE-DESIGN CONFERENCE

DRAINAGE FILE/ZONE ATLAS PAGE NO.: 6-14 DATE: 9-1-94

EPC NO.: _____ DRB NO.: _____ ZONE: _____

SUBJECT: Garfield Middle School

STREET ADDRESS: 4th St & Fairfield Pl.

LEGAL DESCRIPTION: _____

APPROVAL REQUESTED: _____ PRELIMINARY PLAT _____ FINAL PLAT
_____ SITE DEVELOPMENT PLAN _____ BUILDING PERMIT
_____ GRADING/PAVING PERMIT _____ OTHER

WHO

REPRESENTING

ATTENDANCE: _____

FINDINGS:

- An approved drainage plan will be req'd for grading & paving permits.
- Inlets⁽²⁾ will be constr. in basin D to drain current ponding area north to Fairfield Pl. This area overflows to Fairfield currently.
- West side of site will include a small retention pond to retain additional vol. created via new paved area. This is being done because a FEMA 100-year floodplain area exists downstream.

RECEIVED

SEP 21 1994

SEP 21 1994

The undersigned agrees that the above findings are summarized accurately and are only subject to change if further investigation reveals that they are not reasonable or that they are based on inaccurate information.

SIGNED: [Signature]

SIGNED: [Signature]

TITLE: COA Civil Eng.

TITLE: Eng.

DATE: 9-1-94

DATE: 09-01-94

****NOTE**** PLEASE PROVIDE A COPY OF THIS PRE-DESIGN FORM WITH THE DRAINAGE SUBMITTAL.



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

November 28, 1994

Joe P. Kelley
Chavez-Grieves
5639 Jefferson NE
Albuquerque, NM 87109

RE: DRAINAGE PLAN FOR GARFIELD MIDDLE SCHOOL (G14-D11)
ENGINEER'S STAMP DATED 11/16/94.

Dear Mr. Kelley:

Based on the information provided on your November 16, 1994 submittal, the above referenced site is approved for Building Permit & Grading/Paving.

A separate permit is required for construction within City Right-of-Way. A copy of this approval letter must be on hand when applying for the excavation permit.

Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology.

Prior to Certificate of Occupancy release, Engineer Certification per the D.P.M. Checklist will be required.

If I can be of further assistance, please feel free to contact me at 768-2667.

Sincerely,

Bernie J. Montoya, OE
Engineering Associates

BJM/d1/WPHYD/8837

c: Andrew Garcia
Arlene Portillo
File

DRAINAGE INFORMATION

PROJECT TITLE: GARFIELD MIDDLE SCHOOL ZONE ATLAS/DRNG. FILE #: G-14/A/

DRB#: _____ EPC #: _____ WORK ORDER #: _____

LEGAL DESCRIPTION: GARFIELD MIDDLE SCHOOL AND PARK

CITY ADDRESS: 3501 6TH ST. NW

ENGINEERING FIRM: Chavez-GRIEVES CONTACT: JOE P. KELLEY P.E.

ADDRESS: 5639 JEFFERSON NE PHONE: 344-4080

OWNER: ALBUQUERQUE PUBLIC SCHOOLS CONTACT: _____

ADDRESS: 725 UNIVERSITY BLVD. PHONE: 842-8211

ARCHITECT: SMPC CONTACT: GREG GERWIN

ADDRESS: 115 AMHERST DR. SE PHONE: 255-8668

SURVEYOR: JEFF MORTENSEN CONTACT: _____

ADDRESS: 6010-B MIDWAY PARK BLVD. N.E. PHONE: 345-4250

CONTRACTOR: NOT KNOWN CONTACT: _____

ADDRESS: _____ PHONE: _____

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
☒ DRAINAGE PLAN
☐ CONCEPTUAL GRADING & DRAINAGE PLAN
☒ GRADING PLAN
☐ EROSION CONTROL PLAN
☐ ENGINEER'S CERTIFICATION
☐ OTHER

PRE-DESIGN MEETING:

- ☐ YES
☒ NO
☐ COPY PROVIDED

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SKETCH PLAT APPROVAL
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D. APPROVAL
☐ S. DEV. PLAN FOR BLDG. PRMT. APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ FOUNDATION PERMIT APPROVAL
☒ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY APPROVAL
☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ S.A.D. DRAINAGE REPORT
☐ DRAINAGE REQUIREMENTS
☐ OTHER _____ (SPECIFY)

DATE SUBMITTED: NOVEMBER 14, 1994

BY: Joe P Kelley P.E.

NOV 16 1994



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

September 28, 1994

Mr. Jeff Mortensen
Jeff Mortensen & Associates Inc.
6010-B Midway Park Blvd. NE
Albuquerque, NM 87109

RE: MASTER DRAINAGE PLAN FOR GARFIELD MIDDLE SCHOOL (G14-D11)
ENGINEER'S STAMP DATED 9/20/94.

Dear Mr. Mortensen:

Based on the information provided on your September 21, 1994 submittal, the above referenced site is approved for Master Drainage Plan.

Please be advised that a separate permit is required for each Phase of construction.

If I can be of further assistance, please feel free to contact me at 768-2667.

Sincerely,

Bernie J. Montoya, CE
Engineering Associate

BJM/d1/WPHYD/8837

c: Andrew Garcia
File

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV. 1/28/2003rd)

PROJECT TITLE: Garfield Middle School – Phase 1 ZONE ATLAS/DRNG. FILE #: G14/D011
 DRB #: _____ EPC #: _____ WORK ORDER #: _____

LEGAL DESCRIPTION: Tract 98A, Garfield Middle School and Park
 CITY ADDRESS: 3501 6th Street NW

ENGINEERING FIRM: Jeff Mortensen & Assoc., Inc. CONTACT: J. Graeme Means
 ADDRESS: 6010-B Midway Park Blvd. NE PHONE: (505) 345-4250
 CITY, STATE: Albuquerque, NM ZIP CODE: 87109

OWNER: Albuquerque Public Schools CONTACT: Andre Larroque
 ADDRESS: 915 Oak Street SE PHONE: 242-5865
 CITY, STATE: Albuquerque, NM ZIP CODE: 87106

ARCHITECT: Greer Stafford - SJCF CONTACT: Frank Mackay
 ADDRESS: 1717 Louisiana NE, Suite 205 PHONE: 821-0235
 CITY, STATE: Albuquerque, NM ZIP CODE: 87110-7027

SURVEYOR: Jeff Mortensen & Assoc., Inc. CONTACT: Charles G. Cala
 ADDRESS: 6010-B Midway Park Blvd. NE PHONE: (505) 345-4250
 CITY, STATE: Albuquerque, NM ZIP CODE: 87109

CONTRACTOR: _____ CONTACT: Architect
 ADDRESS: _____ PHONE: _____
 CITY, STATE: _____ ZIP CODE: _____

TYPE OF SUBMITTAL:

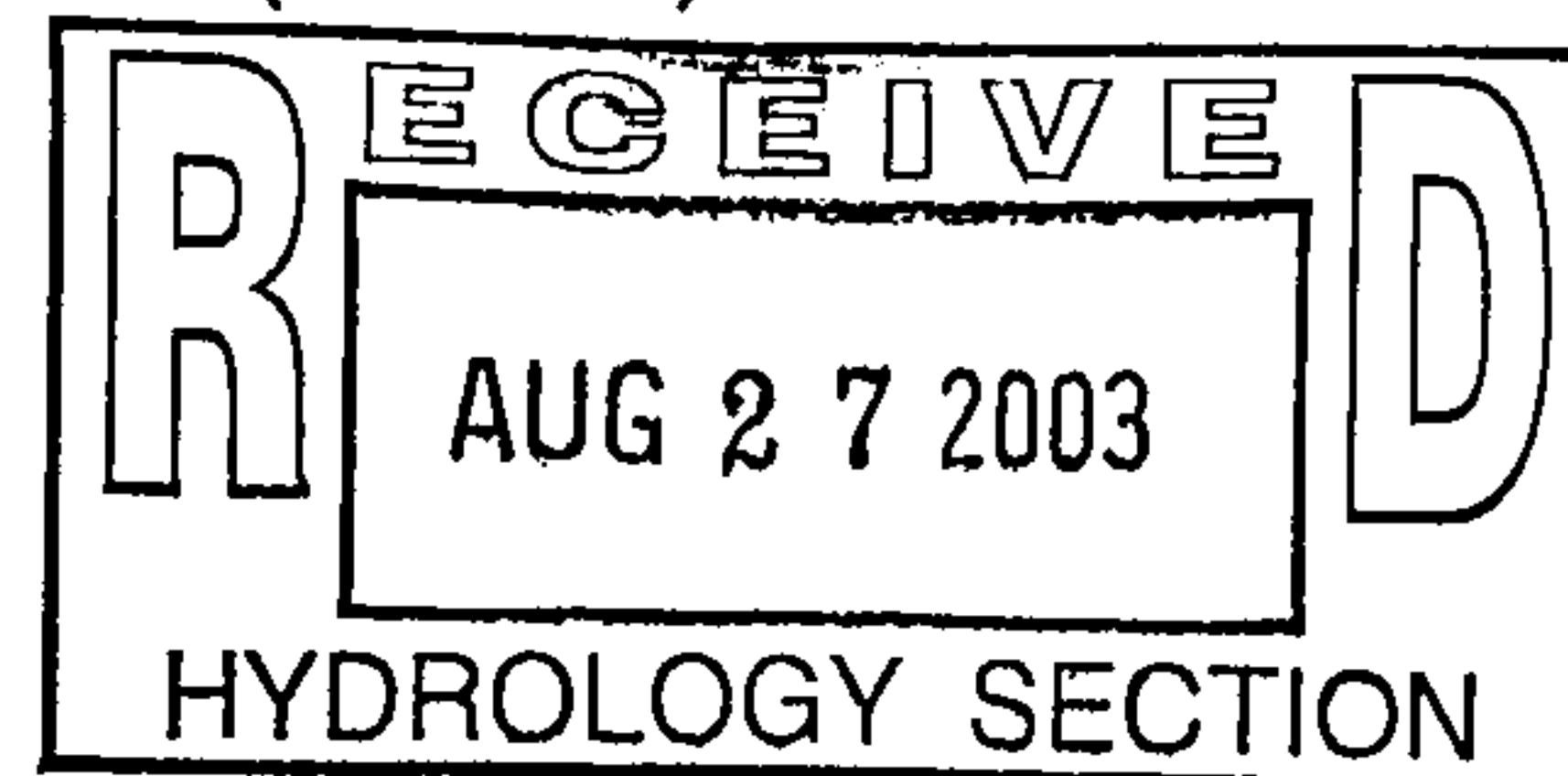
- ☐ DRAINAGE REPORT
☐ DRAINAGE PLAN 1st SUBMITTAL, **REQUIRES TCL or equal**
☐ DRAINAGE PLAN RESUBMITTAL
☐ CONCEPTUAL GRADING & DRAINAGE PLAN
☐ GRADING PLAN
☐ EROSION CONTROL PLAN
☒ ENGINEER'S CERTIFICATION (HYDROLOGY)
☐ CLOMR/LOMR
☐ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ ENGINEER'S CERTIFICATION (TCL)
☐ ENGINEER'S CERTIFICATION (DRB APPR. SITE PLAN)
☐ OTHER

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D APPROVAL
☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ FOUNDATION PERMIT APPROVAL
☐ BUILDING PERMIT APPROVAL
☒ CERTIFICATE OF OCCUPANCY (PERM.)
☐ CERTIFICATE OF OCCUPANCY (TEMP.)
☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ WORK ORDER APPROVAL
☐ OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
☒ NO
☐ COPY PROVIDED



DATE SUBMITTED: _____ BY: J. Graeme Means

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based upon the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

September 5, 2003

Jeff Mortensen, PE
Jeff Mortensen & Associates, Inc
6010-B Midway Park Blvd. NE
Albuquerque, NM 87109

Re: Garfield Middle School Grading Plan Certification
Engineer's Stamp dated 6-15-01
Certification dated 8-26-03 (G14/D11)

Dear Mr. Mortensen,

Based upon the information provided in your submittal dated 8-27-03, the above referenced certification is acceptable for Permanent Certificate of Occupancy by Hydrology.

If you have any questions, you can contact me at 924-3986.

Sincerely,

Bradley L. Bingham, PE
Sr. Engineer, Planning Dept.
Development and Building Services

C: Certificate of Occupancy Clerk, CoA
file