

CITY OF ALBUQUERQUE



January 6, 2012

Guy C. Jackson, P.E.
Guy Jackson & Associates
10522 Florence Ave. NE
Albuquerque, NM 87122

**Re: O'Reily Auto Parts, 416 Candelaria Rd. NW,
Request for Permanent Certificate of Occupancy - Approved
Engineer's Stamp dated: 07-11-11, (G14/D022)
Certification dated 11-17-11**

Dear Mr. Jackson,

Based upon the information provided in the Certification received 01-05-12, the above referenced Certification is approved for Certificate of Occupancy.

PO Box 1293

Hydrology is asking for an electronic copy, in .pdf format, of this certification for our records

Albuquerque

If you have any questions, you can contact me at 924-3982.

Sincerely,

NM 87103

Timothy E. Sims
Plan Checker—Hydrology, Planning Dept.
Development and Building Services

www.cabq.gov

C: C.O. Clerk—Katrina Sigala
File

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(Rev. 12/05)

PROJECT TITLE: O'Reilly Auto Parts -416 Candelaria Rd, NW

ZONE MAP/DRG. FILE # G14/DO22

DRB#: NA EPC#: NA WORK ORDER#: NA

LEGAL DESCRIPTION: LOT B & B-1, PART OF REPLAT OF LOTS 21 & 22, BLOCK 2 FITZGERALD ADDITION, TOGETHER W/ LOTS 1,2,3 & 4 FITZGERALD ADDITION IN BLOCK A & LOTS 1 & 2 IN BLOCK B, DAVIDSON ADDITION NO.1, ALBUQUERQUE, NM

ENGINEERING FIRM: Anderson Engineering
ADDRESS: 2045 W Woodland
CITY, STATE: Springfield, MO

CONTACT: Paul Engel, PE
PHONE: 417-866-2741
ZIP CODE: 65807

OWNER: O'Reilly Auto Parts
ADDRESS: 233 South Patterson
CITY, STATE: Springfield, MO

CONTACT: Steve Peterie
PHONE: 417-862-2674
ZIP CODE: 65802

ARCHITECT: Buddy Webb & Co.
ADDRESS: 1501 East Sunshine -Suite E
CITY, STATE: Springfield, MO

CONTACT: Buddy Webb
PHONE: 417-877-1385
ZIP CODE: 65804

SURVEYOR: Pentacor
ADDRESS: 8774 Yates Way, suite 320,
CITY, STATE: Westminster, CO

CONTACT: WFB
PHONE: 303-635-2303
ZIP CODE: 80031

CONTRACTOR: RSI
ADDRESS: _____
CITY, STATE: _____

CONTACT: Marvin Chastain
PHONE: 214-674-9645
ZIP CODE: _____

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
☐ DRAINAGE PLAN 1st SUBMITTAL
☐ DRAINAGE PLAN RESUBMITTAL
☐ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☐ EROSION CONTROL PLAN
☒ ENGINEER'S CERT (HYDROLOGY)
☐ CLOMR/LOMR
☐ TRAFFIC CIRCULATION LAYOUT
☒ ENGINEER/ARCHITECT CERT (TCL)
☐ ENGINEER/ARCHITECT CERT (DRB S.P.)
☐ ENGINEER/ARCHITECT CERT (AA)
☐ OTHER (SPECIFY) _____

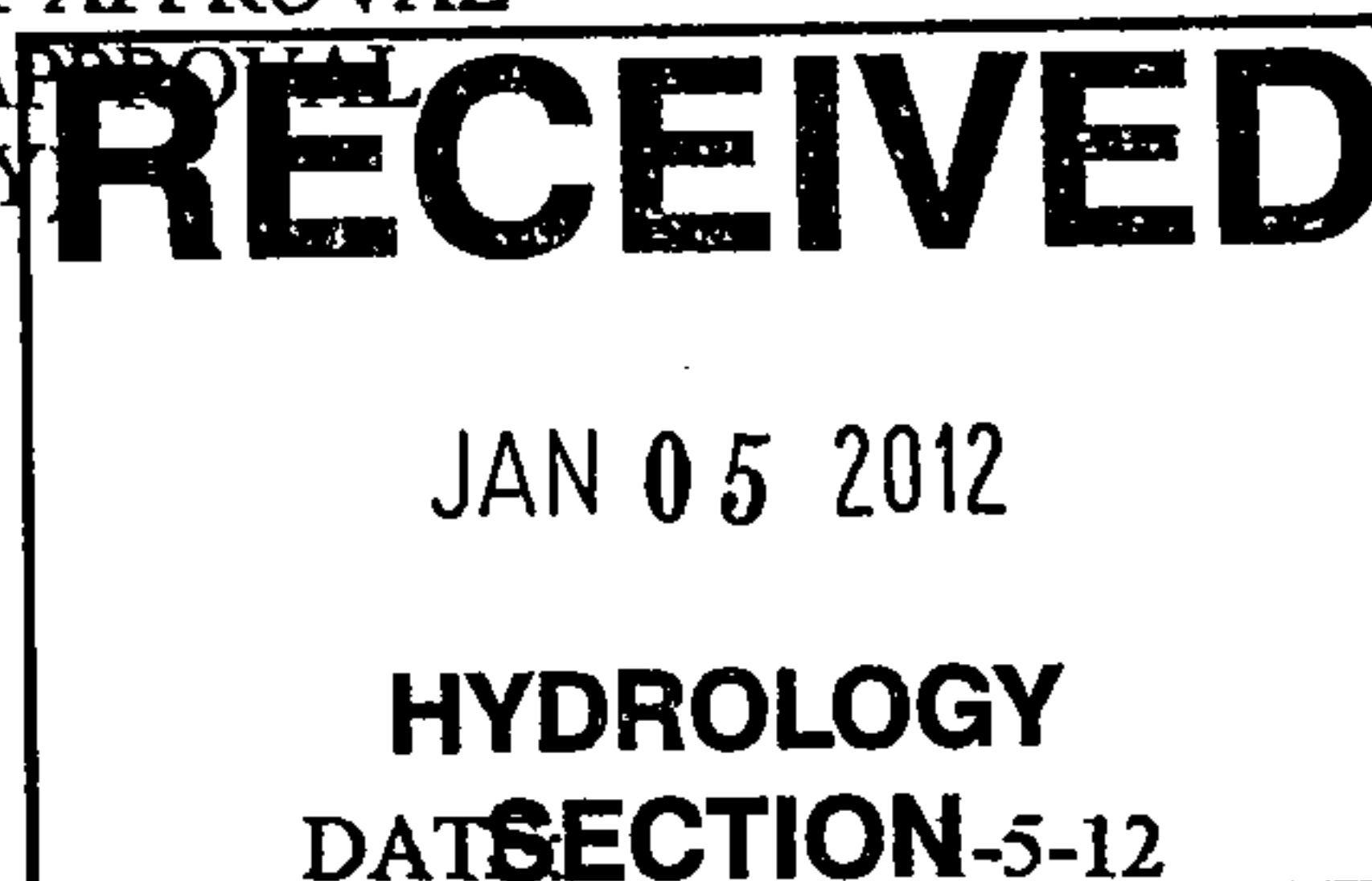
CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D APPROVAL
☐ S. DEV. FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ FOUNDATION PERMIT APPROVAL
☐ BUILDING PERMIT APPROVAL
☒ CERTIFICATE OF OCCUPANCY (PERM)
☐ CERTIFICATE OF OCCUPANCY (TEMP)
☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ WORK ORDER APPROVAL
☐ OTHER (SPECIFY) _____

WAS A PRE-DESIGN CONFERENCE ATTENDED:

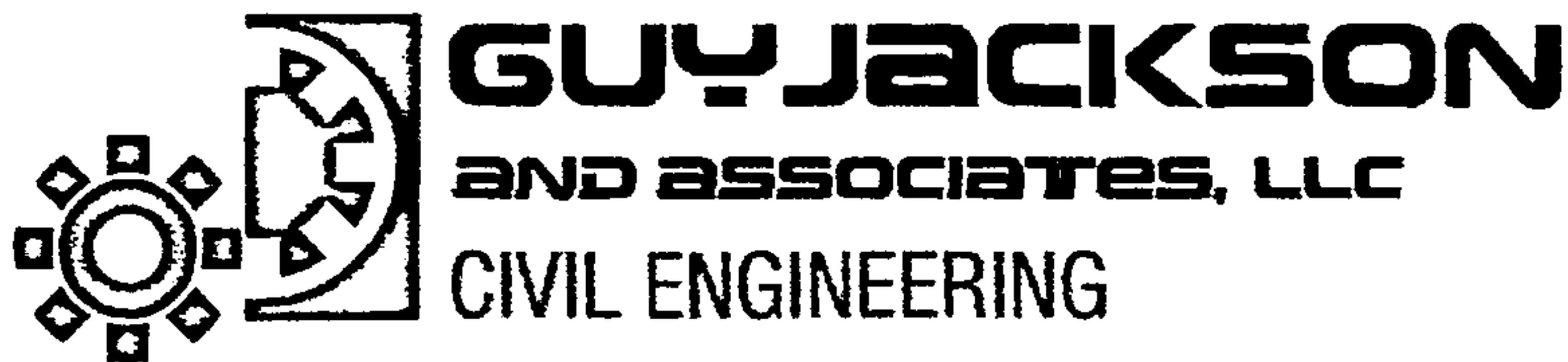
- ☐ YES
☒ NO
☐ COPY PROVIDED

SUBMITTED BY: GUY JACKSON, PE



Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope to the proposed development define the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.



January 5, 2012

Curtis Cherne, PE
Section Head, Hydrology
Development Services
PO Box 1293
Albuquerque, New Mexico 87103

**Re: O'Reilly Auto Parts, 416 Candelaria Rd. NW, Albuquerque, NM
(Zone Atlas Map & File # G14/D022)**

Dear Curtis:

Attached for Permanent Certificate of Occupancy approval are the following:

- One (1) Drainage Information Sheet
- One (1) copy of the Grading & Drainage Certification Plan

The project is located at 416 Candelaria, NW. The completed improvements include the construction of a 2,100sf building addition and minor paving modifications to the existing site as shown on the attached plans.

Please contact me if you have any questions or comments.
Sincerely,

GUY JACKSON & ASSOCIATES, LLC

Guy C. Jackson, PE
President
10522 Florence Ave. NE
Albuquerque, NM 87122
505-235-1426

RECEIVED

JAN 05 2012

**HYDROLOGY
SECTION**

CITY OF ALBUQUERQUE



November 18, 2011

Guy Jackson, P.E.
10522 Florence Ave. NE
Albuquerque, NM 87122

**Re: O'Reilly Auto Parts, 416 Candelaria Rd NW,
Permanent Certificate of Occupancy – Transportation Development
Engineer's Stamp dated 05-27-11 (G14-D022)
Certification dated 11-17-11**

Dear Mr. Jackson,

Based upon the information provided in your submittal received 11-17-11, Transportation Development has no objection to the issuance of a Permanent Certificate of Occupancy. This letter serves as a "green tag" from Transportation Development for a Permanent Certificate of Occupancy to be issued by the Building and Safety Division.

If you have any questions, you can contact me at 924-3991.

Sincerely,

A handwritten signature in black ink, appearing to read "Kristal D. Metro".

Kristal D. Metro, P.E.
Traffic Engineer, Planning Dept.
Development and Building Services

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

C. CO Clerk
File

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(Rev. 12/05)

PROJECT TITLE: O'Reilly Auto Parts -416 Candelaria Rd, NWZONE MAP/DRG. FILE # G14/DO22DRB#: NA EPC#: NA WORK ORDER#: NA

LEGAL DESCRIPTION: LOT B & B-1, PART OF REPLAT OF LOTS 21 & 22, BLOCK 2 FITZGERALD ADDITION,
TOGETHER W/ LOTS 1,2,3 &4 FITZGERALD ADDITION IN BLOCK A & LOTS 1 & 2 IN BLOCK B, DAVIDSON ADDITION
NO.1, ALBUQUERQUE, NM

ENGINEERING FIRM: Anderson Engineering
ADDRESS: 2045 W Woodland
CITY, STATE: Springfield, MO

CONTACT: Paul Engel, PE
PHONE: 417-866-2741
ZIP CODE: 65807

OWNER: O'Reilly Auto Parts
ADDRESS: 233 South Patterson
CITY, STATE: Springfield, MO

CONTACT: Steve Peterie
PHONE: 417-862-2674
ZIP CODE: 65802

ARCHITECT: Buddy Webb & Co.
ADDRESS: 1501 East Sunshine -Suite E
CITY, STATE: Springfield, MO

CONTACT: Buddy Webb
PHONE: 417-877-1385
ZIP CODE: 65804

SURVEYOR: Pentacor
ADDRESS: 8774 Yates Way, suite 320,
CITY, STATE: Westminster, CO

CONTACT: WFB
PHONE: 303-635-2303
ZIP CODE: 80031

CONTRACTOR: RSI
ADDRESS: _____
CITY, STATE: _____

CONTACT: Marvin Chastain
PHONE: 214-674-9645
ZIP CODE: _____

TYPE OF SUBMITTAL:

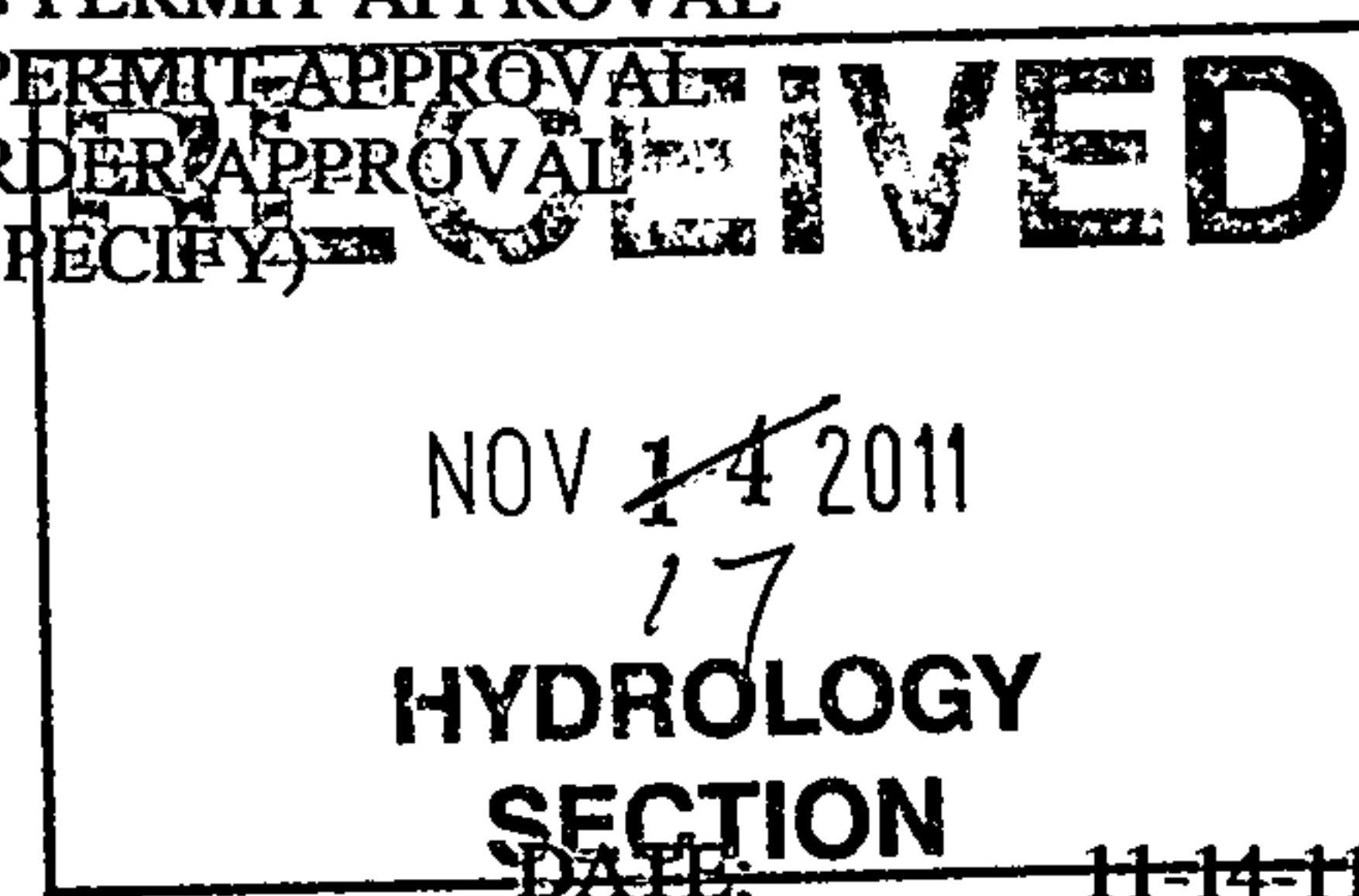
☐ DRAINAGE REPORT
☐ DRAINAGE PLAN 1st SUBMITTAL
☐ DRAINAGE PLAN RESUBMITTAL
☐ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☐ EROSION CONTROL PLAN
☒ ENGINEER'S CERT (HYDROLOGY)
☐ CLOMR/LOMR
☐ TRAFFIC CIRCULATION LAYOUT
☒ ENGINEER/ARCHITECT CERT (TCL)
☐ ENGINEER/ARCHITECT CERT (DRB S.P.)
☐ ENGINEER/ARCHITECT CERT (AA)
☐ OTHER (SPECIFY) _____

WAS A PRE-DESIGN CONFERENCE ATTENDED:

☐ YES
☒ NO
☐ COPY PROVIDED

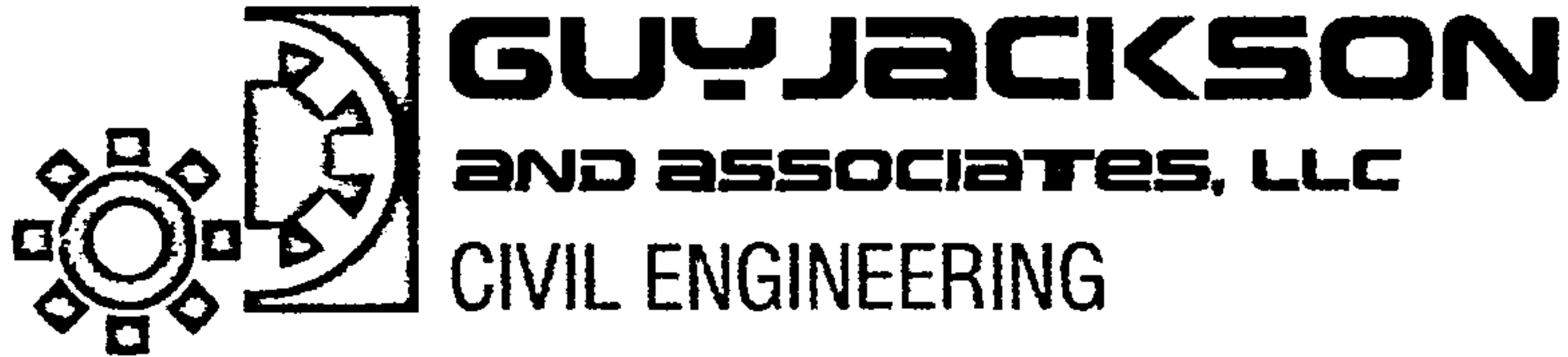
CHECK TYPE OF APPROVAL SOUGHT:

☐ SIA/FINANCIAL GUARANTEE RELEASE
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D APPROVAL
☐ S. DEV. FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ FOUNDATION PERMIT APPROVAL
☐ BUILDING PERMIT APPROVAL
☒ CERTIFICATE OF OCCUPANCY (PERM) /
☐ CERTIFICATE OF OCCUPANCY (TEMP)
☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ WORK ORDER APPROVAL
☐ OTHER (SPECIFY) _____

SUBMITTED BY: GUY JACKSON, PE

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope to the proposed development define the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.



November 17, 2011

Kristal Metro, PE
Section Manager, Traffic
Curtis Cherne, PE
Section Head, Hydrology
Development Services
PO Box 1293
Albuquerque, New Mexico 87103

**Re: O'Reilly Auto Parts, 416 Candelaria Rd. NW, Albuquerque, NM
(Zone Atlas Map & File # G14/D022)**

Dear Kristal & Curtis:

Attached for Permanent Certificate of Occupancy approval are the following:

- One (1) Drainage Information Sheet
- One (1) copy of the TCL Certification Plan
- One (1) copy of the TCL Certification Letter
- One (1) copy of the Grading & Drainage Certification Plan

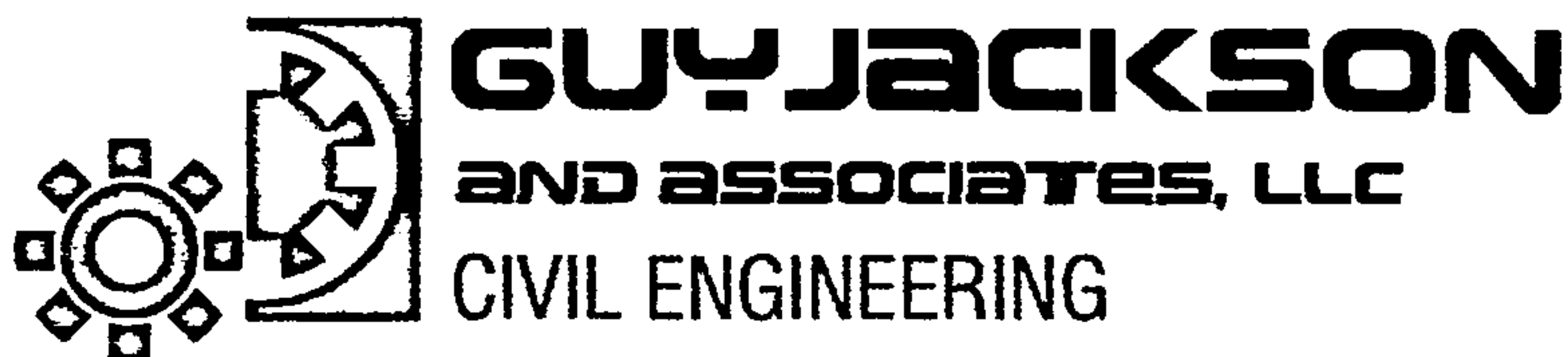
The project is located at 416 Candelaria, NW. The completed improvements include the construction of a 2,100sf building addition and minor paving modifications to the existing site as shown on the attached plans.

Please contact me if you have any questions or comments.

Sincerely,

GUY JACKSON & ASSOCIATES, LLC

Guy C. Jackson, PE
President
10522 Florence Ave. NE
Albuquerque, NM 87122
505-235-1426



November 17, 2011

Kristal Metro, PE
Section Manager, Traffic
Development Services
PO Box 1293
Albuquerque, New Mexico 87103

**Re: O'Reilly Auto Parts, 416 Candelaria Rd. NW, Albuquerque, NM
(Zone Atlas Map & File # G14/D022)**

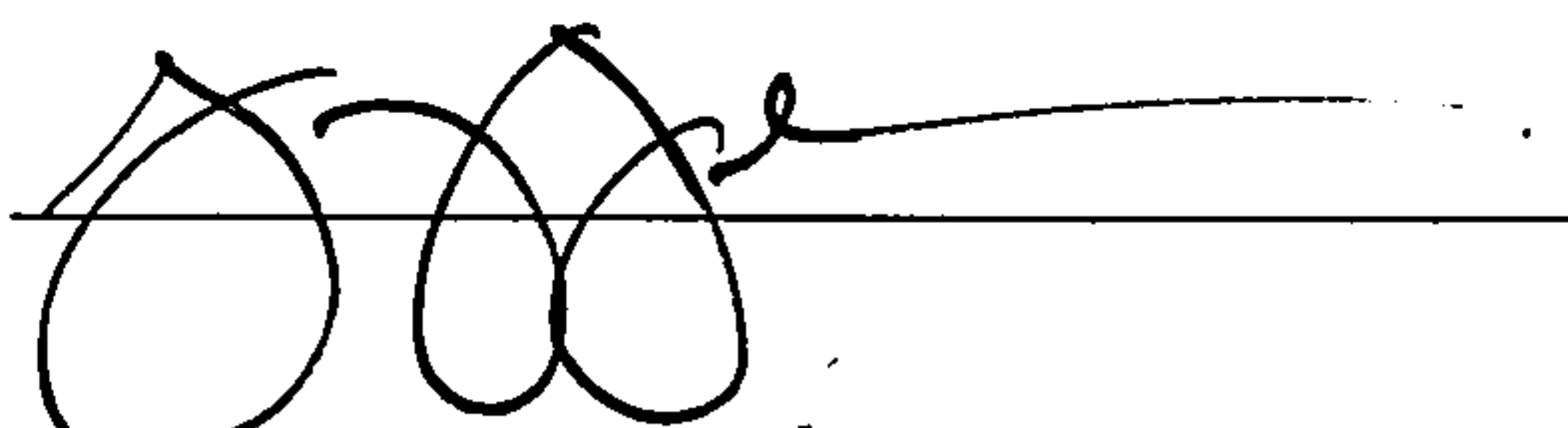
Dear Kristal:

A final Certificate of Occupancy (CO) is requested for the referenced property based upon the following The Traffic Circulation Layout (TCL) Certification:

TRAFFIC CERTIFICATION

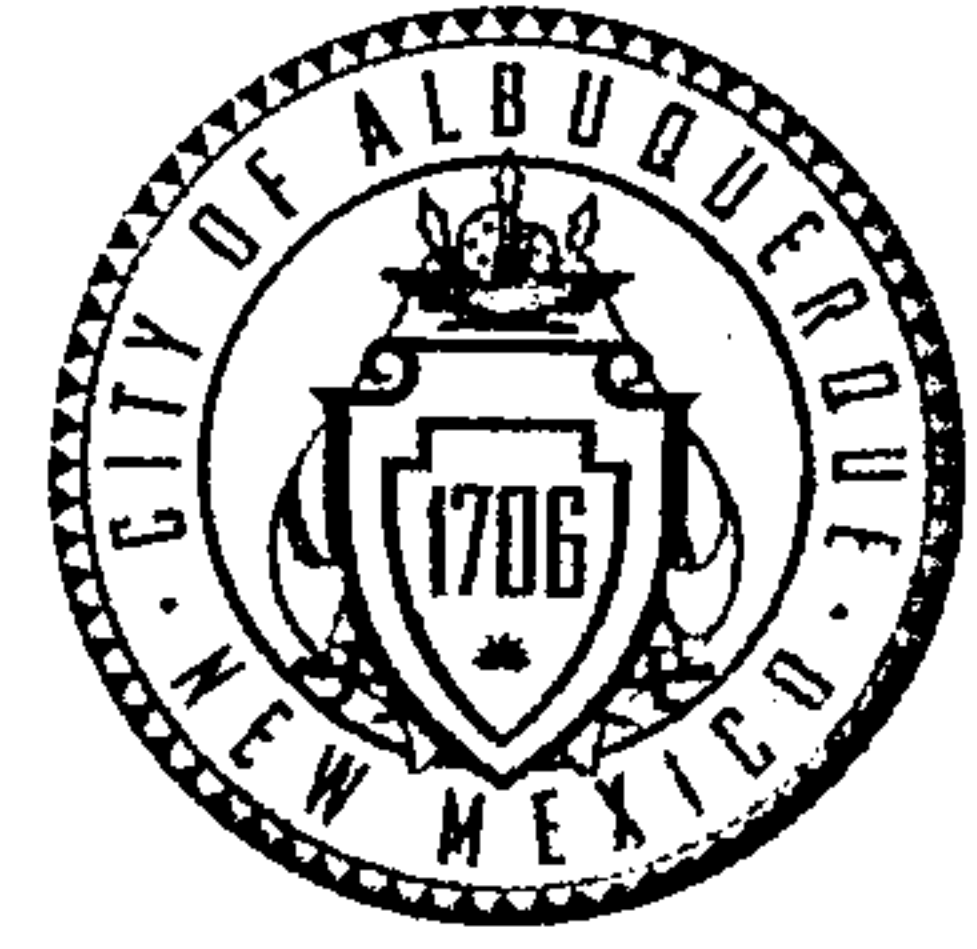
I, GUY JACKSON NMPE OF THE FIRM GUY JACKSON & ASSOCIATES, LLC, HEREBY CERTIFY THAT THIS PROJECT IS IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 5-27-11. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY LENORE ARMIJO OF THE FIRM ADAM'S LAND & CONSTRUCTION SURVEYS. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON 11-10-11 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR FINAL CERTIFICATE OF OCCUPANCY.

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE TRAFFIC ASPECTS OF THIS PROJECT. THOSE RELYING ON THE RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.


Date 11-17-11
Guy C. Jackson, PE
505-235-1426



CITY OF ALBUQUERQUE



November 17, 2011

Guy C. Jackson, P.E.
Guy Jackson & Associates
10522 Florence Ave. NE
Albuquerque, NM 87122

**Re: O'Reily Auto Parts, 416 Candelaria Rd. NW,
Request for Permanent Certificate of Occupancy - Approved
Engineer's Stamp dated: 07-11-11, (G14/D022)
Certification dated 11-17-11**

Dear Mr. Jackson,

Based upon the information provided in the Certification received 11-17-11 and a site visit on 11-14-11, the above referenced Certification is approved for Certificate of Occupancy.

PO Box 1293

Hydrology is asking for an electronic copy, in .pdf format, of this certification for our records

Albuquerque

If you have any questions, you can contact me at 924-3982.

NM 87103

Sincerely,

Timothy E. Sims
Plan Checker—Hydrology, Planning Dept.
Development and Building Services

www.cabq.gov

C: C.O. Clerk—Katrina Sigala
File

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(Rev. 12/05)

PROJECT TITLE: O'Reilly Auto Parts -416 Candelaria Rd, NW

ZONE MAP/DRG. FILE # G14/DO22

DRB#: NA EPC#: NA WORK ORDER#: NA

LEGAL DESCRIPTION: LOT B & B-1, PART OF REPLAT OF LOTS 21 & 22 , BLOCK 2 FITZGERALD ADDITION, TOGETHER W/ LOTS 1,2,3 &4 FITZGERALD ADDITION IN BLOCK A & LOTS 1 & 2 IN BLOCK B, DAVIDSON ADDITION NO.1, ALBUQUERQUE, NM

ENGINEERING FIRM: Anderson Engineering
ADDRESS: 2045 W Woodland
CITY, STATE: Springfield, MO

CONTACT: Paul Engel, PE
PHONE: 417-866-2741
ZIP CODE: 65807

OWNER: O'Reilly Auto Parts
ADDRESS: 233 South Patterson
CITY, STATE: Springfield, MO

CONTACT: Steve Peterie
PHONE: 417-862-2674
ZIP CODE: 65802

ARCHITECT: Buddy Webb & Co.
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CITY, STATE: Springfield, MO

CONTACT: Buddy Webb
PHONE: 417-877-1385
ZIP CODE: 65804

SURVEYOR: Pentacor
ADDRESS: 8774 Yates Way, suite 320,
CITY, STATE: Westminster, CO

CONTACT: WFB
PHONE: 303-635-2303
ZIP CODE: 80031

CONTRACTOR: RSI
ADDRESS: _____
CITY, STATE: _____

CONTACT: Marvin Chastain
PHONE: 214-674-9645
ZIP CODE: _____

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
☐ DRAINAGE PLAN 1st SUBMITTAL
☐ DRAINAGE PLAN RESUBMITTAL
☐ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☐ EROSION CONTROL PLAN
☒ ENGINEER'S CERT (HYDROLOGY)
☐ CLOMR/LOMR
☐ TRAFFIC CIRCULATION LAYOUT
☒ ENGINEER/ARCHITECT CERT (TCL)
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☐ ENGINEER/ARCHITECT CERT (AA)
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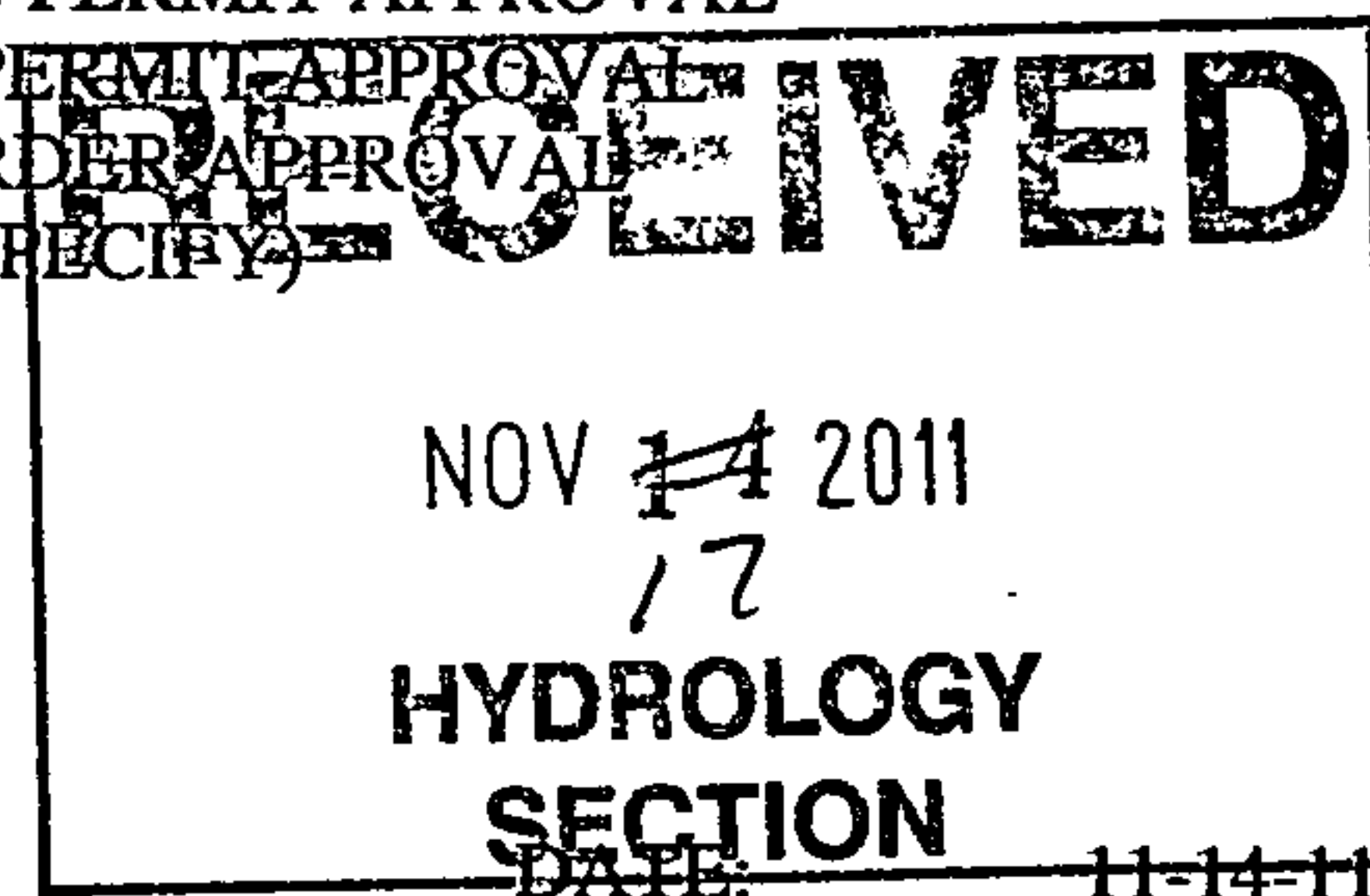
CHECK TYPE OF APPROVAL SOUGHT:

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☐ S. DEV. FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ FOUNDATION PERMIT APPROVAL
☐ BUILDING PERMIT APPROVAL
☒ CERTIFICATE OF OCCUPANCY (PERM)
☐ CERTIFICATE OF OCCUPANCY (TEMP)
☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ WORK ORDER APPROVAL
☐ OTHER (SPECIFY) _____

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
☒ NO
☐ COPY PROVIDED

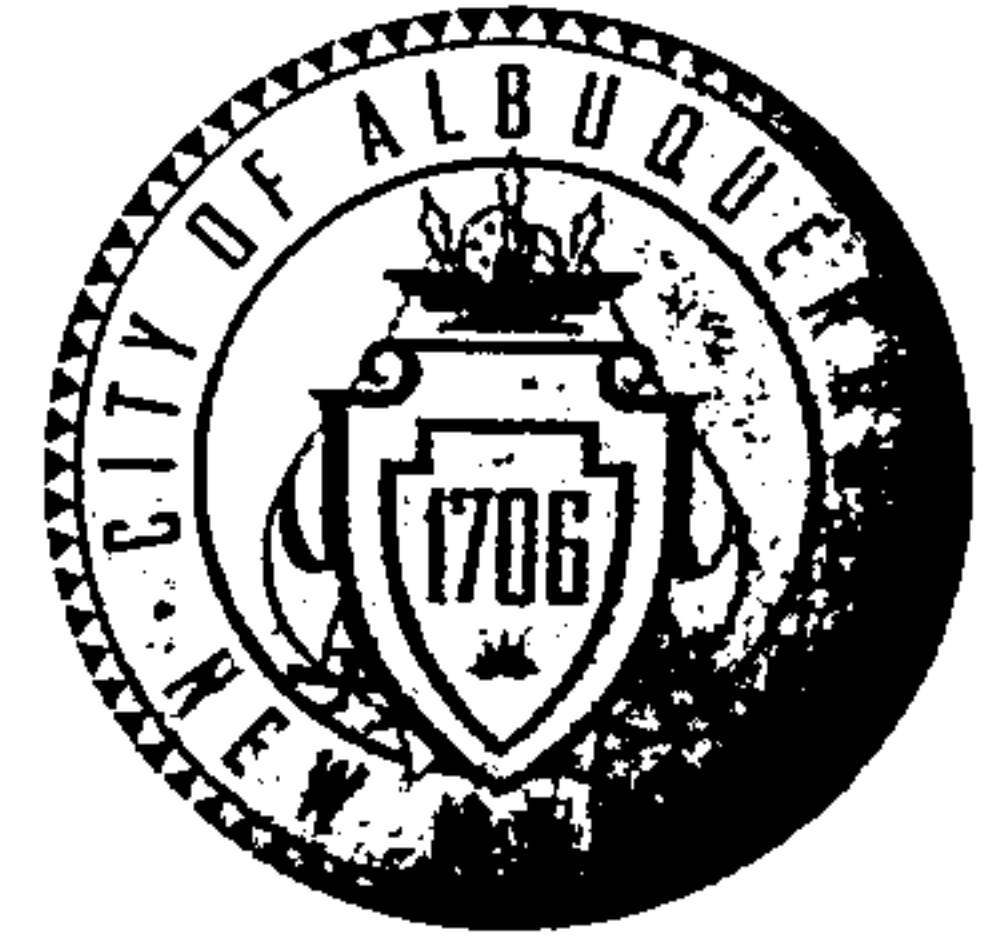
SUBMITTED BY: GUY JACKSON, PE



Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope to the proposed development define the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

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CITY OF ALBUQUERQUE



September 29, 2010

Neil S. Brady, P.E.
Anderson Engineering, Inc
2045 W. Woodland
Springfield, Missouri 65807

**Re: O'Reilly Auto Parts Site Grading and Stormwater Plan
Engineer's Stamp date 9-20-10 (G14/D022)**

Dear Mr. Brady,

Based upon the information provided in your submittal received 9-24-10, the above referenced plan is approved for Building Permit. Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology.

Prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist will be required.

If you have any questions, you can contact me at 924-3695.

Sincerely,

Curtis A. Cherne, P.E.
Senior Engineer, Planning Dept.
Development and Building Services

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

C: file

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 12/2005)

PROJECT TITLE: B' Reilly Auto part ZONE MAP: G14/D022
 DRB#: _____ EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION: _____
 CITY ADDRESS: 416 Candelaria Rd NW

ENGINEERING FIRM: Anderson Engineering CONTACT: Neil Brady
 ADDRESS: 2045 W. Woodlawn PHONE: 417-866-2741
 CITY, STATE: Springfield, MO ZIP CODE: 65807

OWNER: _____ CONTACT: _____
 ADDRESS: _____ PHONE: _____
 CITY, STATE: _____ ZIP CODE: _____

ARCHITECT: _____ CONTACT: _____
 ADDRESS: _____ PHONE: _____
 CITY, STATE: _____ ZIP CODE: _____

SURVEYOR: _____ CONTACT: _____
 ADDRESS: _____ PHONE: _____
 CITY, STATE: _____ ZIP CODE: _____

CONTRACTOR: _____ CONTACT: _____
 ADDRESS: _____ PHONE: _____
 CITY, STATE: _____ ZIP CODE: _____

TYPE OF SUBMITTAL:
 _____ DRAINAGE REPORT
 _____ DRAINAGE PLAN 1st SUBMITTAL
☒ DRAINAGE PLAN RESUBMITTAL
 _____ CONCEPTUAL G & D PLAN
 _____ GRADING PLAN
 _____ EROSION CONTROL PLAN
 _____ ENGINEER'S CERT (HYDROLOGY)
 _____ CLOMR/LOMR
 _____ TRAFFIC CIRCULATION LAYOUT
 _____ ENGINEER'S CERT (TCL)
 _____ ENGINEER'S CERT (DRB SITE PLAN)
 _____ OTHER (SPECIFY) _____

CHECK TYPE OF APPROVAL SOUGHT:
 _____ SIA/FINANCIAL GUARANTEE RELEASE
 _____ PRELIMINARY PLAT APPROVAL
 _____ S. DEV. PLAN FOR SUB'D APPROVAL
 _____ S. DEV. FOR BLDG. PERMIT APPROVAL
 _____ SECTOR PLAN APPROVAL
 _____ FINAL PLAT APPROVAL
 _____ FOUNDATION PERMIT APPROVAL
☒ BUILDING PERMIT APPROVAL
 _____ CERTIFICATE OF OCCUPANCY (PERM)
 _____ CERTIFICATE OF OCCUPANCY (TEMP)
 _____ GRADING PERMIT APPROVAL
 _____ PAVING PERMIT APPROVAL
 _____ WORK ORDER APPROVAL
 _____ OTHER (SPECIFY) _____

WAS A PRE-DESIGN CONFERENCE ATTENDED:

☒ YES
 _____ NO
 _____ COPY PROVIDED

DATE SUBMITTED: 9-24-10 BY: _____

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

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ANDERSON ENGINEERING, INC

E M P L O Y E E O W N E D



G-14/1022

September 21, 2010

City of Albuquerque, NM
Hydrology Section
Attn: Curtis A. Cherne, P.E.
600 2nd Street NW
Albuquerque, NM 87103

RE: O'REILLY AUTO PARTS – 416 CANDELARIA RD NW

Mr. Cherne,

In response to the review comments concerning the proposed building addition to the existing O'Reilly Auto Parts store (formerly Checker Auto Parts) on we offer the following responses:

Comment #1: Generally, a Grading Plan will contain surveyed grades for the existing condition and proposed contours or spot elevations for the work to be performed. I realize this building addition will be constructed on an area that is mostly paved. Hydrology's concern is that roof flows may cross the property line to the west or south. To prevent this from happening, the revised Grading Plan should show the direction of roof flows and how the roof flows enter the main parking area. This will require more proposed spot elevations in the landscape area as well as spot elevations on the property line around the addition.

Response #1: Coordination has been made with the Architect to modify the building downspouts to discharge on the south side of the proposed building addition. Additional spot elevations and notes have been added to the grading plan directing the contractor to drain area east towards the parking lot.

Comment #2: An engineered Grading Plan requires the signature and date of the Registered Engineer.

Response #2: Revised Grading plans have been signed and sealed by a New Mexico Registered Engineer.

The above responses address the remaining hydrology comments. Please contact us with any questions or concerns. Thank you for your assistance in this review process.

Sincerely,

Neil Brady, P.E.
President
Anderson Engineering

NSB/was
Attachment: Sheet C1 Site Grading & Stormwater (Rev 9-20-10)

REC 9-24-10

CITY OF ALBUQUERQUE



July 7, 2011

Neil S. Brady, P.E.
Anderson Engineering, Inc.
2045 W. Woodland
Springfield, MO 65807

Re: O'Reilly Auto Parts, 416 Candelaria Rd NW, Traffic Circulation Layout
Engineer's Stamp dated 05-27-11 (G14-D022)

Dear Mr. Brady,

The TCL submittal received 07-05-11 is approved for Building Permit. The plan is stamped and signed as approved. A copy of this plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation. **Public infrastructure or work done within City Right-of-Way shown on these plans is for information only and is not part of approval. A separate DRC and/or other appropriate permits are required to construct these items.**

If a temporary CO is needed, a copy of the original TCL that was stamped as approved by the City will be needed. This plan must include a statement that identifies the outstanding items that need to be constructed or the items that have not been built in "substantial compliance," as well as the signed and dated stamp of a NM registered architect or engineer. Submit this TCL with a completed Drainage and Transportation Information Sheet to Hydrology at the Development Services Center of Plaza Del Sol Building.

When the site is completed and a final C.O. is requested, use the original City stamped approved TCL for certification. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification TCL with a completed Drainage and Transportation Information Sheet to Hydrology at the Development Services Center of Plaza Del Sol Building.

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3306.

Sincerely,

Kristal D. Metro, P.E.
Traffic Engineer, Planning Dept.
Development and Building Services

C: File

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 12/2005)

PROJECT TITLE: O'REILLY AUTO ADDITION ZONE MAP: G-14/DOZZ
 DRB#: _____ EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION: LOT B1 FITZGERALD & DAVIDSON ADDN
 CITY ADDRESS: 416 CANDELARIA RD NW

ENGINEERING FIRM: Anderson Engineering CONTACT: _____
 ADDRESS: _____ PHONE: _____
 CITY, STATE: _____ ZIP CODE: _____

OWNER: O'REILLY AUTOMOTIVE CONTACT: _____
 ADDRESS: 223 S. PATTERSON PHONE: 417 863 2674
 CITY, STATE: SPRINGFIELD MO ZIP CODE: 65802

ARCHITECT: BUDDY D WEBB CONTACT: BUDDY
 ADDRESS: 151 E. SUNSHINE PHONE: 417-877-1385
 CITY, STATE: SPRINGFIELD, MO ZIP CODE: 65804

SURVEYOR: _____ CONTACT: _____
 ADDRESS: _____ PHONE: _____
 CITY, STATE: _____ ZIP CODE: _____

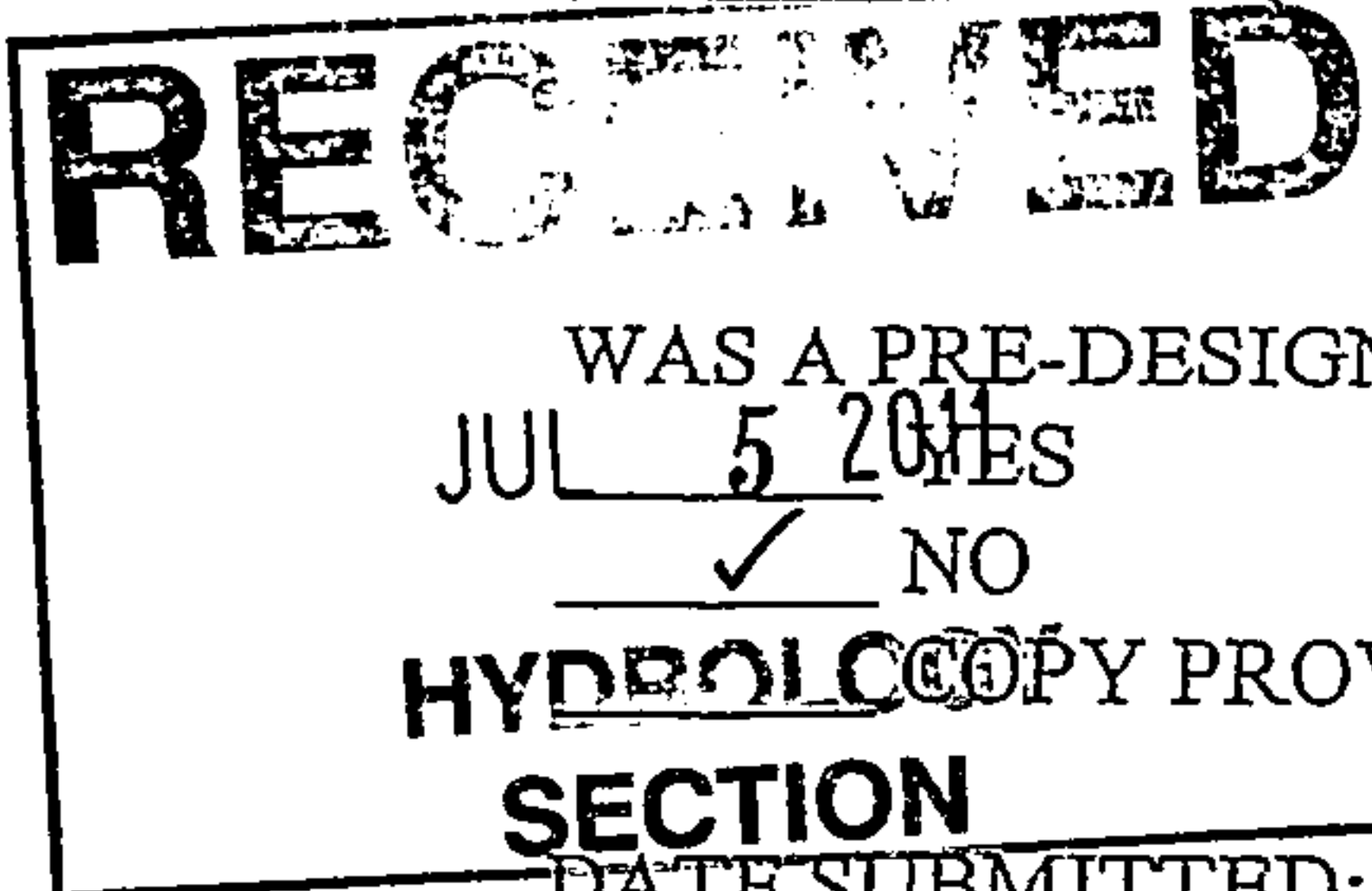
CONTRACTOR: _____ CONTACT: _____
 ADDRESS: _____ PHONE: _____
 CITY, STATE: _____ ZIP CODE: _____

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1st SUBMITTAL
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL G & D PLAN
- ☐ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☐ ENGINEER'S CERT (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☒ ~~TRAFFIC CIRCULATION LAYOUT~~
- ☒ ENGINEER'S CERT (TCL)
- ☐ ENGINEER'S CERT (DRB SITE PLAN)
- ☐ OTHER (SPECIFY) _____

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D APPROVAL
- ☐ S. DEV. FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ FOUNDATION PERMIT APPROVAL
- ☒ BUILDING PERMIT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY (PERM)
- ☐ CERTIFICATE OF OCCUPANCY (TEMP)
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☒ OTHER (SPECIFY) TCL



(RESUB)

JOE DELLALONGA for
 BOB GOLDEN

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. Conceptual Grading and Drainage Plan: Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. Drainage Plans: Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. Drainage Report: Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.

CALL D. KOLPATRICK

June 27, 2011

City of Albuquerque, NM
Attn: Ms. Krystal Metro, P.E.
Traffic Manager
600 2nd Street NW
Albuquerque, NM 87103
PH: 505-898-0321

RE: O'REILLY AUTO PARTS – 416 CANDELARIA RD NW
TRAFFIC CIRCULATION LAYOUT (TCL)

Ms. Metro,

The attached package is in regards to the TCL Plan for the O'Reilly Auto Parts Building Addition project located at 416 Candelaria Road in Albuquerque, NM. The previously submitted TCL plan was approved, but due to requirements of the City of Albuquerque North Fourth Street Rank III Corridor Plan, the scope of work for the building addition has been revised in order to meet the Overall Plan requirements.

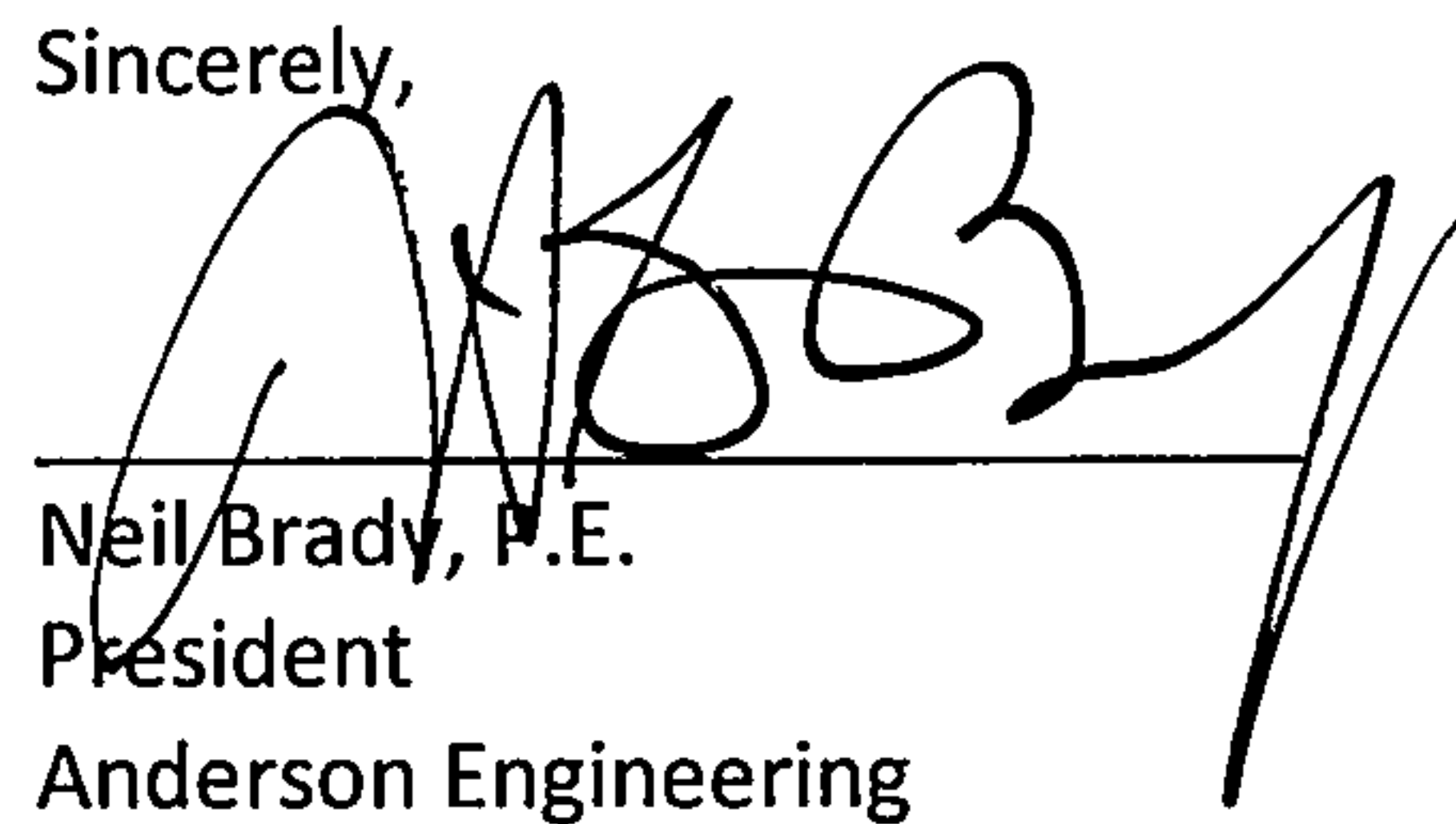
Zoning comments from David Kilpatrick has required a re-review of the TCL plan with regards to the changes of the scope of work.

Please provide a courtesy copy of all appropriate permits to our project expeditor for coordination:

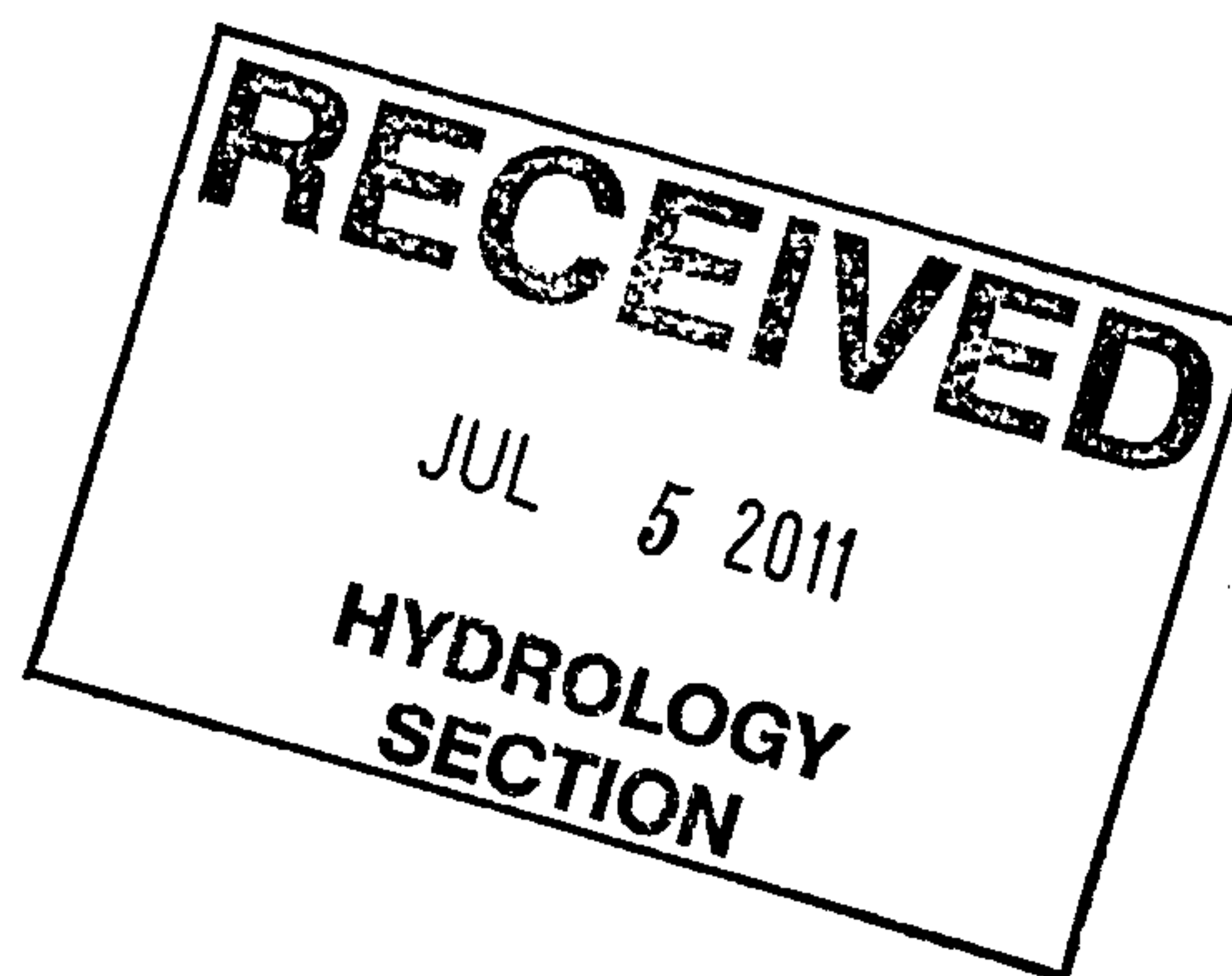
Bob Golden
Golden Associates, LLC
dba Building Permits New Mexico
7131 Crosswinds Trl NW
Albuquerque, NM 87114-4578
PH: 505-898-0321

Feel free to contact us if you have any questions or concerns about the project, or if there's anything we might have overlooked. Thank you for your assistance in this review process.

Sincerely,


Neil Brady, P.E.
President
Anderson Engineering

NSB/was
Attachment: Traffic Circulation Layout (Rev 5-26-11)
TCL Checklist

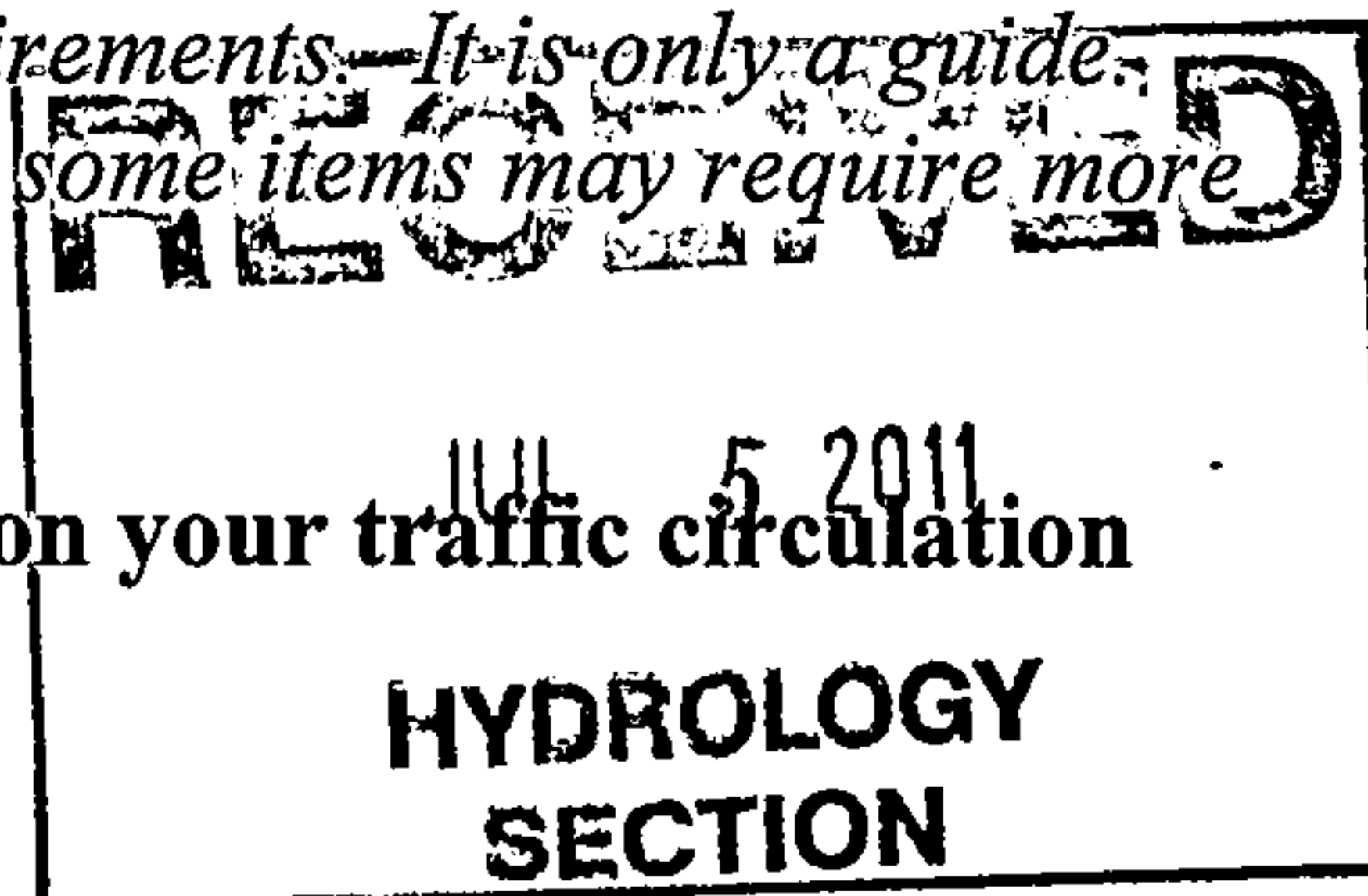


Traffic Circulation Layout Checklist
-per the City of Albuquerque Development Process Manual, Chapter 23

The City Zoning Code requires the design of access and circulation for parking areas and drive through facilities to be satisfactory to the Traffic Engineer. The design of these parking areas is a melding of a number of objectives of a development including safety, efficiency, aesthetics, etc. From a vehicular transportation point of view, one of the most critical areas of concern is the location and manner of access from the adjacent street. The interface of the development adjacent to these areas also plays a major role in how safely and efficiently they operate. These guidelines for the layout of the parking areas represent engineering design standards that will result in good operational and safety characteristics. However, with the many variables in design and unique characteristics that can be encountered, the designer may need to investigate other means of satisfying desirable operational and safety characteristics. Prior to embarking on a design for these unusual conditions, the designer should contact the Traffic Engineer to reach agreement on the modifications to these guidelines. A Completed Drainage/TCL Information Sheet (DPM Volume 1, Chapter 17) must be included with your submittal.

***NOTE:** The following checklist is intended to be used as a guide for preparing your Traffic Circulation Layout Plan to meet any or all of the traffic requirements. It is only a guide. Some items may not be applicable to your particular project; some items may require more detail.*

The following information (if applicable) must be included on your traffic circulation layout:



I. General Information

A. Planning History-Relationship to approved site plans, masterplans, and/or sector plans

B. Description:

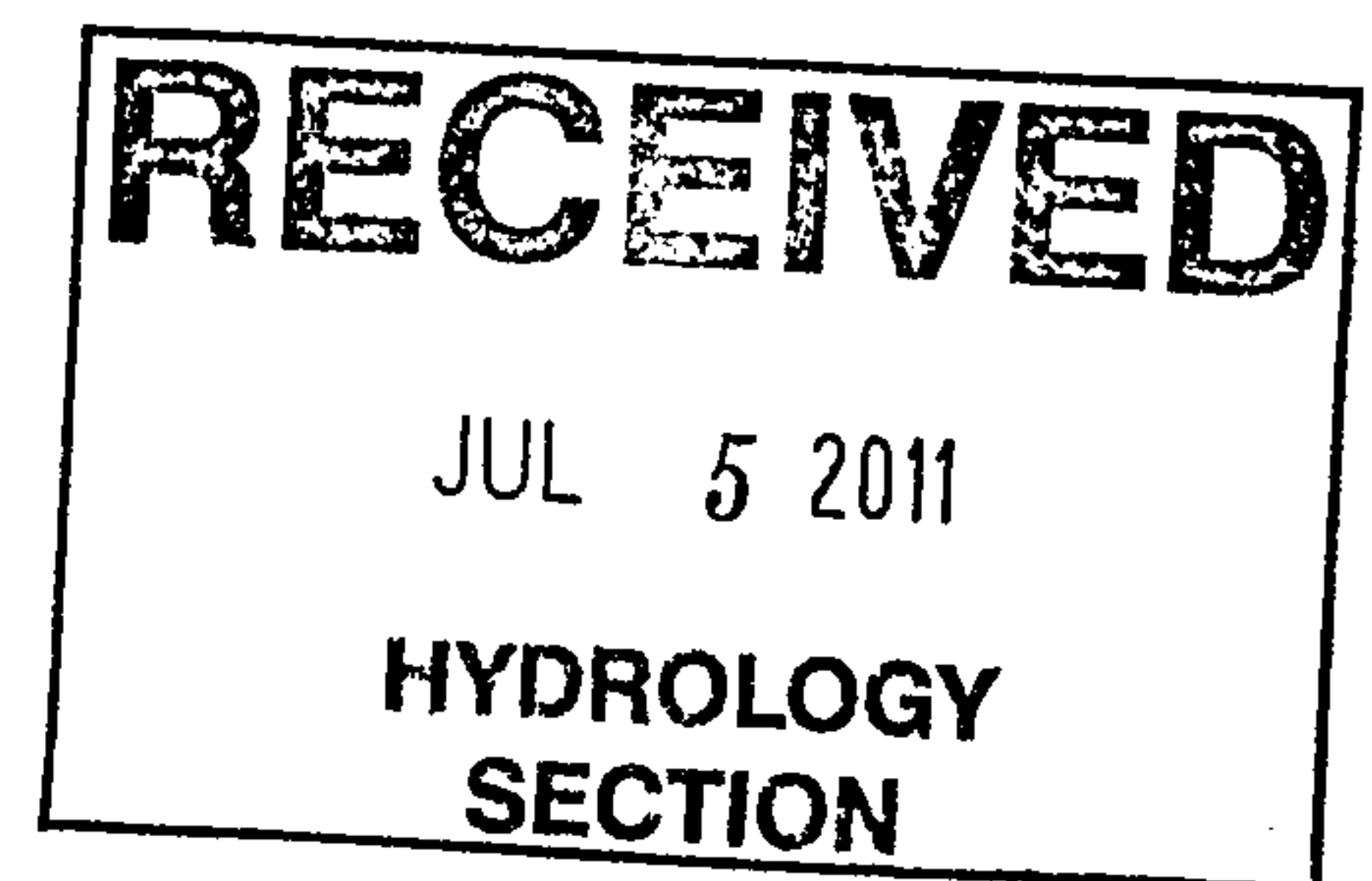
1. Vicinity map (zone atlas map) showing location of the development in relation to well-known landmarks, municipal boundaries and zone atlas map index number
Vicinity Map included on TCL Sheet showing project location
2. Address and legal description or copy of current plat
Address and legal description included on TCL Sheet
3. All requests for variances from policies, ordinances, or resolutions which are necessary to implement this plan must be specifically identified
No variances required
4. Type of development (restaurants, banks, convenience markets, service station, super markets, auto car wash, etc.)
Information added to the TCL Plan under Project Info and Summary
5. Size of development
Information added to the TCL Plan under Project Info and Summary
6. Parking spaces required by Zoning Code or prior EPC approved Site Development Plan
See parking summary on the TCL Sheet
7. Executive Summary-Provide a brief yet comprehensive discussion of the following:
 - a. General project location—TCL Sheet project info and summary
 - b. Development concept for the site—TCL Sheet project info and summary
 - c. Traffic circulation concept for the site—TCL Sheet
 - d. Impact on the adjacent sites—TCL Sheet project info and summary

Traffic Circulation Layout Checklist
-per the City of Albuquerque *Development Process Manual*, Chapter 23

- e. Reference any applicable Traffic Impact Studies (TIS) or previously approved plans - N/A
- f. Variance required to accommodate unusual site circumstances – N/A

II. Plan Drawings

- A. Professional Architect's/Engineer's stamp with signature and date
- B. Drafting standards: (Reference City Standards, DPM Volume 2, Chapter 27)
 - 1. North Arrow-TCL Sheet
 - 2. Scales-recommended engineer scales:
 - a. 1" = 20' for sites less than 5 acres -Noted
 - b. 1" = 50' for sites 5 acres or more
 - 3. Legend-see DPM manual, Volume 2, Tables 27.3a - 27.3d for recommended standard symbols (or provide a clear, concise, alternate legend) alternate legend provided
 - 4. Plan drawings size: 24" x 36" Noted
 - 5. Notes defining property line, rights-of-way, signs, street lights, fire hydrants, medians, water meter boxes, pavement limits and types, sidewalks, landscape areas, project limits, and all other areas whose definition would increase clarity-Refer to the TCL Sheet
- C. Existing Conditions:
 - 1. On-site
 - a. Identification of all existing buildings, doors, structures, sidewalks, curbs, drivepads, walls, etc., and anything that influences parking and circulation of the site - Information added to the TCL Plan
 - b. Indication of all existing access easements and rights-of-way on or adjacent to the site with dimensions and purpose shown
 - 2. Off-site – N/A
 - a. Identification of the right-of-way width, medians, curb cuts, street widths, etc. (both sides of street) - TCL Sheet
- D. Proposed Conditions: Proposed conditions should generally be superimposed on the drawings showing existing on-site and off-site conditions. Separate sheets may be used for on-site and off-site areas depending upon circumstances.
 - 1. On-site
 - a. Indication of all proposed access easements and rights-of-way on or adjacent to the site with dimensions and purpose shown-n/a
 - b. Slopes-No modifications are proposed to the previously approved parking lot
 - (1) Parking lots require a slope between 1% min and 8% max.
 - (2) Parking areas adjacent to major circulation aisles or adjacent to major entrances 1% min to 6% max
 - (3) Handicap parking 1% min to 2% max
 - c. Clearly delineate project phasing. A key map is recommended. –due to small nature and proposed work, no phasing will be needed.
 - d. Parking stall sizes: (Reference City Standards, DPM, Figure 23.7.1) - TCL Sheet



Traffic Circulation Layout Checklist
-per the City of Albuquerque *Development Process Manual*, Chapter 23

- e. Circulation: -Due to closure of the existing driveway located on Candelaria Road closest to the 4th Street intersection, new curb and guttering will be added to the parking lot to aide in the internal circulation of the site.
 - (1) General layout dimensions: Figure 23.7.1 provides the layout relationships between parking stalls and aisle widths for both large and small car parking areas- TCL Sheet
 - (2) Treatment of access points-curb cuts and/or drivepads need to comply with Chapter 23, Section 6 (if not, discuss in Executive Summary)-n/a
 - (3) Internal aisle connection:
 - (a) Parking lots with 100 or more spaces must have landscaped islands at the ends of each row of parking-n/a
 - (b) Landscape island radius for passenger car is 15 feet (see DPM Figure 23.7.2) -n/a
 - (c) Landscape island radius for delivery trucks, fire trucks, etc. is 25 feet or larger (see DPM figure 23.7.2) -n/a
 - (4) Maximum aisle lengths 400 feet without internal circulation between aisles-n/a
 - (5) Sidewalk connections:
 - (a) Provide a 6' sidewalk from the public sidewalk to the buildings within the development- TCL Sheet
 - (b) Provide a min 8' wide sidewalk when the stall will overhang the sidewalk
 - (c) Clear pedestrian route accessible should be provided when the parking space may overhang the sidewalk-n/a
 - (d) All sidewalk along streets should be placed at the property line. - TCL Sheet
 - (6) Curbing: Provide a min 6" or max 8" high concrete barrier curb or other acceptable barrier between landscaping and parking areas and/or drive aisles- TCL Sheet
 - (7) Fire and emergency access: Provision for access by fire and emergency vehicles needs to be in accordance with the Albuquerque Fire Plan Checking Division- Noted
 - (8) Service Areas:
 - (a) Circulation: - TCL Sheet
 - 1) Design delivery vehicle route needs to be shown
 - 2) No truck ramps, refuse/compactors or similar facilities permitted within circulation aisle
 - (b) No backing into or from public street allowed
 - (c) Service vehicle and/or refuse vehicle maneuvering must be contained on-site; provide a copy of refuse approval (if applicable).
 - (d) Service aisle width required:
 - 1) Two-way traffic is 30'
 - 2) One-way traffic is 20'
 - (9) Signing, Striping: Adequate signing (one-way, do not enter, etc.) and striping needs to be incorporated into the design of the parking area which will help to convey to the motorist the proper use of the facility
2. Off-site – Noted

Traffic Circulation Layout Checklist
-per the City of Albuquerque *Development Process Manual*, Chapter 23

- a. Rights-of-way and easements to accommodate existing or proposed public street infrastructures shall be provided when necessary to support this development n/a
- b. Handicap ramps are required at street corner if site abuts the corner and are required at all site entrances. Please refer to the appropriate City Standard on the plan. Ramps must include truncated domes.
- E. Access point lanes and queuing: (See Table 23.7.1)
- F. Drive through facilities-Discuss compliance with Chapter 23, Section 7

Grading - Noted

Maximum grades should not exceed 8% in parking areas. For major circulation aisles and adjacent to major pedestrian entrances, the grades should be kept to 6% or less. Handicap access to buildings needs to be maintained. Contact City Zoning for details.

Drive-Through Facilities-Noted

The layout of drive through facilities needs to take into account the queuing characteristics of the facility that is being designed. The integration of the drive through into the overall site should be such that queuing will not interfere with either the entry/exit to the site or with parking and circulation aisles.

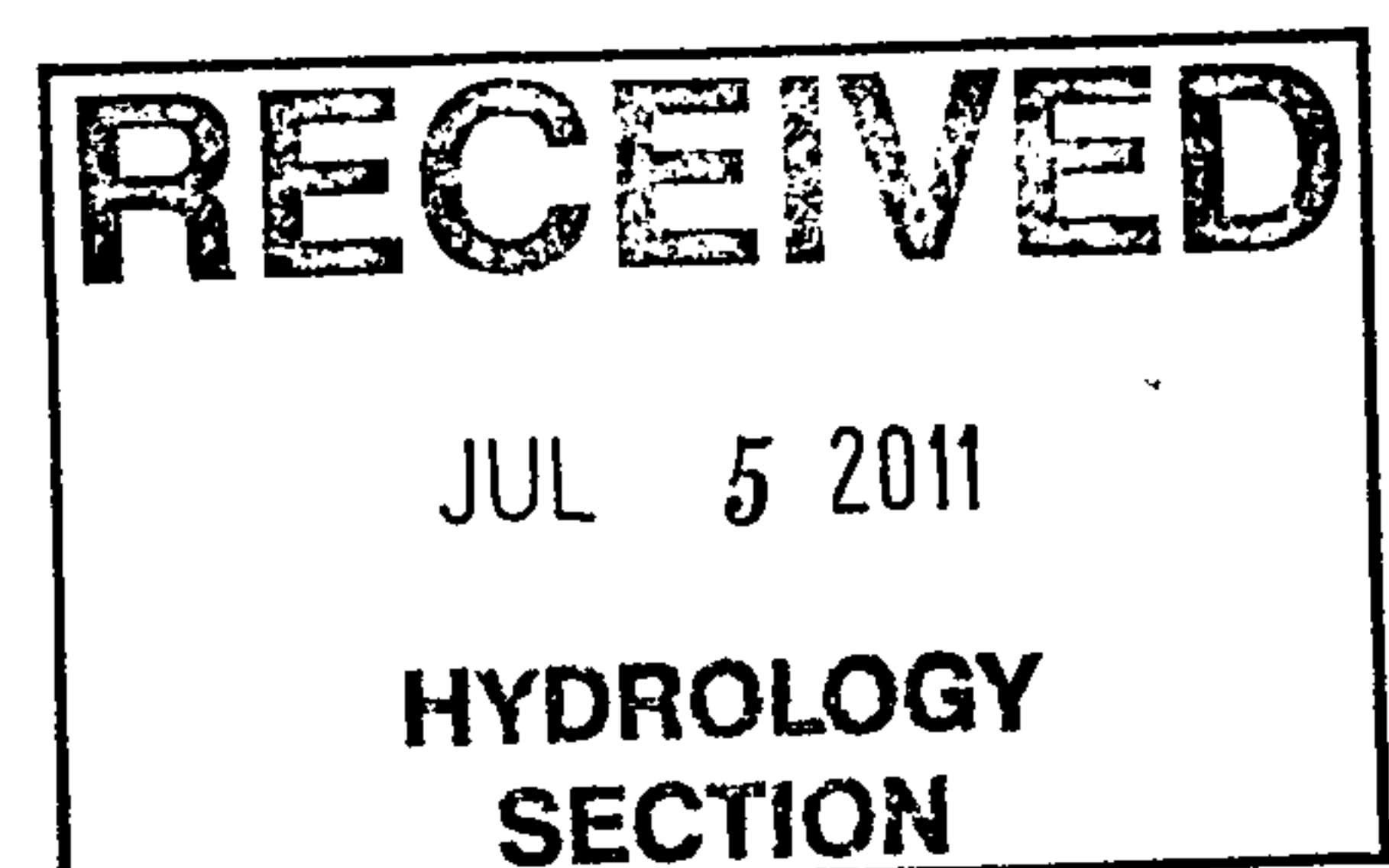
Typical queuing lengths that must be provided for drive through facilities are as follows:

- Banks - 6 vehicles per window (120 ft.)
- Fast food restaurants - 5 vehicles (100 ft.)
- Other uses - the number of vehicles that should be designed for will be based upon the expected queue- check with Traffic Engineer.

Minimum lane widths are 12 feet minimum with a 25-foot minimum radius (inside edge) for all turns. (A 15-foot radius can be used with an increase in lane width to 14 feet).

Parking Stall Sizes-Noted

Parking stalls are required by the Zoning Code to be 8.5 feet wide and 18 feet long with a provision that **if the premises contains more than 20 spaces, then one third of the spaces may be for small cars with dimensions of 8 feet wide and 15 feet long**. Parking for the disabled shall be provided in accordance with the City Zoning Code, or other applicable requirements. Overhang areas are 2 feet for normal size spaces and 1.5 feet for small car spaces (Distance from wheel stop to the front of the parking stall). Vehicles may not overhang public right-of-way.



Traffic Circulation Layout Checklist
-per the City of Albuquerque *Development Process Manual*, Chapter 23

Circulation

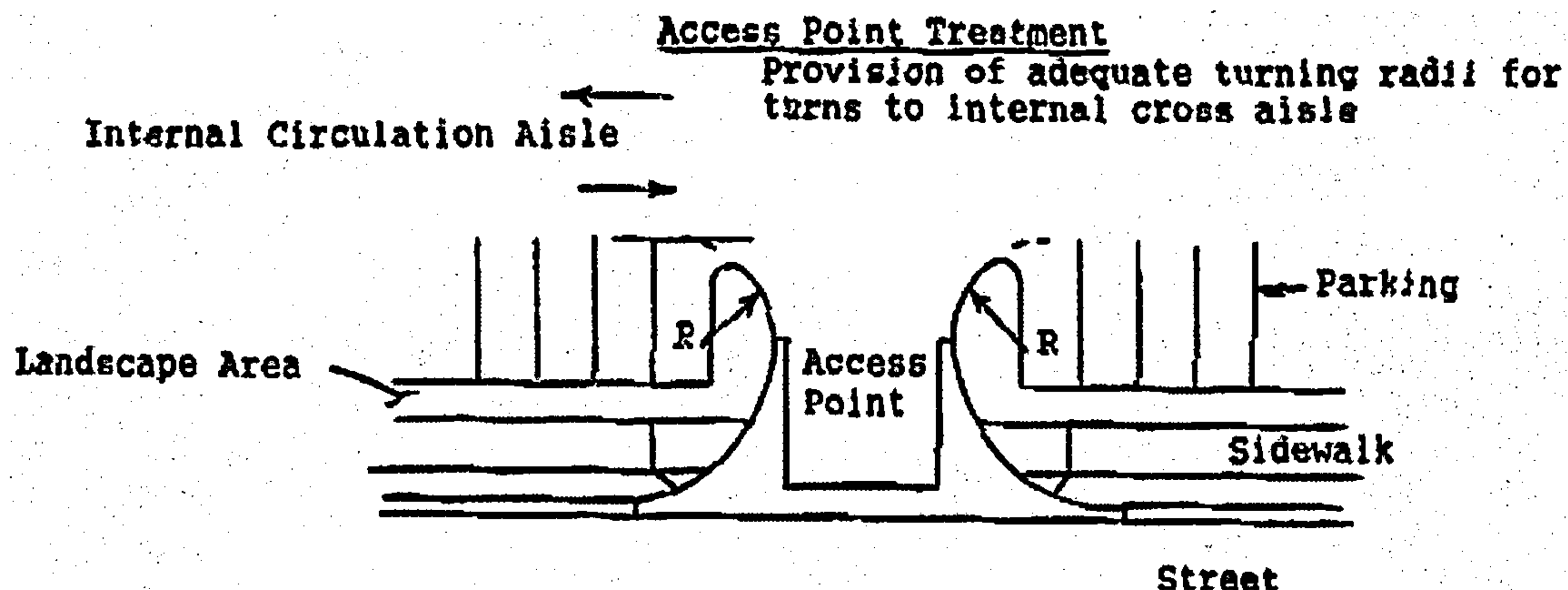
Parking areas need to provide for good internal circulation with a logical pattern that the driver can easily understand and follow.

1. *General Layout Dimensions-Noted*

Figure 23.7.1 space provides the layout relationships between parking stalls and aisle widths for both large and small car parking areas. Where a large number of small car spaces are utilized, these spaces should be spread throughout the parking area instead of being clustered in one area.

2. *Treatment Of Access Points-Noted*

The interface of parking and the access from the adjacent street is an important feature, which needs to be held to a high standard. This is necessary to ensure that vehicles are able to pull in and out of the street without interference from other vehicles in this critical area. Adequate turning radii and queuing areas need to be maintained in order to meet this objective. Landscaped islands at the entrance need to be included which will provide for this protection and adequate turning area. A 15 foot radii should be used where the design needs to accommodate cars only, while 25' radii should be used to accommodate turns by refuse, fire, and larger service vehicles.

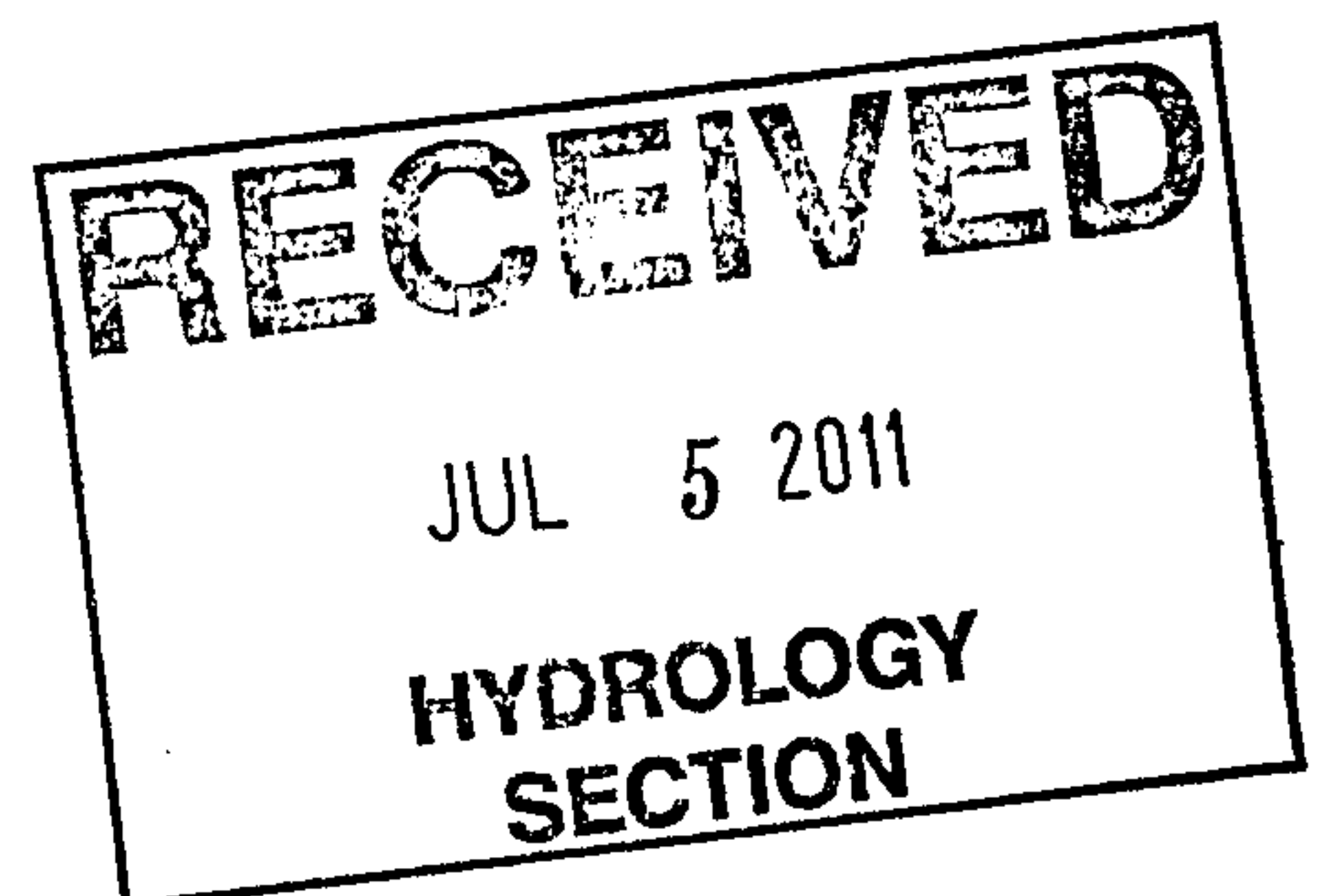


3. *Internal Aisle Connections-Noted*

In parking areas of 100 spaces or more, the ends of parking aisles need to be defined by landscaped islands. These islands serve to not only define the parking stalls but also to provide adequate radii for vehicle turns and intersection visibility. Where the design vehicle is a passenger car, the radius to be used should be 15 feet (See Figure 23.7.2). Where the aisles will function for deliveries by larger trucks, refuse, and/or fire vehicles, a 25' radius or larger should be used.

4. *Maximum Aisle Lengths-Noted*

Aisle lengths should not exceed 400 feet and desirably 300 feet without providing for internal circulation between aisles. This maximum is necessary to discourage high vehicular speeds and volumes within parking aisles.



CITY OF ALBUQUERQUE



February 9, 2011

Neil S. Brady, P.E.
Anderson Engineering, Inc.
2045 W. Woodland
Springfield, MO 65807

Re: O'Reilly Auto Parts, 416 Candelaria Rd NW, Traffic Circulation Layout
Engineer's Stamp dated 01-05-11 (G14-D022)

Dear Mr. Brady,

The TCL submittal received 01-25-11 is approved for Building Permit. The plan is stamped and signed as approved. A copy of this plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation. **Public infrastructure or work done within City Right-of-Way shown on these plans is for information only and is not part of approval. A separate DRC and/or other appropriate permits are required to construct these items.**

PO Box 1293

Albuquerque

NM 87103

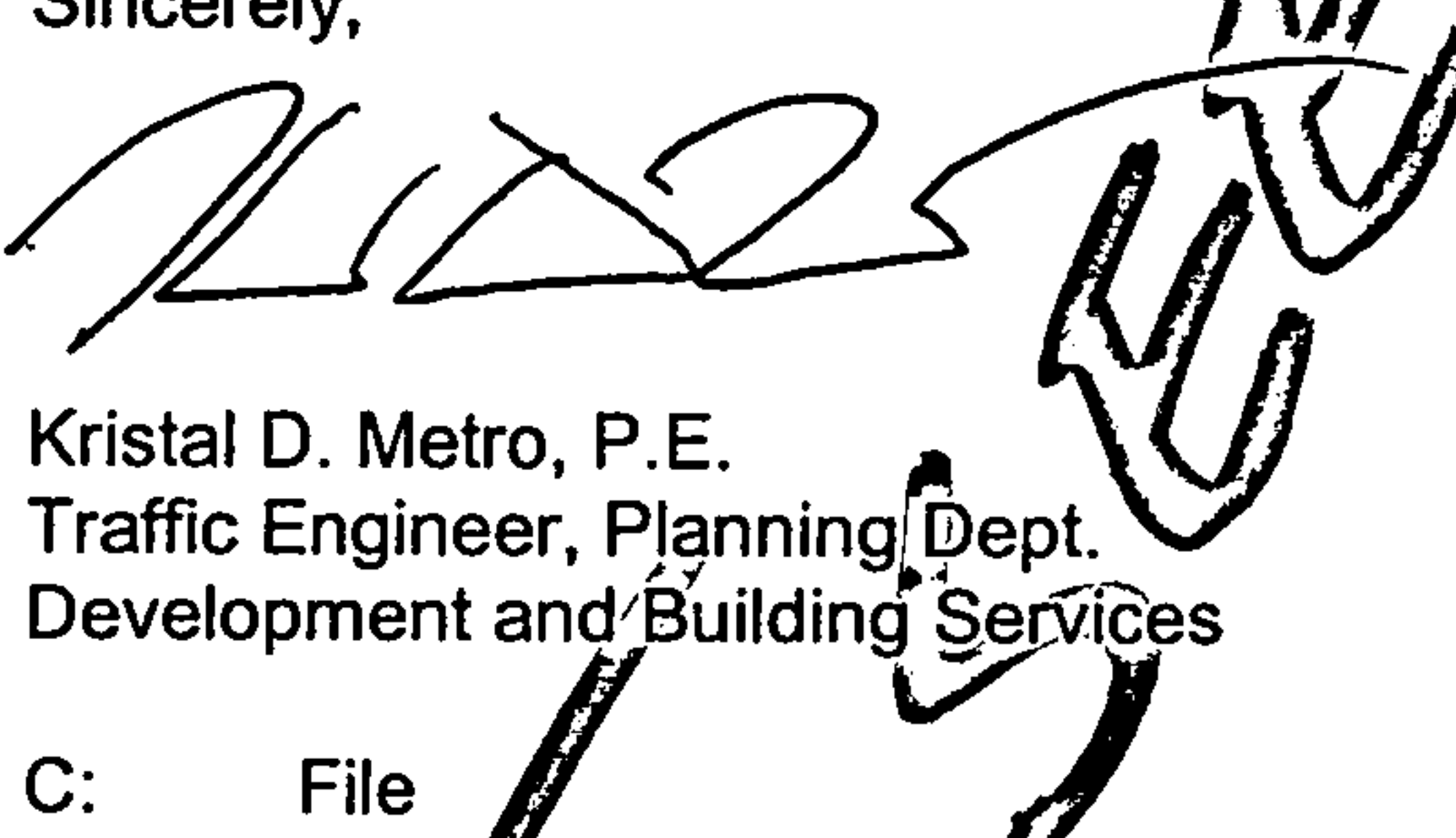
www.cabq.gov

If a temporary CO is needed, a copy of the original TCL that was stamped as approved by the City will be needed. This plan must include a statement that identifies the outstanding items that need to be constructed or the items that have not been built in "substantial compliance," as well as the signed and dated stamp of a NM registered architect or engineer. Submit this TCL with a completed Drainage and Transportation Information Sheet to Hydrology at the Development Services Center of Plaza Del Sol Building.

When the site is completed and a final C.O. is requested, use the original City stamped approved TCL for certification. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification TCL with a completed Drainage and Transportation Information Sheet to Hydrology at the Development Services Center of Plaza Del Sol Building.

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3306.

Sincerely,


Kristal D. Metro, P.E.
Traffic Engineer, Planning Dept.
Development and Building Services

C: File

CITY OF ALBUQUERQUE



September 15, 2010

Neil S. Brady, P.E.
2045 W. Woodland
Springfield, Missouri 65807

Re: O'Reilly Auto Parts Grading Plan

Engineer's Stamp dated –no date- (G14/D022)

Dear Mr. Brady,

Based upon the information provided in your submittal received 9-2-10, the above referenced plan cannot be approved for Building Permit until the following comments area addressed:

- Generally, a Grading Plan will contain surveyed grades for the existing condition and proposed contours or spot elevations for the work to be performed. I realize this building addition will be constructed on an area that is mostly paved. Hydrology's concern is that roof flows may cross the property line to the west or south. To prevent this from happening, the revised Grading Plan should show the direction of roof flows and how the roof flows enter the main parking area. This will require more proposed spot elevations in the landscape area as well as spot elevations on the property line around the addition.
- An engineered Grading Plan requires the signature and date of the Registered Engineer.

If you have any questions, you can contact me at 924-3695.

Sincerely,

Curtis A. Cherne, P.E.
Senior Engineer, Planning Dept.
Development and Building Services

C: file

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

Cherne, Curtis

From: Cherne, Curtis
Sent: Monday, September 20, 2010 10:59 AM
To: 'Wayne Stephenson'
Subject: RE: O'Reilly Auto Parts - Building Addition

Wayne,
Looks good.

Curtis Cherne, P.E.
Senior Engineer
Development and Building Services
Planning Department, COA
505-924-3695

From: Wayne Stephenson [mailto:wstephenson@aeincmo.com]
Sent: Monday, September 20, 2010 10:35 AM
To: Cherne, Curtis
Subject: O'Reilly Auto Parts - Building Addition

Curtis,

I've been working with the architect concerning the downspout locations of the proposed building addition for the O'Reilly Auto Parts on Candelaria Rd.

With the new building addition being a pre-fabricated structure to match the existing bldg, the pre-fab downspouts are located behind the building (west Property line).

Instead, we are proposing to route the downspouts to discharge on the south side of the bldg addition where a swale will be provided in the new pavement to drain the area east to the parking lot.

There is also an existing 6" curb/retaining wall on the south property line that will both contain the water onsite and divert the runoff back towards the parking lot.

I've attached a revised plan for your initial review.

Let me know if you have any questions or concerns before we re-submit the official plans.

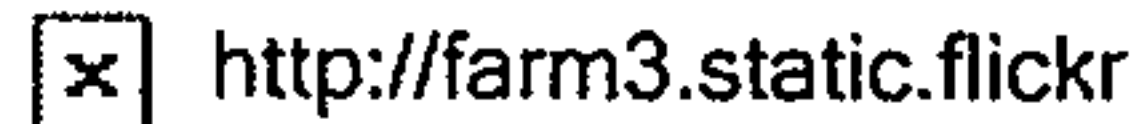
Thanks for your assistance.

Wayne Stephenson, EI
Design Engineer



9/20/2010

2045 W Woodland, Springfield MO 65807
417-866-2741 Office 417-866-2778 Fax



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From: Cherne, Curtis [mailto:CCherne@cabq.gov]
Sent: Wednesday, September 15, 2010 5:03 PM
To: wstephenson@aeincmo.com
Subject: O'Reilly auto parts

Wayne,

As discussed, I have attached the comment letter I am putting in the mail.

<<G14-D022-anderson engineering-4th and candelaria.doc>>

Curtis Cherne, P.E.
Senior Engineer
Development and Building Services
Planning Department, COA
505-924-3695

No virus found in this incoming message.

Checked by AVG - www.avg.com

Version: 9.0.851 / Virus Database: 271.1.1/3134 - Release Date: 09/15/10 01:34:00

9/20/2010

EROSION CONTROL & MAINTENANCE PLAN NOTES:

- RETAIN FLOATABLE WIND BLOWN MATERIALS ON SITE BY STORING ALL TRASH AND BUILDING MATERIAL WASTE IN ENCLOSURES UNTIL PROPER DISPOSAL AT OFF-SITE FACILITIES. CHECK ADJACENT AREAS DAILY AND PICK UP CONSTRUCTION WASTE MATERIALS AND DEBRIS THAT HAVE BLOWN OR WASHED OFF SITE.
- PERMANENTLY STABILIZE ALL SURFACE AREA WITHIN AND ADJACENT TO THIS SITE THAT IS DISTURBED BY VEHICLES, GRADING AND OTHER CONSTRUCTION FOR THE PROPOSED FACILITY. STABILIZATION IS OBTAINED WHEN THE DISTURBED SURFACE IS COVERED WITH STRUCTURES, PAVING AND OR PERENNIAL VEGETATION HAVING A UNIFORM COVERAGE DENSITY OF AT LEAST 70%. STABILIZATION OF ALL DISTURBED AREA IS REQUIRED BEFORE TERMINATING MAINTENANCE AND REMOVAL OF EROSION CONTROL MEASURES.
- CONTRACTORS SHALL INSPECT POLLUTION CONTROL MEASURES AT LEAST ONCE EVERY 14 DAYS AND WITHIN 24 HOURS AFTER A STORM EVENT OF 1/2 INCH OR GREATER. DAMAGED MEASURES THAT PROVE TO BE INEFFECTIVE SHALL BE REPLACED WITH MORE EFFECTIVE MEASURES OR ADDITIONAL MEASURES WITHIN SEVEN DAYS. REPEATED FAILURE OF A CONTROL MEASURE REQUIRES INSTALLATION OF A MORE SUITABLE DEVICE TO PREVENT DISCHARGE OF POLLUTANTS FROM THE CONSTRUCTION SITE.
- INSTALLATION OF ADDITIONAL EROSION CONTROL MEASURES MAY BE REQUIRED BY THE CITY OR STATE. CONTRACTOR TO VERIFY REQUIREMENTS PRIOR TO BEGINNING ANY WORK ON PROJECT.
- CARE SHALL BE TAKEN TO MINIMIZE THE ENCROACHMENT OF SEDIMENT INTO ALL STORM DRAIN APPURTENANCES, PUBLIC STREETS, AND ONTO PRIVATE PROPERTY UNTIL IMPERVIOUS MATERIAL (ROAD/PARKING AREA SURFACE) IS APPLIED OR UNTIL PROPOSED LANDSCAPE HAS BEEN ESTABLISHED.
- REFER TO TAC3 FOR S&T FENCE CONSTRUCTION.

GENERAL NOTES:

- CONTRACTOR TO FIELD VERIFY EXISTING CONDITIONS BY DETAILED INSPECTION PRIOR TO SUBMITTING BID AND BEGINNING CONSTRUCTION. NOTIFY ARCHITECT IF EXISTING CONDITIONS DEVIATE SUBSTANTIALLY FROM THOSE INDICATED HEREIN.
- REFER TO STRUCTURAL PLANS FOR DEVELOPMENT OF SIDEWALKS ADJACENT TO FOUNDATIONS.
- COORDINATE WORK WITH OTHER SITE RELATED DEVELOPMENT DRAWINGS.
- CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFICATION OF EXISTING UTILITIES AND ANY MODIFICATIONS THEREOF. NOT ALL UTILITIES ARE SHOWN HEREIN AND SUBJECT TO INACCURACIES.
- ALL WORK AND MATERIALS SHALL CONFORM TO THE CITY OF TULSA'S STANDARDS & GUIDELINES.

STAGES OF CONSTRUCTION:

- CONTRACTOR TO PERFORM DETAILED SITE INSPECTION TO LOCATE ALL EXISTING UTILITIES AND VERIFY ANY POSSIBLE CONFLICTS WITH PROPOSED IMPROVEMENTS PRIOR TO BEGINNING ANY CONSTRUCTION. CONTACT OWNER WITH ANY CONFLICTS. MONTH 1
- INSTALLATION OF EROSION CONTROL FENCE. MONTH 1
- DEMOLITION OF EXISTING SITE IMPROVEMENTS. MONTH 1
- ROUGH GRADING. MONTH 1 & MONTH 2
- CONSTRUCTION OF NEW SITE IMPROVEMENTS. MONTH 2
- FINAL GRADING. MONTH 3
- PLACEMENT OF FINAL LANDSCAPING ITEMS AND SOIL. MONTH 3
- REMOVAL OF EROSION CONTROL FENCE. MONTH 3

PROJECT SUMMARY:

PROJECT CONSISTS OF A 2,100 SF BUILDING ADDITION. THE PROPOSED ADDITION WILL BE BUILT ONTO AN EXISTING BUILDING, UPON THE EXISTING PARKING LOT.

THE PROPOSED ADDITION WILL DECREASE THE AMOUNT OF IMPERVIOUS AREA COMPARED TO THE EXISTING SITE. THE PORTION OF EXISTING PARKING LOT NOT TAKEN UP BY THE NEW BUILDING ADDITION WILL BE REMOVED AND VEGETATED.

ALL STORMWATER RUNOFF FROM DEVELOPED SITE WILL BE DIRECTED TO CANDELARIA ROAD, SAME FINAL DISCHARGE LOCATION AS THE PRE-DEVELOPED SITE.

TRAFFIC FLOW WILL NOT BE IMPEDED BY THE PROPOSED BUILDING ADDITION. TRAFFIC CIRCULATION WILL BE IMPROVED BY REMOVING THE EXISTING DEAD END FROM BEHIND THE BUILDING.

FINISH FLOOR NOTE:

FINISH FLOOR HAS BEEN SET AT ELEVATION 100.0' FOR REFERENCE ONLY. BUILDING ADDITION SHALL MATCH EXISTING BUILDING ELEVATION. GRADES OUTSIDE THE BUILDING ARE SHOWN PER REFERENCE ELEVATION. CONTRACTOR RESPONSIBLE FOR FIELD VERIFYING EXISTING FINISH FLOOR AND ADJUST PROPOSED ELEVATIONS ACCORDINGLY. CONTACT ENGINEER IF CONDITIONS DEVIATE SUBSTANTIALLY FROM THOSE INDICATED HEREIN.

NEW SHEET C1 TO INCLUDE ADDITIONAL NOTES AND STORMWATER SUMMARY.



CAUTION:

INFORMATION ON THIS DRAWING CONCERNING TYPE AND LOCATION OF UNDERGROUND AND OTHER UTILITIES IS NOT GUARANTEED TO BE ACCURATE OR ALL INCLUSIVE. THE CONTRACTOR IS RESPONSIBLE FOR MAKING HIS OWN DETERMINATION AS TO THE TYPE AND LOCATION OF UNDERGROUND AND OTHER UTILITIES AS MAY BE NECESSARY TO AVOID DAMAGE THEREOF.

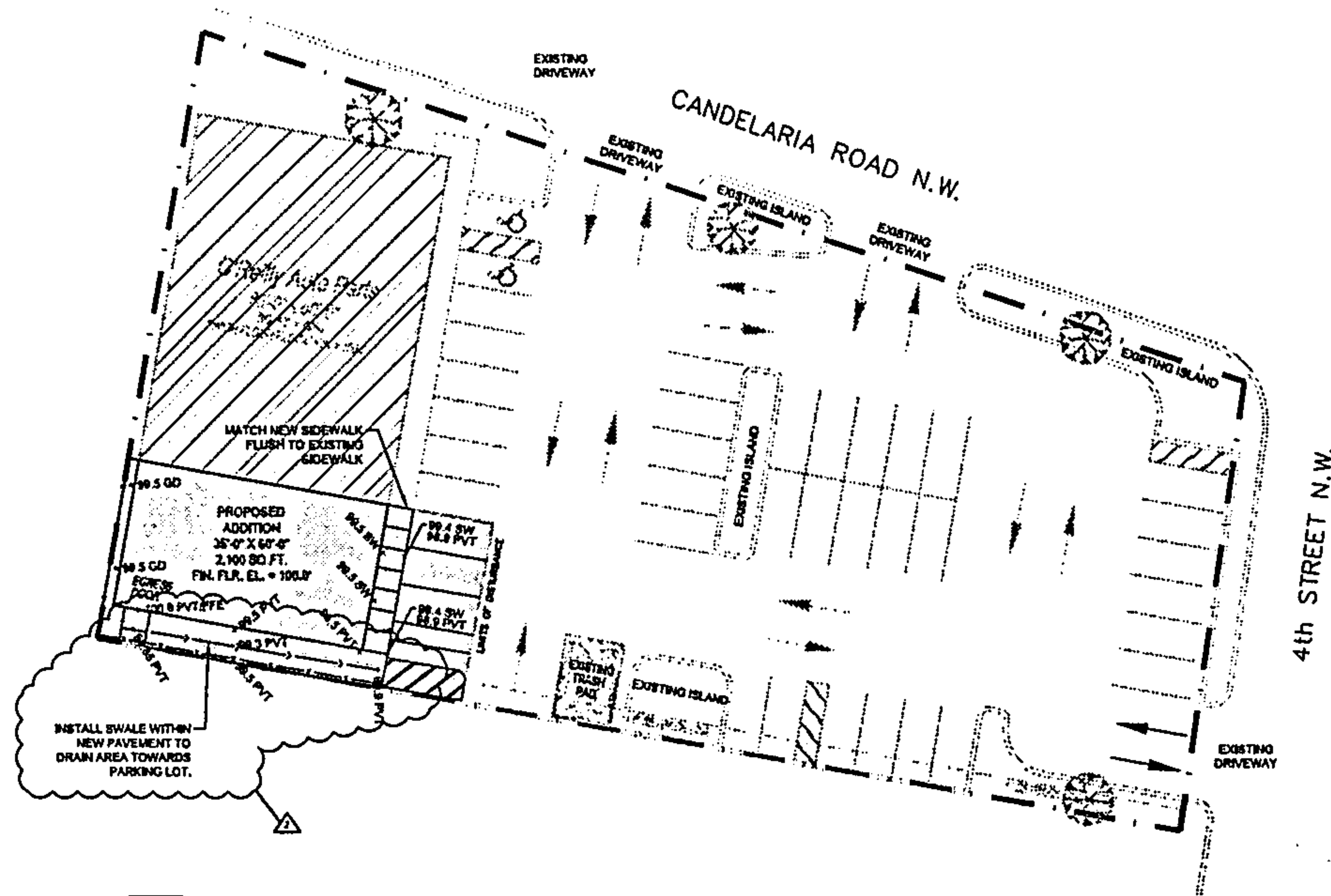
TRAFFIC GENERATION SUMMARY:

ACCORDING TO THE 7TH EDITION ITE TRIP GENERATION REPORT, AN AUTOMOBILE PARTS STORE IS EXPECTED TO GENERATE 186 DAILY TRIPS BASED ON THE TOTAL SQUARE FEET OF THE STORE. THE AM HOURLY PEAK IS PREDICTED TO BE 7 TRIPS WITH 4 ENTERING THE SITE AND 3 LEAVING THE SITE. THE PM HOURLY PEAK IS PREDICTED TO BE 17 TRIPS WITH 8 TRIPS ENTERING THE SITE AND 9 TRIPS LEAVING THE SITE.

STORMWATER RUNOFF SUMMARY:

TOTAL PROPERTY AREA = 0.75 ACRES
TOTAL DISTURBED AREA = 0.06 ACRES < 1.0 ACRES THEREFORE NO NOI.

1. ON-SITE AREAS & CURVE NUMBERS: DESIGN PROJECT AREA = 0.75 ACRES <u>PRE-DEVELOPMENT</u> EXISTING BLDG & PARKING LOT PERVIOUS AREA = 0.08 ACRES C=0.85 IMPERVIOUS AREA = 0.67 ACRES C=0.96 COMPOSITE COEFFICIENT, C = 0.96 <u>POST-DEVELOPMENT</u> BUILDING ADDITION, BLDG, PARKING PERVIOUS AREA = 0.09 ACRES C=0.85 IMPERVIOUS AREA = 0.66 ACRES C=0.96 COMPOSITE COEFFICIENT, C = 0.96		3. PRECIPITATION DATA: PER NOAA NATIONAL WEATHER SERVICE PRECIPITATION INTENSITY (in/hr): <table border="1"> <thead> <tr> <th></th> <th>5 YR</th> <th>15 YR</th> <th>30 YR</th> <th>50 YR</th> </tr> </thead> <tbody> <tr> <td>2-YR EVENT</td> <td>2.46</td> <td>1.87</td> <td>1.04</td> <td>0.84</td> </tr> <tr> <td>25-YR EVENT</td> <td>6.27</td> <td>3.32</td> <td>2.23</td> <td>1.36</td> </tr> <tr> <td>25-YR EVENT</td> <td>6.26</td> <td>3.78</td> <td>2.84</td> <td>1.87</td> </tr> <tr> <td>100-YR EVENT</td> <td>6.78</td> <td>4.28</td> <td>2.87</td> <td>1.78</td> </tr> </tbody> </table>						5 YR	15 YR	30 YR	50 YR	2-YR EVENT	2.46	1.87	1.04	0.84	25-YR EVENT	6.27	3.32	2.23	1.36	25-YR EVENT	6.26	3.78	2.84	1.87	100-YR EVENT	6.78	4.28	2.87	1.78
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		5. DEVELOPED SITE RUNOFF: <table border="1"> <thead> <tr> <th>FLOW, cfs</th> <th>2 YR</th> <th>25 YR</th> <th>50 YR</th> <th>100 YR</th> </tr> </thead> <tbody> <tr> <td>Q peak</td> <td>1.71</td> <td>3.68</td> <td>4.19</td> <td>4.73</td> </tr> </tbody> </table>					FLOW, cfs	2 YR	25 YR	50 YR	100 YR	Q peak	1.71	3.68	4.19	4.73															
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CALCULATIONS WERE MADE USING HYDRAFLOW HYDROGRAPHS 2007 RATIONAL METHOD COMPUTER MODELING SOFTWARE																															



1 SITE GRADING AND STORMWATER

C1 SCALE: 1" = 20'



SYMBOLS LEGEND			
REFER TO SURVEY (SV1) FOR EXISTING CONDITION SYMBOLS LEGEND AND SITE CONTROL.			
— 100 —	EXISTING GRADE LINES	* 100.0 PVT	NEW PROJECTIONS
— 100 —	PROPOSED NEW GRADE LINES		LET
[Symbol]	NEW BUILDING CONSTRUCTION		GRADE
[Symbol]	S&T FENCE		SIDEWALK
[Symbol]	TRAFFIC CIRCULATION ARROWS		TOP OF CURB
[Symbol]	LIMITS OF DISTURBANCE		TOP OF PAVEMENT
			NEW GRADE
			EXISTING TOP OF CURB
			EXISTING GRADE
			EXISTING PAVEMENT
			EXISTING SIDEWALK
			FLOW LINE
			ABBREVIATION
			SW
			TC
			PVT
			GD
			ETC
			ESW
			FL

O'Reilly AUTO PARTS
PROJECT: ADDITION TO O'REILLY AUTO PARTS STORE
416 CANDELARIA ROAD NW
ALBUQUERQUE, NM
233 South Patterson
Springfield, MO 65802
Phone: (417) 862-2874

DRAWN: WAS
CHECKED: NSB
DATE: 04/23/10
JOB NO.: AB2-2700
SHEET:

C1
SHEET 1 OF 3



G-14/DOZZ
BP.

August 31, 2010

Project no: 10126-10

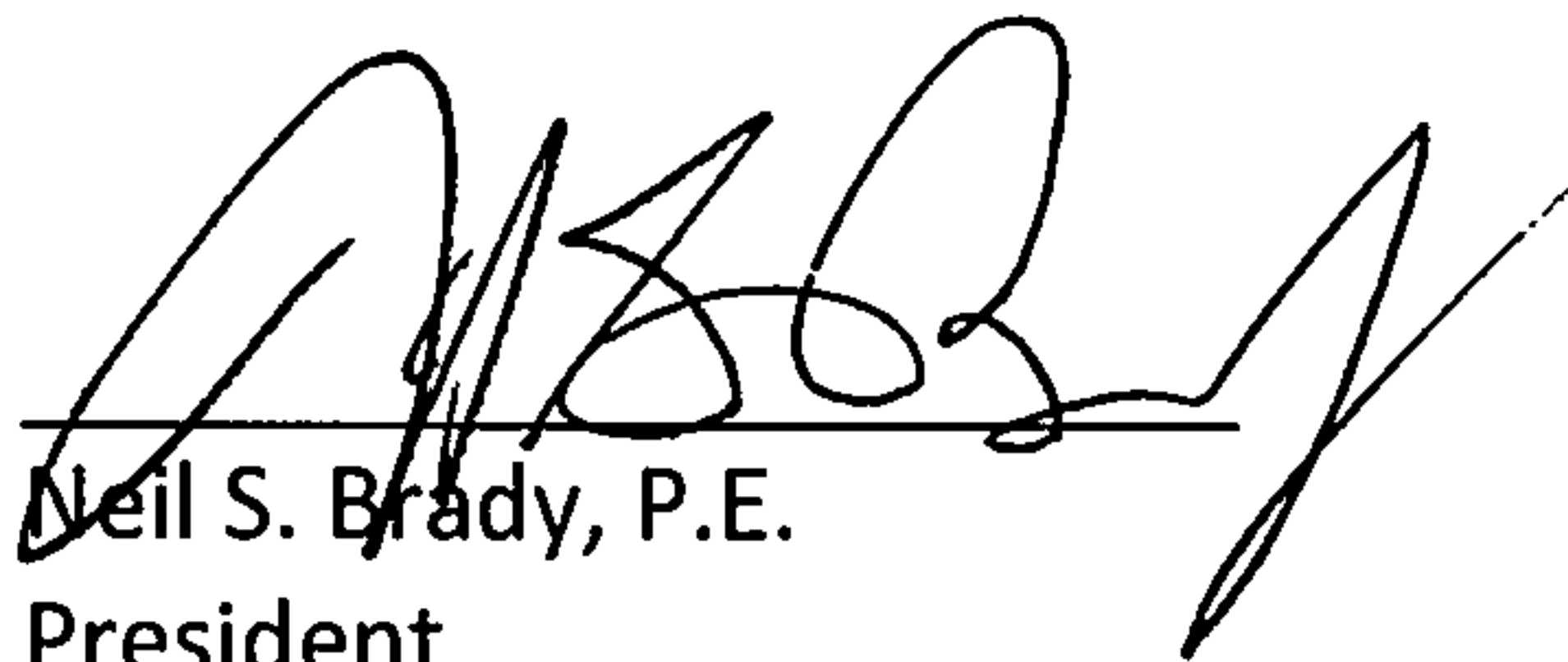
City of Albuquerque, NM
Hydrology Section
Attn: Timothy Sims
600 2nd Street NW
Albuquerque, NM 87103

RE: O'Reilly Auto Parts – Hydrology Review

Mr. Sims,

Included with this letter is a construction plan for the proposed O'Reilly Auto Parts building addition at 416 Candelaria Road in Albuquerque, NM. The attached grading plan includes a Stormwater Runoff Summary showing the existing and proposed conditions for the Hydrology Department Review. Also included is the review fee of \$50.00.

Thanks for your assistance with this review process. Please feel free to contact us if there are any questions or concerns.



Neil S. Brady, P.E.
President
Anderson Engineering

NSB/was

Enclosures:
Sheet C1-Site Grading and Stormwater Plan
Check #050699

City of Albuquerque Planning Department
One Stop Shop – Development and Building Services

09/02/2010 Issued By: PLNSDH 86515

Permit Number: 2010 060 069

Category Code 970

Application Number: 10REV-60069, Review: Drain Plan-Lomr-Traffic Impact

Address:

Location Description: 416 CANDELARIA NW, O RIELLY AUTO PARTS

Project Number: null

Applicant
ANDERSON ENGINEERING INC

Agent / Contact
Anderson Engineering Inc

NM

Application Fees

441006/4983000	REV Actions	\$50.00
TOTAL:		\$50.00

City Of Albuquerque
Treasury Division

9/2/2010 9:48AM LOC: ANNX
WS# 008 TRANSH 0010
RECEIPT# 00121925-00121925
PERMITH 2010060069 TRSLJS
Trans Amt \$50.00
REV Actions \$50.00
CK \$50.00
CHANGE \$0.00

Thank You