

- A. RETAIN FLOATABLE WIND BLOWN MATERIALS ON SITE BY STORING ALL TRASH AND BUILDING MATERIAL WASTE IN ENCLOSURES UNTIL PROPER DISPOSAL AT OFF-SITE FACILITIES. CHECK ADJACENT AREAS DAILY AND PICK UP CONSTRUCTION WASTE MATERIALS AND DEBRIS THAT HAVE BLOWN OR WASHED OFF SITE.
- B. PERMANENTLY STABILIZE ALL SURFACE AREA WITHIN AND ADJACENT TO THIS SITE THAT IS DISTURBED BY VEHICLES, GRADING AND CONSTRUCTION FOR THE PROPOSED FACILITY. STABILIZATION IS OBTAINED WHEN THE DISTURBED SURFACE IS COVERED WITH STRUCTURES, PAVING AND OR PERENNIAL VEGETATION HAVING A UNIFORM COVERAGE DENSITY OF AT LEAST 70%. STABILIZATION OF ALL DISTURBED AREA IS REQUIRED BEFORE TERMINATING MAINTENANCE AND REMOVAL OF EROSION CONTROL MEASURES.
- C. CONTRACTORS SHALL INSPECT POLLUTION CONTROL MEASURES AT LEAST ONCE EVERY 14 DAYS AND WITHIN 24 HOURS AFTER A STORM EVENT OF 1/2 INCH OR GREATER. DAMAGED MEASURES THAT PROVE TO BE INEFFECTIVE SHALL BE REPLACED WITH MORE EFFECTIVE MEASURES OR ADDITIONAL MEASURES WITHIN SEVEN DAYS. REPEATED FAILURE OF A CONTROL MEASURE REQUIRES INSTALLATION OF A MORE SUITABLE DEVICE TO PREVENT DISCHARGE OF POLLUTANTS FROM THE CONSTRUCTION SITE.
- D. INSTALLATION OF ADDITIONAL EROSION CONTROL MEASURES MAY BE REQUIRED BY THE CITY OR STATE. CONTRACTOR TO VERIFY REQUIREMENTS PRIOR TO BEGINNING ANY WORK ON PROJECT.
- E. CARE SHALL BE TAKEN TO MINIMIZE THE ENCROACHMENT OF SEDIMENT INTO ALL STORM DRAIN APPURTENANCES, PUBLIC STREETS, AND ONTO PRIVATE PROPERTY UNTIL IMPERVIOUS MATERIAL (ROAD/PARKING AREA SURFACE) IS APPLIED OR UNTIL PROPOSED LANDSCAPE HAS BEEN ESTABLISHED.
- F. REFER TO 7/C3 FOR SILT FENCE CONSTRUCTION.

- A. CONTRACTOR TO FIELD VERIFY EXISTING CONDITIONS BY DETAILED INSPECTION PRIOR TO SUBMITTING BID AND BEGINNING CONSTRUCTION. NOTIFY ARCHITECT IF EXISTING CONDITIONS DEVIATE SUBSTANTIALLY FROM THOSE INDICATED HEREIN.
- B. REFER TO STRUCTURAL PLANS FOR DEVELOPMENT OF SIDEWALKS ADJACENT TO FOUNDATIONS.
- C. COORDINATE WORK WITH OTHER SITE RELATED DEVELOPMENT DRAWINGS.
- D. CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFICATION OF EXISTING UTILITIES AND ANY MODIFICATIONS THEREOF. NOT ALL UTILITIES ARE SHOWN HEREIN AND SUBJECT TO INACCURACIES.
- E. ALL WORK AND MATERIALS SHALL CONFORM TO THE CITY OF TULSA'S STANDARDS & GUIDELINES.

A. CONTRACTOR TO PERFORM DETAILED SITE INSPECTION TO LOCATE ALL EXISTING UTILITIES AND VERIFY ANY POSSIBLE CONFLICTS WITH PROPOSED IMPROVEMENTS PRIOR TO BEGINNING OF CONSTRUCTION. CONTRACT OWNER WITH ANY CONFLICTS. MONTH 1

B. INSTALLATION OF EROSION CONTROL FENCE. MONTH 1

C. DEMOLITION OF EXISTING SITE IMPROVEMENTS. MONTH 1

D. ROUGH GRADING. MONTH 1 & MONTH 2

E. CONSTRUCTION OF NEW SITE IMPROVEMENTS. MONTH 2

F. FINAL GRADING. MONTH 3

G. PLACEMENT OF FINAL LANDSCAPING ITEMS AND SOD. MONTH 3

H. REMOVAL OF EROSION CONTROL FENCE. MONTH 3

PROJECT CONSISTS OF A 2,100 SF BUILDING ADDITION. THE PROPOSED ADDITION WILL BE BUILT ONTO AN EXISTING BUILDING, WITHIN THE EXISTING PARKING LOT.

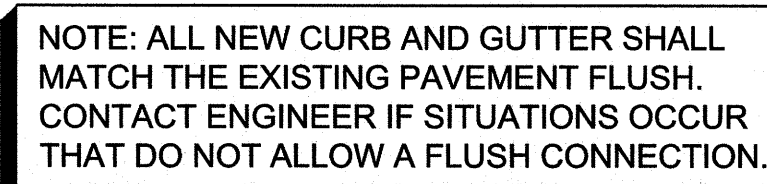
THE EXISTING PARKING LOT SHALL BE SAW CUT WHERE SHOWN ON SHEET C2 TO ALLOW FOR NEW CURB AND GUTTER TO MATCH FLUSH TO EXISTING PAVEMENT. THE PROPOSED ADDITION AND REMOVAL OF PAVEMENT WILL DECREASE THE AMOUNT OF IMPERVIOUS AREA COMPARED TO THE EXISTING SITE.

ALL STORMWATER RUNOFF FROM DEVELOPED SITE WILL BE DIRECTED TO CANDELARIA ROAD AND 4TH STREET. THE SAME FINAL DISCHARGE LOCATION AS THE PRE-DEVELOPED SITE.

TRAFFIC FLOW WILL NOT BE IMPEDED BY THE PROPOSED BUILDING ADDITION. TRAFFIC CIRCULATION WILL BE IMPROVED BY REMOVING THE EXISTING DEAD END FROM BEHIND THE BUILDING.

INFORMATION ON THIS DRAWING CONCERNING TYPE AND LOCATION OF UNDERGROUND AND OTHER UTILITIES IS NOT GUARANTEED TO BE ACCURATE OR ALL INCLUSIVE. THE CONTRACTOR IS RESPONSIBLE FOR MAKING HIS OWN DETERMINATION AS TO THE TYPE AND LOCATION OF UNDERGROUND AND OTHER UTILITIES AS MAY BE NECESSARY TO AVOID DAMAGE THERETO.


ACCORDING TO THE 7TH EDITION ITE TRIP GENERATION REPORT, AN AUTOMOBILE PARTS STORE IS EXPECTED TO GENERATE 186 DAILY TRIPS BASED ON THE TOTAL SQUARE FEET OF THE STORE. THE AM HOURLY PEAK IS PREDICTED TO BE 7 TRIPS WITH 4 ENTERING THE SITE AND 3 LEAVING THE SITE. THE PM HOURLY PEAK IS PREDICTED TO BE 17 TRIPS WITH 8 TRIPS ENTERING THE SITE AND 9 TRIPS LEAVING THE SITE.

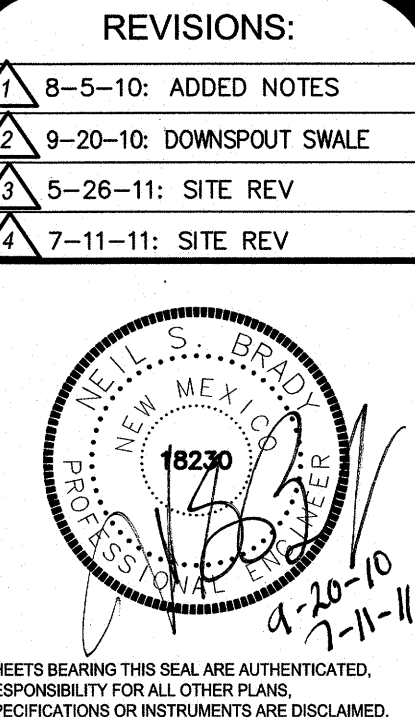


TOTAL DISTURBED AREA = 0.5 ACRES < 1.0 ACRES THEREFORE NO NOI

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|-------------------------------------|--|--------|--------|--------|--------|-----------|------|-------|-------|--------|
| 1. ON-SITE AREAS & CURVE NUMBERS: | 3. PRECIPITATION DATA: | | | | | | | | | |
| DESIGN PROJECT AREA = 0.75 ACRES | PER NOAA NATIONAL WEATHER SERVICE | | | | | | | | | |
| <u>PRE-DEVELOPMENT</u> | PRECIPITATION INTENSITY (in/hr): | | | | | | | | | |
| EXISTING BLDG & PARKING LOT | <table> <tr> <td></td><td>5 MIN</td><td>15 MIN</td><td>30 MIN</td><td>60 MIN</td></tr> </table> | | 5 MIN | 15 MIN | 30 MIN | 60 MIN | | | | |
| | 5 MIN | 15 MIN | 30 MIN | 60 MIN | | | | | | |
| PERVIOUS AREA = 0.08 ACRES C=0.85 | 2-YR EVENT | 2.46 | 1.87 | 1.04 | 0.64 | | | | | |
| IMPERVIOUS AREA = 0.57 ACRES C=0.98 | 25-YR EVENT | 5.27 | 3.32 | 2.23 | 1.38 | | | | | |
| COMPOSITE COEFFICIENT, C = 0.97 | 25-YR EVENT | 6.00 | 3.78 | 2.54 | 1.57 | | | | | |
| <u>POST-DEVELOPMENT</u> | 100-YR EVENT | 6.78 | 4.26 | 2.87 | 1.78 | | | | | |
| BUILDING ADDITION, BLDG, PARKING | 4. EXISTING SITE RUNOFF: | | | | | | | | | |
| PERVIOUS AREA = 0.18 ACRES C=0.85 | <table> <tr> <td>FLOW, cfs</td><td>2 YR</td><td>25 YR</td><td>50 YR</td><td>100 YR</td></tr> </table> | | | | | FLOW, cfs | 2 YR | 25 YR | 50 YR | 100 YR |
| FLOW, cfs | 2 YR | 25 YR | 50 YR | 100 YR | | | | | | |
| IMPERVIOUS AREA = 0.57 ACRES C=0.98 | <table> <tr> <td>Q pre=</td><td>1.78</td><td>3.62</td><td>4.36</td><td>4.92</td></tr> </table> | | | | | Q pre= | 1.78 | 3.62 | 4.36 | 4.92 |
| Q pre= | 1.78 | 3.62 | 4.36 | 4.92 | | | | | | |
| COMPOSITE COEFFICIENT, C = 0.94 | 5. DEVELOPED SITE RUNOFF: | | | | | | | | | |
| 2. TIME OF CONCENTRATION: | | | | | | | | | | |
| <u>PRE-DEVELOPMENT</u> | | | | | | | | | | |
| ASPHALT PARKING LOT | <table> <tr> <td>FLOW, cfs</td><td>2 YR</td><td>25 YR</td><td>50 YR</td><td>100 YR</td></tr> </table> | | | | | FLOW, cfs | 2 YR | 25 YR | 50 YR | 100 YR |
| FLOW, cfs | 2 YR | 25 YR | 50 YR | 100 YR | | | | | | |
| T _c = 5.0 MINUTES | <table> <tr> <td>Q post=</td><td>1.73</td><td>3.71</td><td>4.23</td><td>4.77</td></tr> </table> | | | | | Q post= | 1.73 | 3.71 | 4.23 | 4.77 |
| Q post= | 1.73 | 3.71 | 4.23 | 4.77 | | | | | | |
| <u>POST-DEVELOPMENT</u> | | | | | | | | | | |
| ASPHALT PARKING LOT | | | | | | | | | | |
| T _c = 5.0 MINUTES | CALCULATIONS WERE MADE USING HYDRAFLOW HYDROGRAPHS 2007 RATIONAL METHOD COMPUTER MODELING SOFTWARE | | | | | | | | | |

REFER TO SURVEY (SV1) FOR EXISTING CONDITION SYMBOLS LEGEND AND SITE CONTROL

| | | | |
|---|---------------------------|---|---------------------------------|
| — 100 — | EXISTING GRADE LINES | * 100.0 PVT NEW SPOT ELEVATIONS LIST GRADE SIDEWALK TOP OF CURB TOP OF PAVEMENT NEW GRADE EXISTING TOP OF CURB EXISTING GRADE EXISTING PAVEMENT EXISTING SIDEWALK FLOW LINE | ABBREVIATION |
| — 100 — | PROPOSED NEW GRADE LINES | | NONE |
|  | NEW BUILDING CONSTRUCTION | | SW TC PVT GD |
| — x — x — | SILT FENCE | | ETC EGD EPVT ESW FL |
| | | | |
| | | | |
| | | | |



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10126-10

DWG#
WB-108-755

SITE GRADING & STORMWATER PLAN

AUTO PARTS

PROJECT:
ADDITION TO O'REILLY AUTO PARTS STORE
416 CANDELARIA ROAD NW
ALBUQUERQUE, NM

233 South Patterson
Springfield, MO 65802
Phone: (417) 862-2674

| | |
|----------|----------|
| DRAWN: | WAS |
| CHECKED: | NSB |
| DATE: | 04/23/10 |
| JOB NO.: | AB2-2700 |
| SHEET: | |

C1
SHEET 1 OF 3

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