

ZONING DATA

ADDRESS: 3601 4TH STREET NW
PROPERTY LEGAL DESCRIPTION: LOT A OF
REPLAT LOTS 21 & 22, BLOCK 2, FITZGERALD
ADDITION AND LOTS 1, 2, 3, AND 4 BLOCK A

ZONING: C-3 (RESTAURANT WITH DRIVE THROUGH)
NORTH FOURTH STREET RAMP III CORRIDOR PLAN
ZONE ATLAS PAGE: G-14-Z

ZONING PROJECT NUMBER: BA-72-267 (NO
MICROFILMED PROJECT DATA FOUND, 4/15/10)

LOT AREA (108'x265'): 28,517 SF (0.609 ACRES)
BUILDING AREA: 2326 SF
BUILDING ADDITION (10.5'x30.33'): 318.5 SF

REQUIRED LANDSCAPED AREA: 28,517 -
(2326+320) = 2,646 x 15% = 3,969 SF
LANDSCAPED AREA PROVIDED: SEE LANDSCAPE PLAN

DINING ROOM SEATING (INCLUDING ADDITION): 82
REQUIRED PARKING: 82 / 4 = 20 SPACES
ON SITE PARKING PROVIDED: 32 SPACES
(PARKING INCLUDES 1 ACCESSIBLE & 1 VAN
ACCESSIBLE SPACE PLUS 1 MOTORCYCLE SPACE)

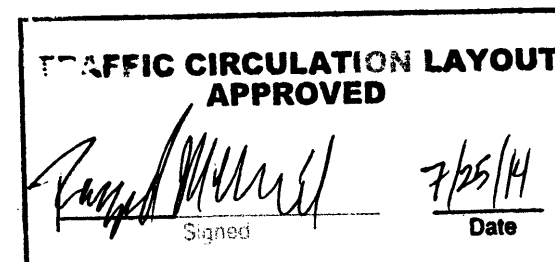
ALLOWABLE BLDG HEIGHT: 28-FT

REQUIRED SETBACKS (PER 0-1 ZONING):
FRONT: 11-FT (JUNCTION OF ENTRY DRIVE
AND PUBLIC SIDEWALK)
REAR: 5-FT (ABUTS SIDE OF R-2 ZONE)
SIDE: 0-FT

SITE REMODEL/ADDITION PLAN KEYED NOTES

- 4'x8' MOTORCYCLE PARKING SPACE, STRIPING AS SHOWN, WITH
MINIMUM 12"x18" SIGN DESIGNATING "MOTORCYCLE PARKING".
SEE DETAIL B
- TRAFFIC CIRCULATION DIRECTIONAL MARKING, SEE DETAIL A.
- TWO COATS TRAFFIC PAINT. MARKINGS SHALL BE 4-INCH WIDE
STRIPING (YELLOW ON CONCRETE, WHITE ON ASPHALT). DASHED
LINES AS SHOWN.
- CONCRETE WALK, AS SHOWN, PER COABQ STANDARD DETAIL
2430. SEE EDGE DETAIL C.
- STRIPES AND RESTRIPE PARKING AS SHOWN.
- DASHED LINES SHOW EXISTING CURB AND PAVING TO BE CUT
AND REMOVED OR ADDED AS REQUIRED BY REMODEL.
- HANDICAPPED PARKING SIGN, ONE OF HC SPACES SHALL BE
SIGNED FOR VAN PARKING. SEE DETAIL D.
- EXTEND EXISTING 4'-8" HIGH 8" CMU SCREEN WALL 16" FOR
FULL HEIGHT OF 6'-FT. PAINT TO MATCH BUILDING. SEE DETAIL.
INSTALL #4 REBAR AT 16"OC, DRILL AND SET WITH EPOXY.
GROUT NEW CMU FULL AND ROUND TOP TO DRAIN.
- HANDICAPPED PARKING SYMBOL PER COABQ STANDARD DETAIL
2425.
- PROVIDE AND INSTALL LARGE DIRECTIONAL ARROW SIGN (WITH
POST) PER MANUAL ON "UNIVERSAL TRAFFIC CONTROL DEVICES".
SIGN SHALL DENOTE ONE WAY-EXIT ONLY.
- PRECAST CONCRETE PICNIC TABLES WITH BENCHES AS SHOWN
(48"DIAMETER, MATERIALS INC. "CIMARRON"). COLOR AS SELECTED
BY OWNER. PROVIDE CONCRETE FOUNDATION PER
MANUFACTURER'S RECOMMENDATIONS. CONTRACTOR SHALL
PROVIDE COLLAPSIBLE FABRIC UMBRELLA WITH METAL POLE AT
EACH TABLE. COLOR AS SELECTED BY OWNER.
- EXISTING HEAVY VEHICLE ACCESS AT ALL MAIN DRIVE ISLES,
(ASSUMED)
- TRAFFIC PAINT MARKING: 10" HIGH LETTERS "COMPACT ONLY", AS
SHOWN.
- EXISTING 48-INCH WIDE ACCESSIBLE RAMP TO REMAIN.
- ACCESSIBLE PEDESTRIAN ACCESS TO BUILDING FROM R.O.W.

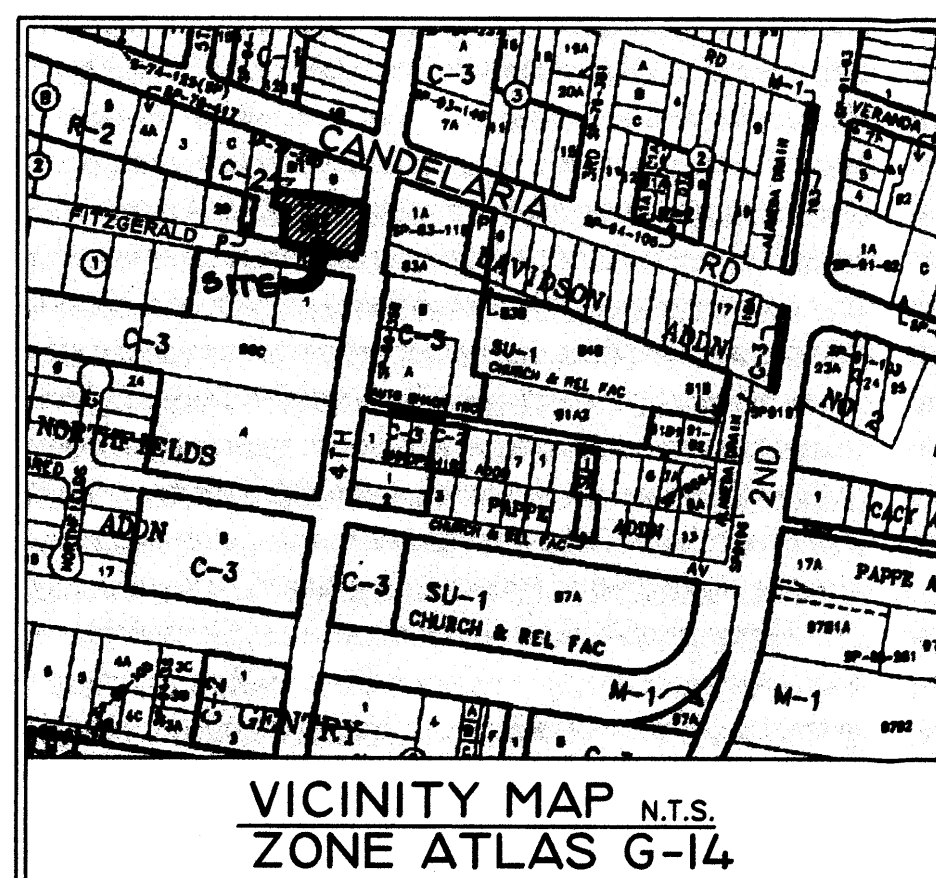
Public Infrastructure shown
on these plans for information
only and not part of approval.
Separate DRC/Permit approval
and Work Order required.



ALL WHEELCHAIR RAMPS LOCATED
WITHIN THE PUBLIC RIGHT OF WAY
MUST HAVE TRUNCATED DOMES.

SITE DEMOLITION PLAN KEYED NOTES

- EXISTING DUMPSTER ENCLOSURE.
- EXISTING LANDSCAPE AREA.
- CUT AND REMOVE EXISTING CONCRETE WALKS,
CURBS, PAVING, AND LANDSCAPING AS
REQUIRED BY THE REMODEL SITE PLAN. PATCH
BACK TO MATCH EXISTING. DEMOLITION AREAS
SHOWN HATCHED.
- EXISTING PYLON SIGN.
- REMOVE EXISTING PAINT STRIPE MARKINGS AS
REQUIRED BY REMODEL.
- EXISTING CURB RAMP.
- EXISTING STORM DRAIN INLET.
- EXISTING ACCESSIBLE RAMP.
- EXISTING CANOPY OVERHANG.
- EXISTING CONCRETE SIDEWALK.
- EXISTING ASPHALT PAVED TRAFFIC AREAS.
- EXISTING LANDSCAPE IRRIGATION VALVE BOX.
MODIFY AS REQUIRED BY NEW LANDSCAPING.

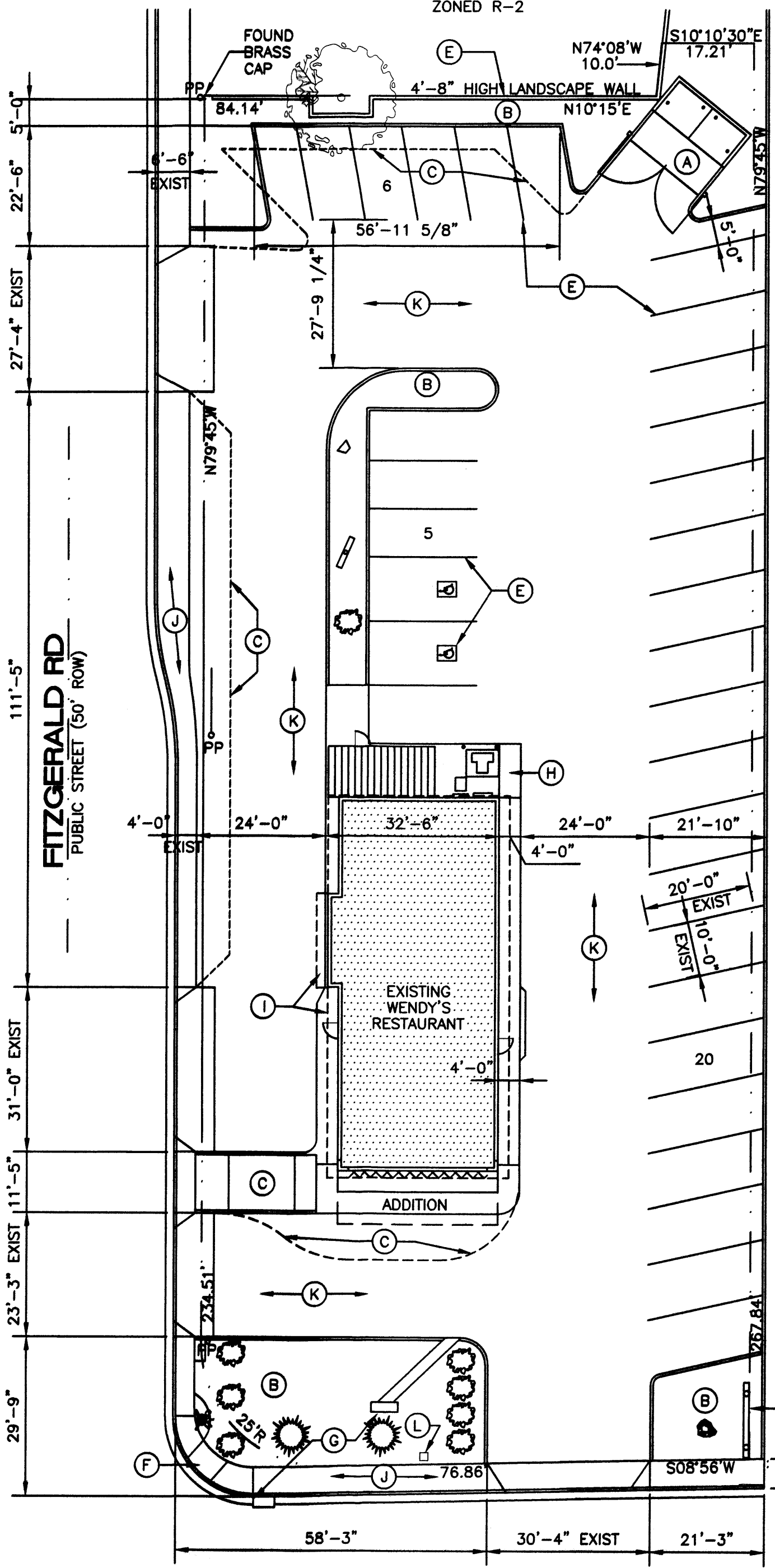


GENERAL DEMOLITION/REMODEL NOTES

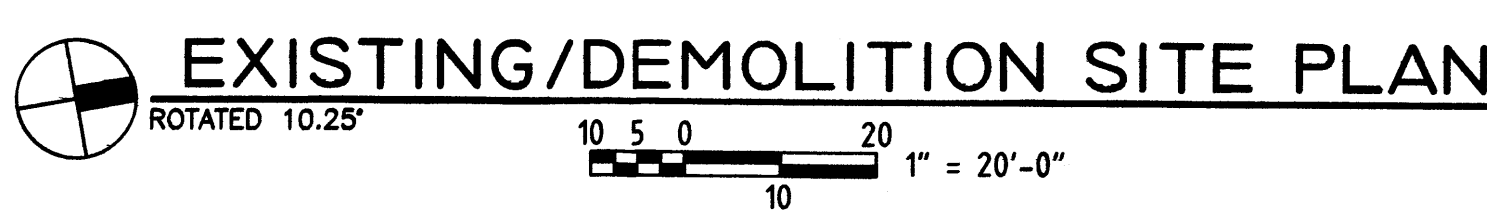
- ALL LANDSCAPE AREAS ARE COVERED WITH LANDSCAPE ROCK,
TO REMAIN. ALL PLANTS SHOWN ARE EXISTING TO REMAIN. SEE
LANDSCAPE PLAN FOR NEW LANDSCAPING. CONTRACTOR SHALL
CUT AND REMOVE PAVING AS REQUIRED AND INSTALL 4" PVC
PIPE UNDER PAVING FOR NEW LANDSCAPE IRRIGATION LINES AS
REQUIRED. COORDINATE WITH LANDSCAPE CONTRACTOR FOR
REQUIRED LOCATIONS. PATCH BACK PAVING AND SITE AS
REQUIRED.
- SEE ALL DRAWINGS FOR REMOVALS AND REMODEL/ADDITION
WORK. NOTIFY THE ARCHITECT OF ANY CONDITIONS THAT DO
NOT MATCH THE DRAWINGS AND THAT AFFECT THE PROJECT.
- COORDINATE REMOVAL, RELOCATION, OR REPLACEMENT OF
EXISTING EQUIPMENT AND FIXTURES WITH THE OWNER.
- ALL DEMOLITION DEBRIS SHALL BE DISPOSED OF AT AN
APPROVED LAND FILL. THE CONSTRUCTION AREAS SHALL BE
KEPT CLEAN AT ALL TIMES.
- ALL AREAS ADJACENT TO REQUIRED DEMOLITION AND REMODEL
CONSTRUCTION SHALL BE PROTECTED FROM DAMAGE. ANY
DAMAGED AREAS SHALL BE REPLACED OR REFINISHED TO MATCH
EXISTING.
- CUT AND REMOVE ALL MATERIALS; PAVING, SLABS, WALLS,
CEILINGS, AND STRUCTURE AS REQUIRED BY THE REMODEL AND
PATCH BACK TO MATCH EXISTING.

SITE PLANS MAY BE SCALED
FOR MEASUREMENTS NOT
SHOWN

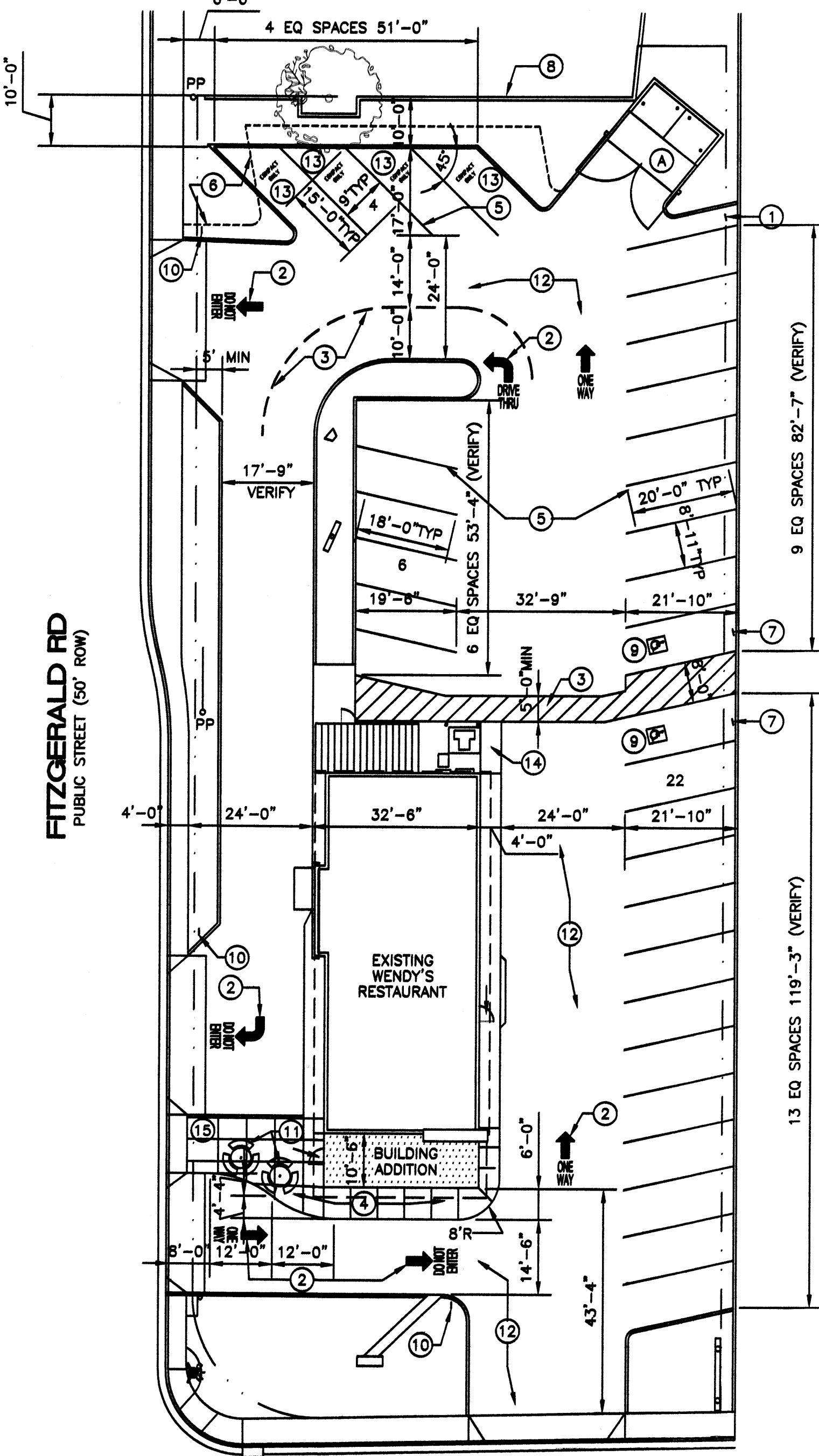
PROVIDE 12" WIDE CUTS IN
CURBS AS REQUIRED FOR
STORMWATER RUN OFF INTO
LANDSCAPE AREAS



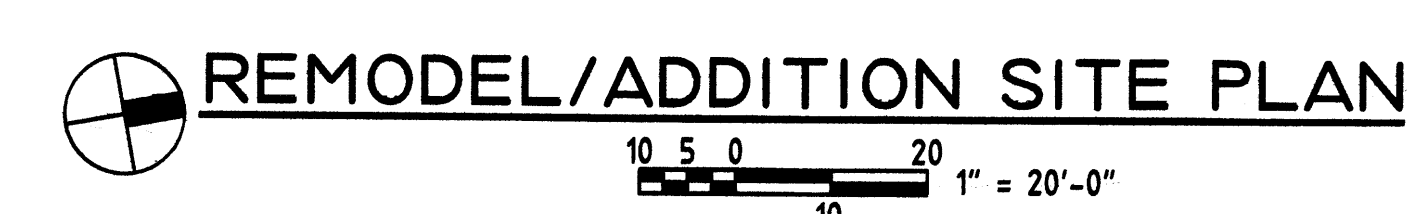
EXISTING PLANT MATERIAL IS SHOWN.
VERIFY TYPE. EXISTING LANDSCAPE AREAS
ARE COVERED WITH DECORATIVE ROCK



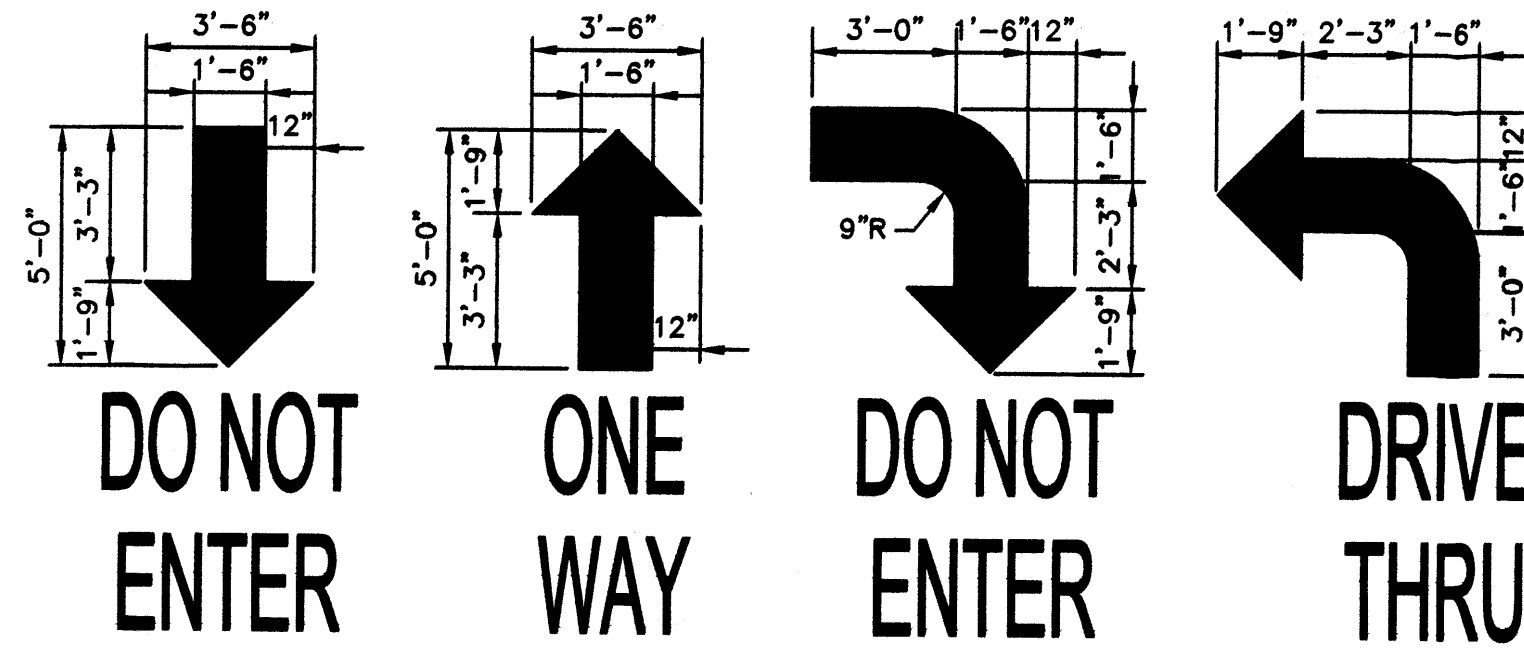
EXISTING/DEMOLITION SITE PLAN



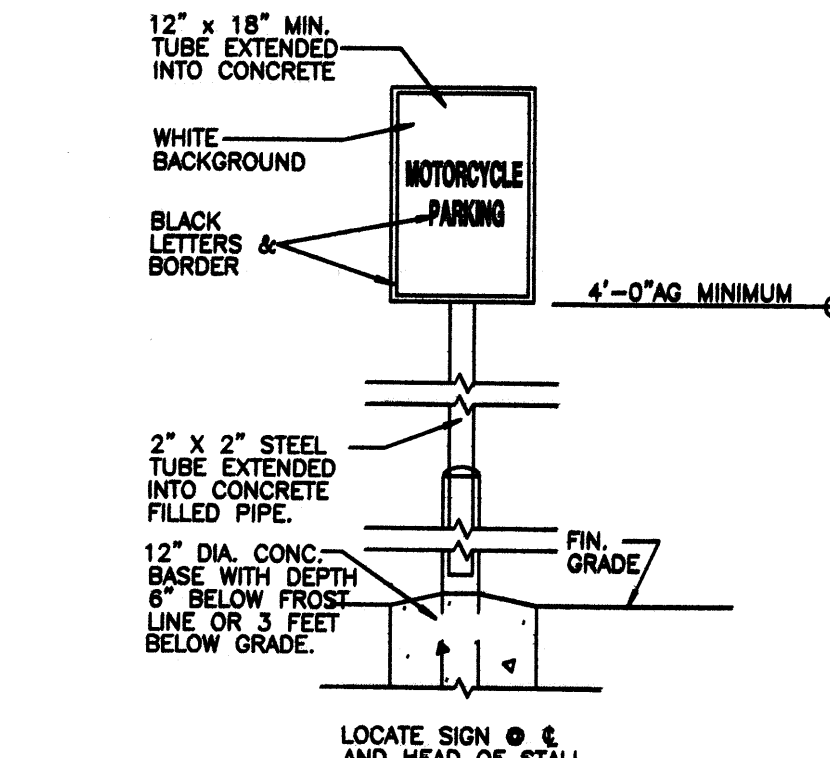
4th STREET NW
PUBLIC STREET (60' ROW)



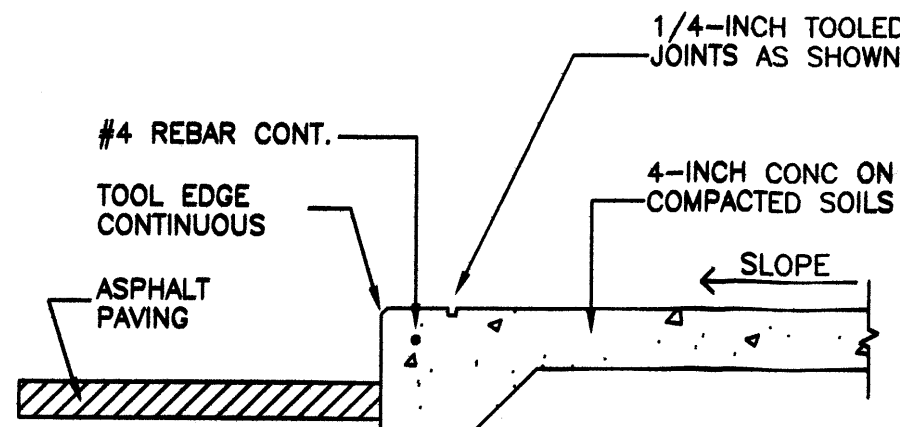
REMODEL/ADDITION SITE PLAN



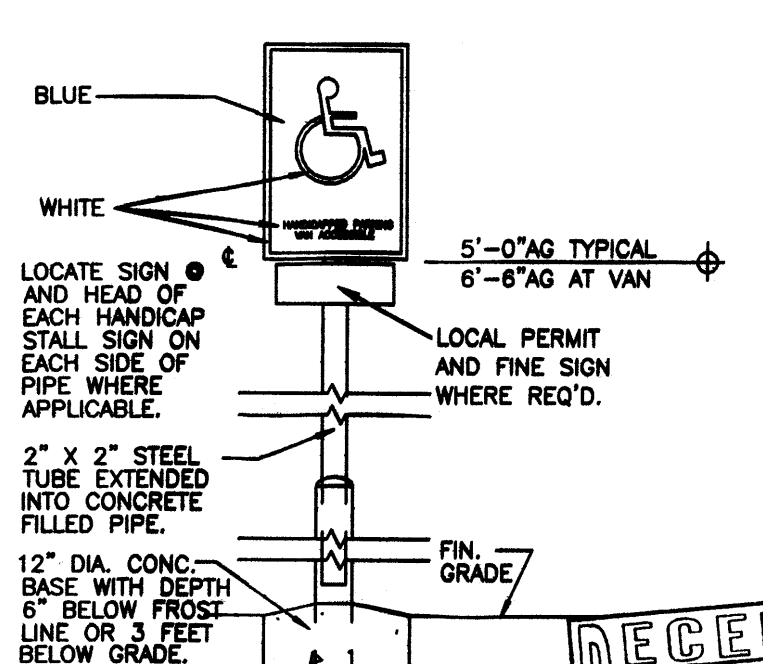
PAINTED TRAFFIC ARROWS



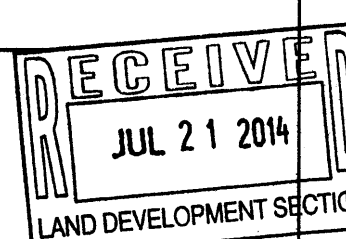
MOTORCYCLE PARKING SIGN

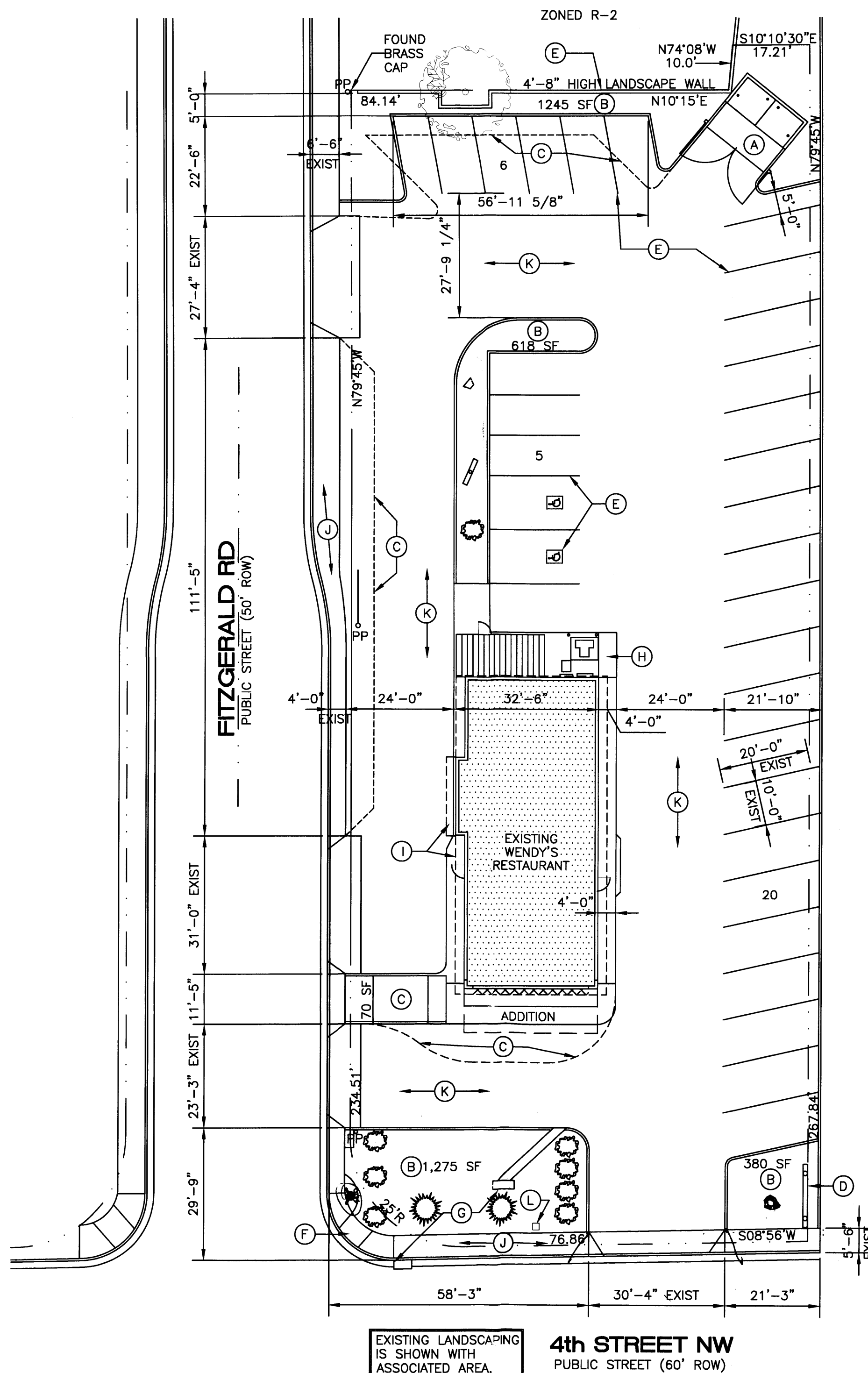


CONCRETE SIDEWALK, TYP.



ACCESSIBLE PARKING SIGN





EXISTING/DEMOLITION SITE PLAN
ROTATED 10.25°
1" = 20'-0"

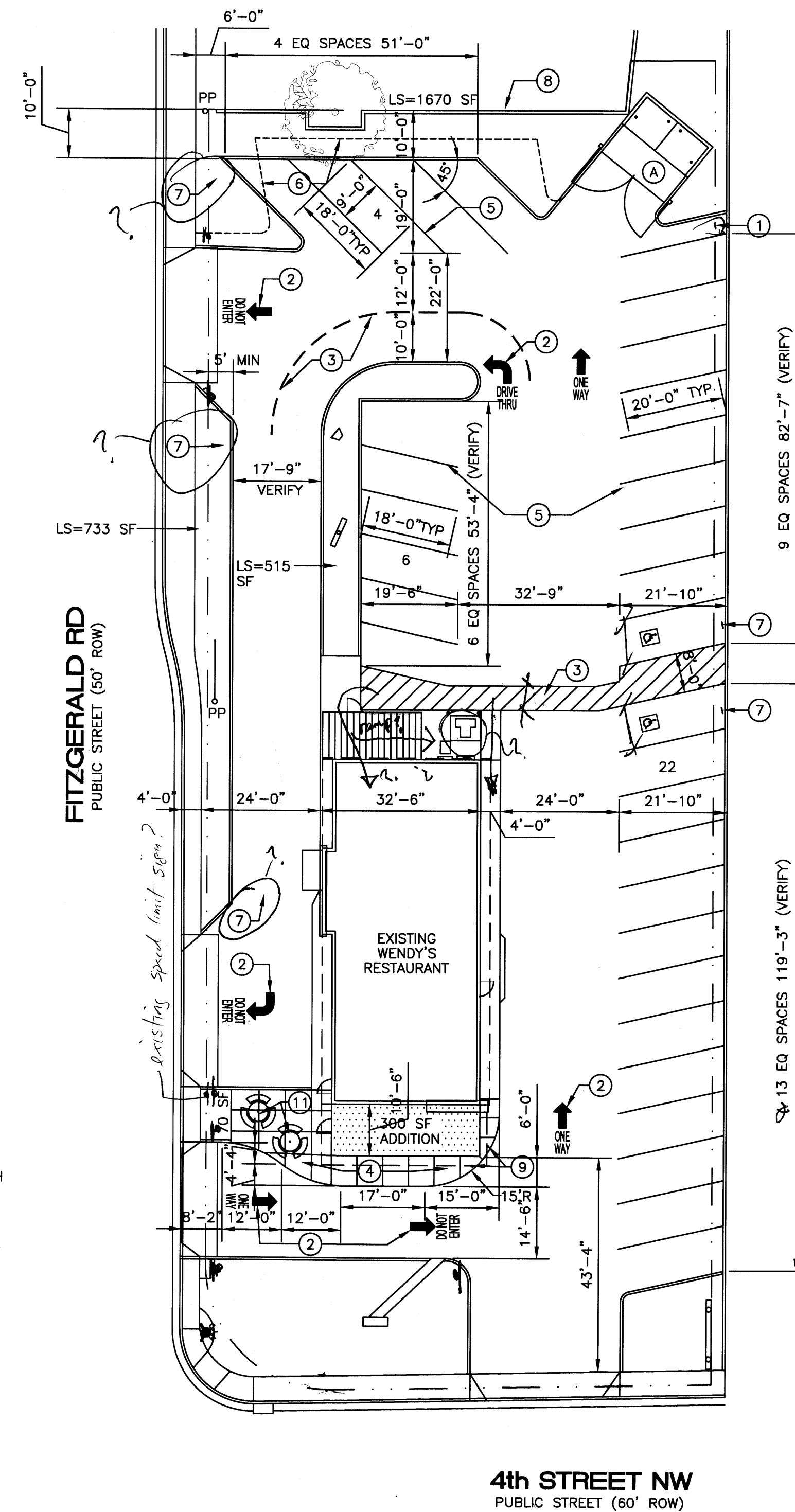
SITE DEMOLITION PLAN KEYED NOTES

- EXISTING DUMPSTER ENCLOSURE.
- EXISTING LANDSCAPE AREA.
- CUT AND REMOVE EXISTING CONCRETE WALKS, CURBS, PAVING, AND LANDSCAPING AS REQUIRED BY THE REMODEL SITE PLAN. PATCH BACK TO MATCH EXISTING. DEMOLITION AREAS SHOWN HATCHED.
- EXISTING PYLON SIGN.
- REMOVE EXISTING PAINT STRIPE MARKINGS AS REQUIRED BY REMODEL.
- EXISTING CURB RAMP.
- EXISTING STORM DRAIN INLET.
- EXISTING ACCESSIBLE RAMP.
- EXISTING CANOPY OVERHANG.
- EXISTING CONCRETE SIDEWALK.
- EXISTING ASPHALT PAVED TRAFFIC AREAS.
- EXISTING LANDSCAPE IRRIGATION VALVE BOX. MODIFY AS REQUIRED BY NEW LANDSCAPING.

GENERAL DEMOLITION/REMODEL NOTES

- ALL LANDSCAPE AREAS ARE COVERED WITH LANDSCAPE ROCK, TO REMAIN. ALL PLANTS SHOWN ARE EXISTING TO REMAIN. SEE LANDSCAPE PLAN FOR NEW LANDSCAPING. CONTRACTOR SHALL CUT AND REMOVE PAVING AS REQUIRED AND INSTALL 4" PVC PIPE UNDER PAVING FOR NEW LANDSCAPE IRRIGATION LINES AS REQUIRED. COORDINATE WITH LANDSCAPE CONTRACTOR FOR REQUIRED LOCATIONS. PATCH BACK PAVING AND SITE AS REQUIRED.
- SEE ALL DRAWINGS FOR REMOVALS AND REMODEL/ADDITION WORK. NOTIFY THE ARCHITECT OF ANY CONDITIONS THAT DO NOT MATCH THE DRAWINGS AND THAT AFFECT THE PROJECT.
- COORDINATE REMOVAL, RELOCATION, OR REPLACEMENT OF EXISTING EQUIPMENT AND FIXTURES WITH THE OWNER.
- ALL DEMOLITION DEBRIS SHALL BE DISPOSED OF AT AN APPROVED LAND FILL. THE CONSTRUCTION AREAS SHALL BE KEPT CLEAN AT ALL TIMES.
- ALL AREAS ADJACENT TO REQUIRED DEMOLITION AND REMODEL CONSTRUCTION SHALL BE PROTECTED FROM DAMAGE. ANY DAMAGED AREAS SHALL BE REPLACED OR REFINISHED TO MATCH EXISTING.
- CUT AND REMOVE ALL MATERIALS; PAVING, SLABS, WALLS, CEILINGS, AND STRUCTURE AS REQUIRED BY THE REMODEL AND PATCH BACK TO MATCH EXISTING.

SITE PLANS MAY BE SCALED FOR MEASUREMENTS NOT SHOWN



REMODEL/ADDITION SITE PLAN
1" = 20'-0"

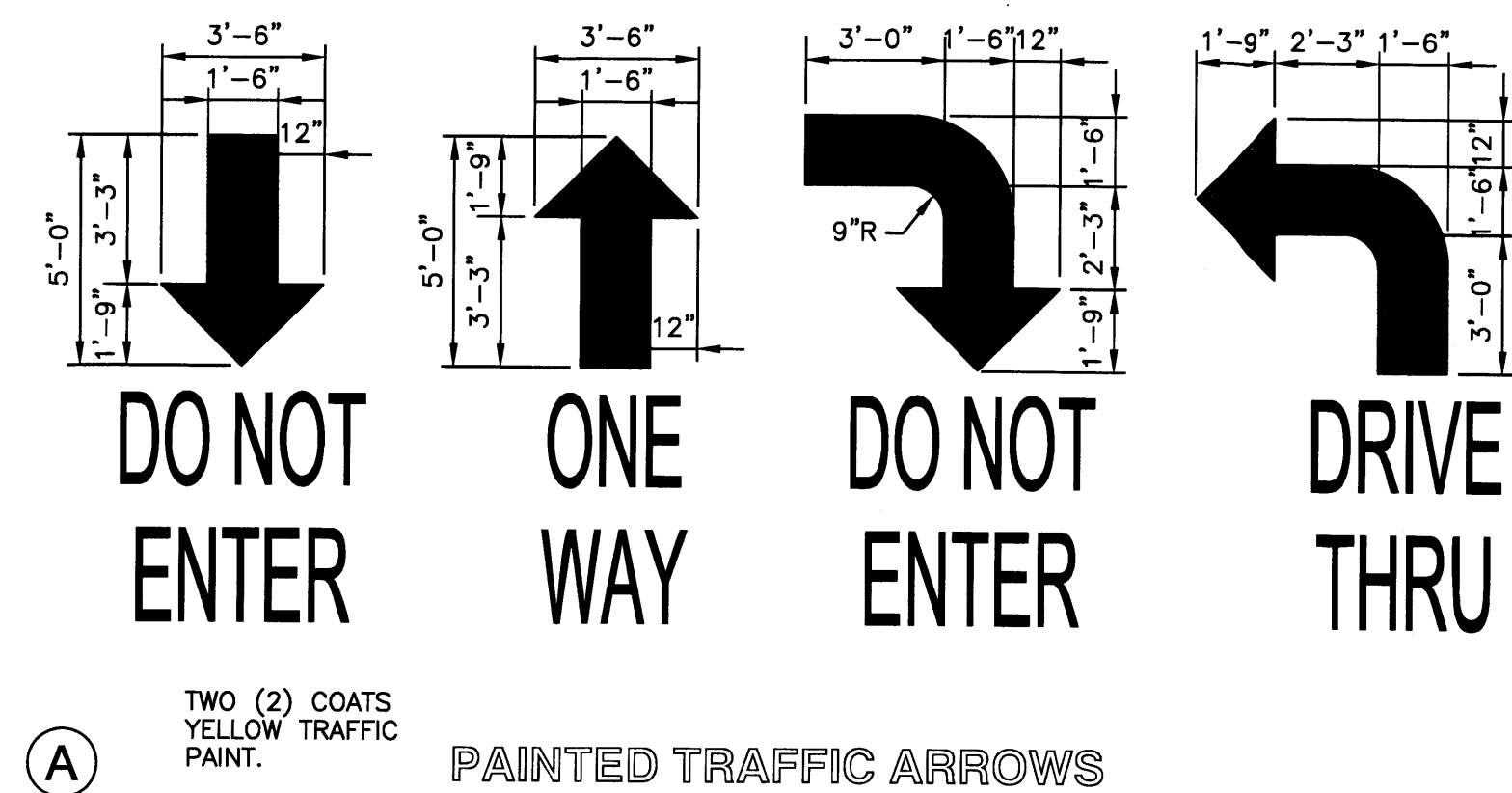
ZONING DATA

ADDRESS: 3601 4TH STREET NW
PROPERTY LEGAL DESCRIPTION: LOT A OF REPLAT LOTS 21 & 22, BLOCK 2, FITZGERALD ADDITION AND LOTS 1, 2, 3, AND 4 BLOCK A
ZONING: C-3 (RESTAURANT WITH DRIVE THROUGH)
NORTH FOURTH STREET RAMP III CORRIDOR PLAN
ZONE ATLAS PAGE: 6-14-2
ZONING PROJECT NUMBER: BA-72-267 (NO MICROFILMED PROJECT DATA FOUND, 4/15/10)
LOT AREA (108'x265'): 26,517 SF (0.609 ACRES)
BUILDING AREA: 2,326 SF
BUILDING ADDITION (10.5'x30.33'): 318.5 SF
REQUIRED LANDSCAPED AREA: 26,517 - (2326+320) = 2,646 x 15% = 3,969 SF
LANDSCAPED AREA PROVIDED: 4,643 SF

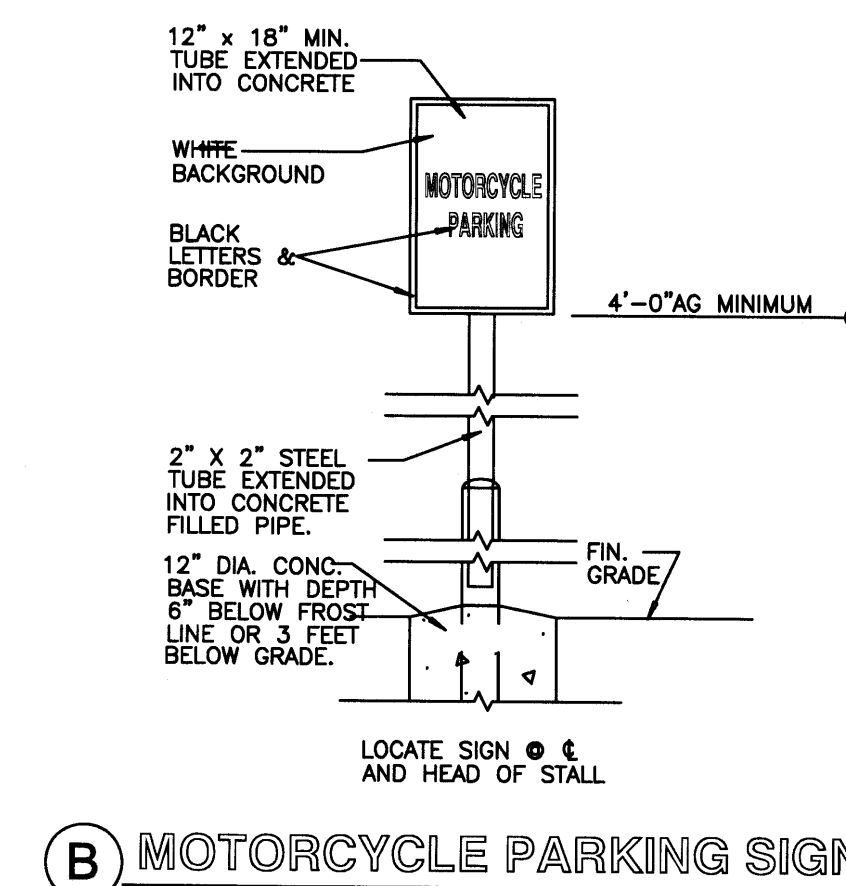
DINING ROOM SEATING (INCLUDING ADDITION): 82
REQUIRED PARKING: 82 / 4 = 20 SPACES
ON SITE PARKING PROVIDED: 32 SPACES
(PARKING INCLUDES 1 ACCESSIBLE & 1 VAN ACCESSIBLE SPACE PLUS 1 MOTORCYCLE SPACE)
ALLOWABLE BLDG HEIGHT: 26-FT
REQUIRED SETBACKS (PER 0-1 ZONING):
FRONT: 11-FT (JUNCTION OF ENTRY DRIVE AND PUBLIC SIDEWALK)
REAR: 5-FT (ABUTS SIDE OF R-2 ZONE)
SIDE: 0-FT

SITE REMODEL/ADDITION PLAN KEYED NOTES

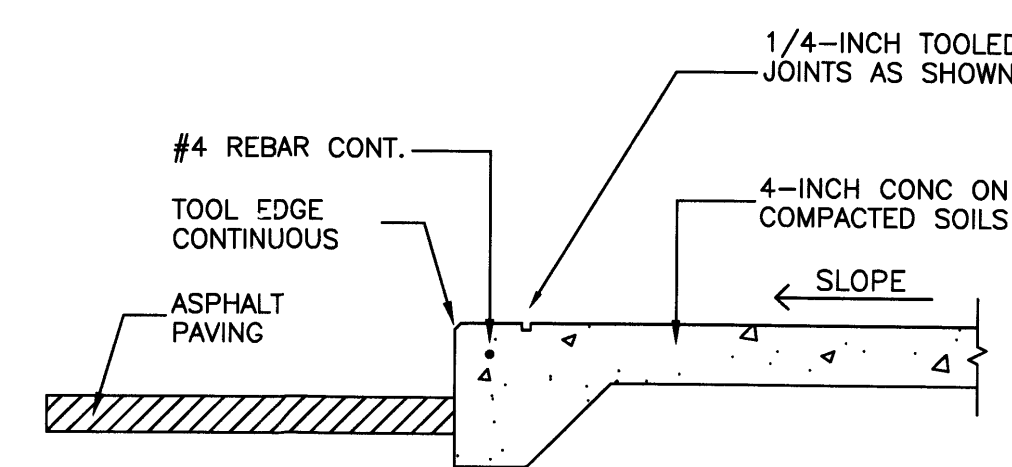
- 4'x8' MOTORCYCLE PARKING SPACE, STRIPING AS SHOWN, WITH MINIMUM 12"x18" SIGN DESIGNATING "MOTORCYCLE PARKING". SEE DETAIL B
- TRAFFIC CIRCULATION DIRECTIONAL MARKING, SEE DETAIL A.
- TWO COATS TRAFFIC PAINT. MARKINGS SHALL BE 4-INCH WIDE STRIPING (YELLOW ON CONCRETE, WHITE ON ASPHALT). DASHED LINES AS SHOWN.
- CONCRETE WALK, AS SHOWN, PER COABQ STANDARD DETAIL 2430. SEE EDGE DETAIL C.
- STRIPE AND RESTRIPE PARKING AS SHOWN.
- DASHED LINES SHOW EXISTING CURB AND PAVING TO BE CUT AND REMOVED OR ADDED AS REQUIRED BY REMODEL.
- HANDICAPPED PARKING SIGN, ONE OF HC SPACES SHALL BE SIGNED FOR VAN PARKING. SEE DETAIL.
- EXTEND EXISTING 4'-8" HIGH 8" CMU SCREEN WALL 16" FOR FULL HEIGHT OF 6'-FT. PAINT TO MATCH BUILDING. SEE DETAIL. INSTALL #4 REBAR AT 16" OC, DRILL AND SET WITH EPOXY. GROUT NEW CMU FULL AND ROUND TOP TO DRAIN.
- BOLLARD, SEE DETAIL.
- PRECAST CONCRETE PICNIC TABLES WITH BENCHES AS SHOWN (48" DIAMETER, MATERIALS INC. "CIMARRON"), COLOR AS SELECTED BY OWNER. PROVIDE CONCRETE FOUNDATION PER MANUFACTURER'S RECOMMENDATIONS. CONTRACTOR SHALL PROVIDE COLLAPSIBLE FABRIC UMBRELLA WITH METAL POLE AT EACH TABLE, COLOR AS SELECTED BY OWNER.



PAINTED TRAFFIC ARROWS



MOTORCYCLE PARKING SIGN



CONCRETE SIDEWALK, TYP.

akt architects, LLC

P.O. BOX 3386

ALBUQUERQUE, NM 87190

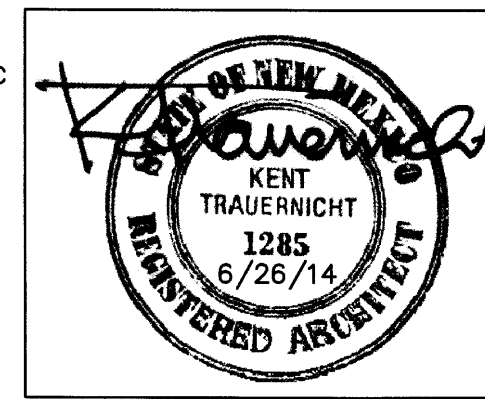
T: (505) 281-9560

F: (505) 286-1055

C: (505) 259-7919

aktarch@earthlink.net

CONSULTANT



PROJECT

WENDY'S 4TH STREET STORE (STORE #3104)

ADDITION AND PROTOTYPE REMODEL

3601 4th STREET NW
ALBUQUERQUE 87107

MARK	DATE	DESCRIPTION

PROJECT NO:

COPYRIGHT AKT ARCHITECTS, LLC

SHEET TITLE

EXISTING/DEMO SITE PLAN

REMODEL AND TCL SITE PLAN

AS-1.0

ZONING DATA

ADDRESS: 3601 4TH STREET NW

PROPERTY LEGAL DESCRIPTION: LOT A OF REPLAT LOTS 21 & 22, BLOCK 2, FITZGERALD ADDITION AND LOTS 1, 2, 3, AND 4 BLOCK A

ZONING: C-3 (RESTAURANT WITH DRIVE THROUGH) NORTH FOURTH STREET RANK III CORRIDOR PLAN ZONE ATLAS PAGE: 6-14-Z

ZONING PROJECT NUMBER: BA-72-267 (NO MICROFILMED PROJECT DATA FOUND, 4/15/10)

LOT AREA (108'x265'): 26,517 SF (0.609 ACRES)

BUILDING AREA: 2326 SF

BUILDING ADDITION (10.5'x30.33'): 318.5 SF

REQUIRED LANDSCAPED AREA: 26,517 - (2326+320) = 2,646 x 15% = 3,580 SF

LANDSCAPED AREA PROVIDED: 4643 SF

DINING ROOM SEATING (INCLUDING ADDITION): 82

REQUIRED PARKING: 82 / 4 = 20 SPACES

ON SITE PARKING PROVIDED: 32 SPACES (PARKING INCLUDES 1 ACCESSIBLE & 1 VAN ACCESSIBLE SPACE PLUS 1 MOTORCYCLE SPACE)

ALLOWABLE BLDG HEIGHT: 26-FT

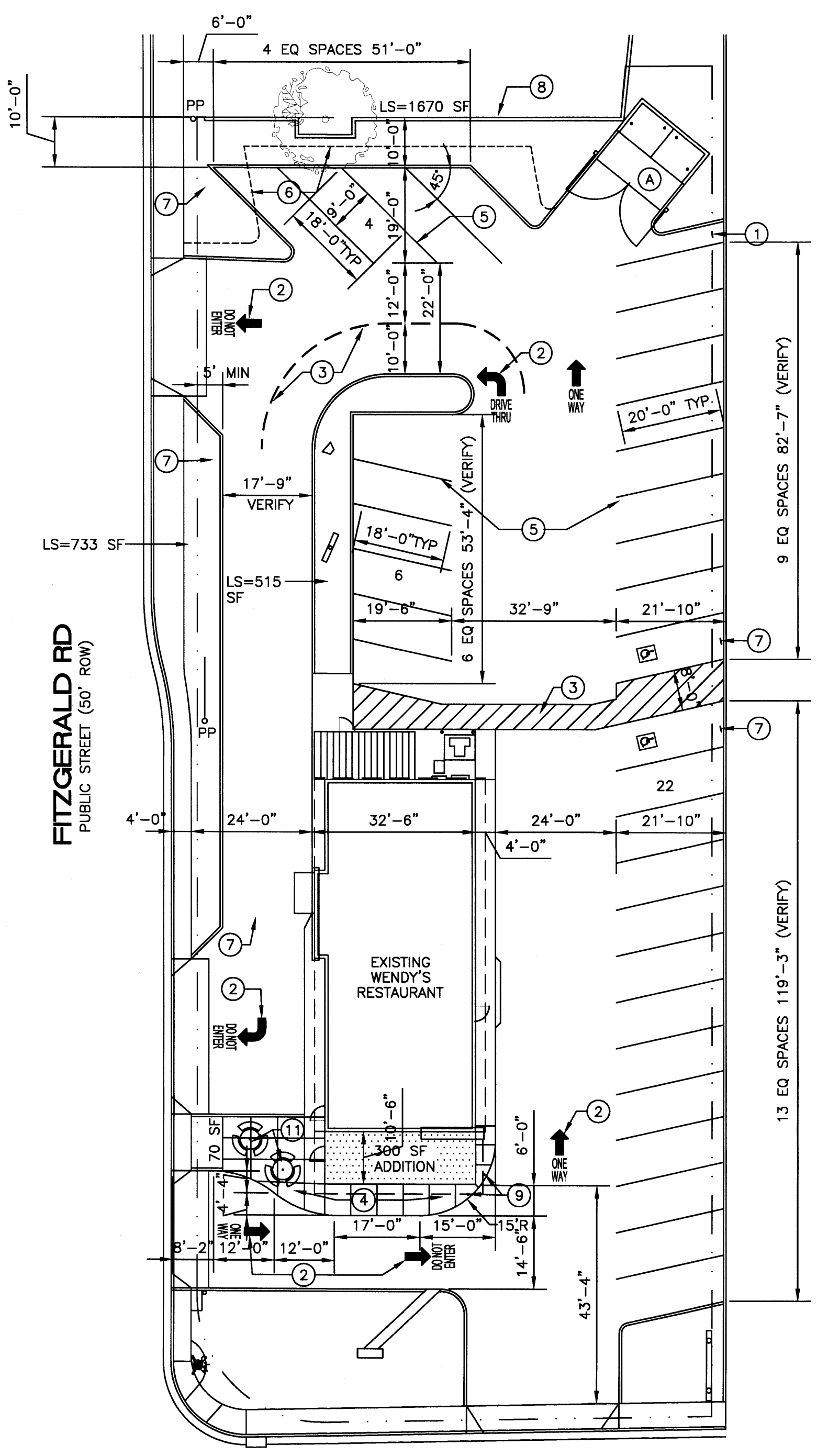
REQUIRED SETBACKS (PER 0-1 ZONING):

FRONT: 11'-FT (JUNCTION OF ENTRY DRIVE AND PUBLIC SIDEWALK)

REAR: 5'-FT (ABUTS SIDE OF R-2 ZONE)

SIDE: 0'-FT

- SITE REMODEL/ADDITION PLAN KEYED NOTES
- 4'x8' MOTORCYCLE PARKING SPACE, STRIPING AS SHOWN, WITH MINIMUM 12"x18" SIGN DESIGNATING "MOTORCYCLE PARKING". SEE DETAIL B
 - TRAFFIC CIRCULATION DIRECTIONAL MARKING, SEE DETAIL A.
 - TWO COATS TRAFFIC PAINT. MARKINGS SHALL BE 4-INCH WIDE STRIPING (YELLOW ON CONCRETE, WHITE ON ASPHALT). DASHED LINES AS SHOWN.
 - CONCRETE WALK, AS SHOWN, PER COABQ STANDARD DETAIL 2430. SEE EDGE DETAIL C.
 - STRIPE AND RESTRIPE PARKING AS SHOWN.
 - DASHED LINES SHOW EXISTING CURB AND PAVING TO BE CUT AND REMOVED OR ADDED AS REQUIRED BY REMODEL
 - HANDICAPPED PARKING SIGN, ONE OF HC SPACES SHALL BE SIGNED FOR VAN PARKING. SEE DETAIL.
 - EXTEND EXISTING 4'-8" HIGH 8" CMU SCREEN WALL 16" FOR FULL HEIGHT OF 6'-FT. PAINT TO MATCH BUILDING. SEE DETAIL. INSTALL #4 REBAR AT 16"OC, DRILL AND SET WITH EPOXY. GROUT NEW CMU FULL AND ROUND TOP TO DRAIN.
 - BOLLARD, SEE DETAIL.
 - BOLLARD, SEE DETAIL.
 - PRECAST CONCRETE PICNIC TABLES WITH BENCHES AS SHOWN (48"DIAMETER, MATERIALS INC. "CIMARRON"). COLOR AS SELECTED BY OWNER. PROVIDE CONCRETE FOUNDATION PER MANUFACTURER'S RECOMMENDATIONS. CONTRACTOR SHALL PROVIDE COLLAPSIBLE FABRIC UMBRELLA WITH METAL POLE AT EACH TABLE, COLOR AS SELECTED BY OWNER.



4th STREET NW
PUBLIC STREET (60' ROW)

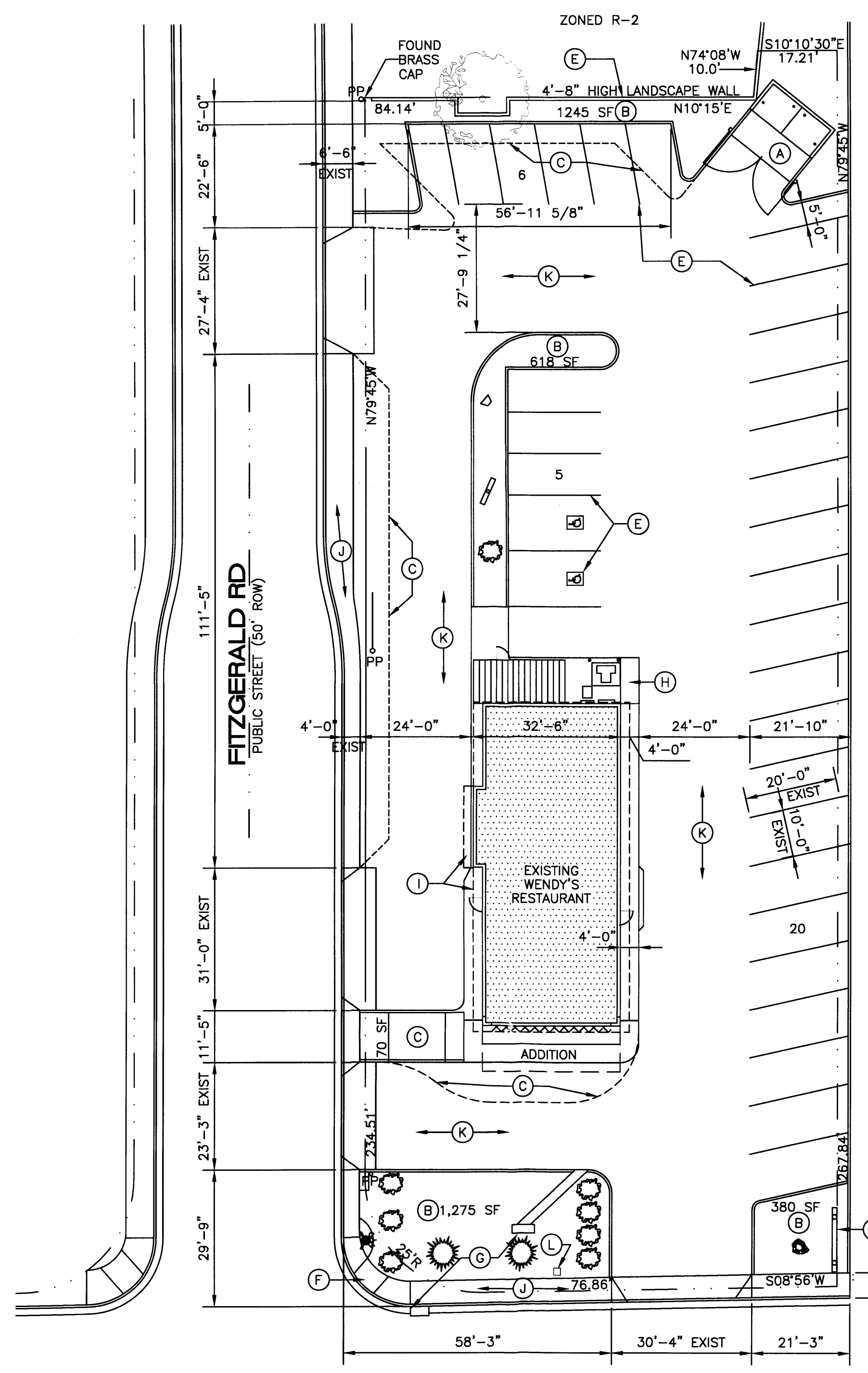
REMODEL/ADDITION SITE PLAN

1" = 20'-0"

- SITE DEMOLITION PLAN KEYED NOTES
- EXISTING DUMPSTER ENCLOSURE.
 - EXISTING LANDSCAPE AREA.
 - CUT AND REMOVE EXISTING CONCRETE WALKS, CURBS, PAVING, AND LANDSCAPING AS REQUIRED BY THE REMODEL SITE PLAN. PATCH BACK TO MATCH EXISTING. DEMOLITION AREAS SHOWN HATCHED.
 - EXISTING PYLON SIGN.
 - REMOVE EXISTING PAINT STRIPE MARKINGS AS REQUIRED BY REMODEL.
 - EXISTING CURB RAMP.
 - EXISTING STORM DRAIN INLET.
 - EXISTING ACCESSIBLE RAMP.
 - EXISTING CANOPY OVERHANG.
 - EXISTING CONCRETE SIDEWALK.
 - EXISTING ASPHALT PAVED TRAFFIC AREAS.
 - EXISTING LANDSCAPE IRRIGATION VALVE BOX, MODIFY AS REQUIRED BY NEW LANDSCAPING.

- GENERAL DEMOLITION/REMODEL NOTES
- ALL LANDSCAPE AREAS ARE COVERED WITH LANDSCAPE ROCK. TO REMAIN. ALL PLANTS SHOWN ARE EXISTING TO REMAIN. SEE LANDSCAPE PLAN FOR NEW LANDSCAPING. CONTRACTOR SHALL CUT AND REMOVE PAVING AS REQUIRED AND INSTALL 4" PVC PIPE UNDER PAVING FOR NEW LANDSCAPE IRRIGATION LINES AS REQUIRED, COORDINATE WITH LANDSCAPE CONTRACTOR FOR REQUIRED LOCATIONS. PATCH BACK PAVING AND SITE AS REQUIRED.
 - SEE ALL DRAWINGS FOR REMOVALS AND REMODEL/ADDITION WORK. NOTIFY THE ARCHITECT OF ANY CONDITIONS THAT DO NOT MATCH THE DRAWINGS AND THAT AFFECT THE PROJECT.
 - COORDINATE REMOVAL, RELOCATION, OR REPLACEMENT OF EXISTING EQUIPMENT AND FIXTURES WITH THE OWNER.
 - ALL DEMOLITION DEBRIS SHALL BE DISPOSED OF AT AN APPROVED LAND FILL. THE CONSTRUCTION AREAS SHALL BE KEPT CLEAN AT ALL TIMES.
 - ALL AREAS ADJACENT TO REQUIRED DEMOLITION AND REMODEL CONSTRUCTION SHALL BE PROTECTED FROM DAMAGE. ANY DAMAGED AREAS SHALL BE REPLACED OR REFINISHED TO MATCH EXISTING.
 - CUT AND REMOVE ALL MATERIALS; PAVING, SLABS, WALLS, CEILINGS, AND STRUCTURE AS REQUIRED BY THE REMODEL AND PATCH BACK TO MATCH EXISTING.

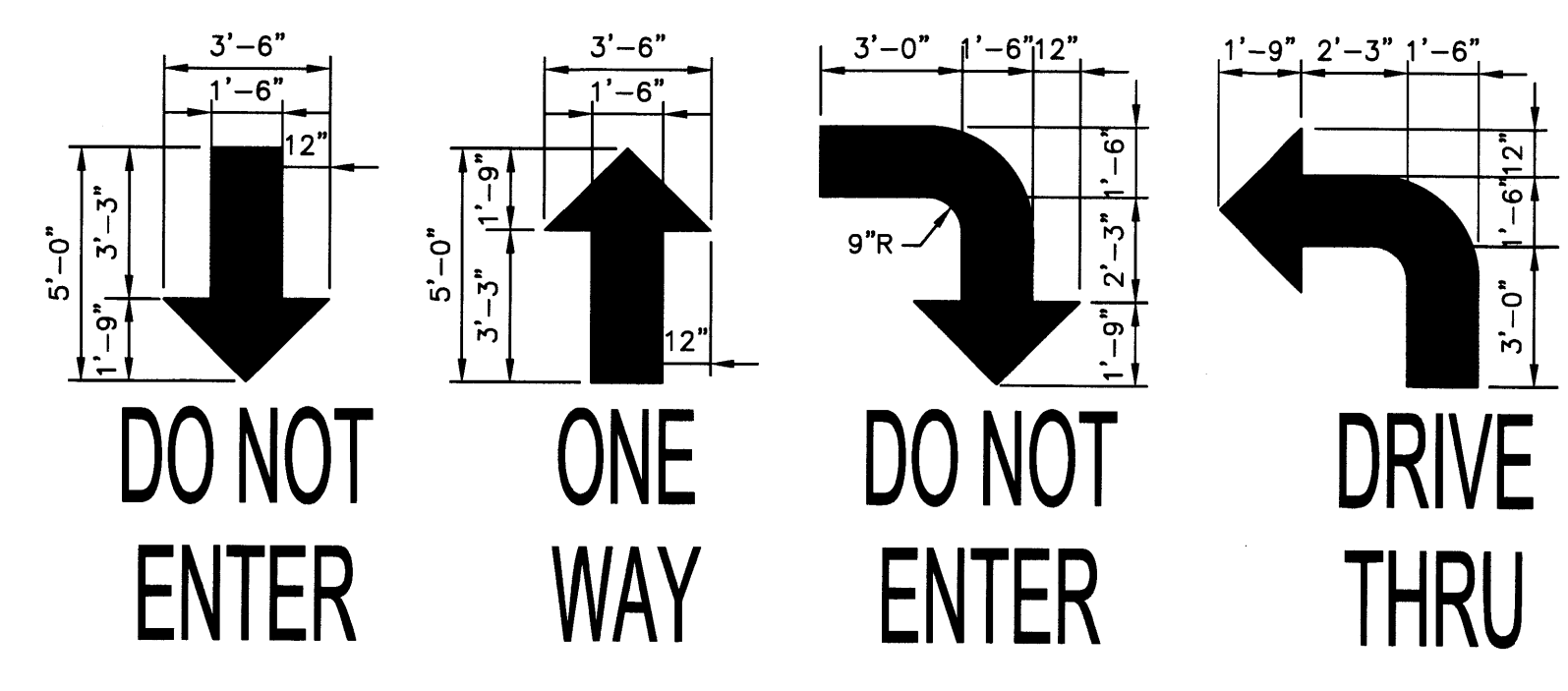
SITE PLANS MAY BE SCALED FOR MEASUREMENTS NOT SHOWN



4th STREET NW
PUBLIC STREET (60' ROW)

EXISTING/DEMOLITION SITE PLAN

1" = 20'-0"



DO NOT ENTER

ONE WAY

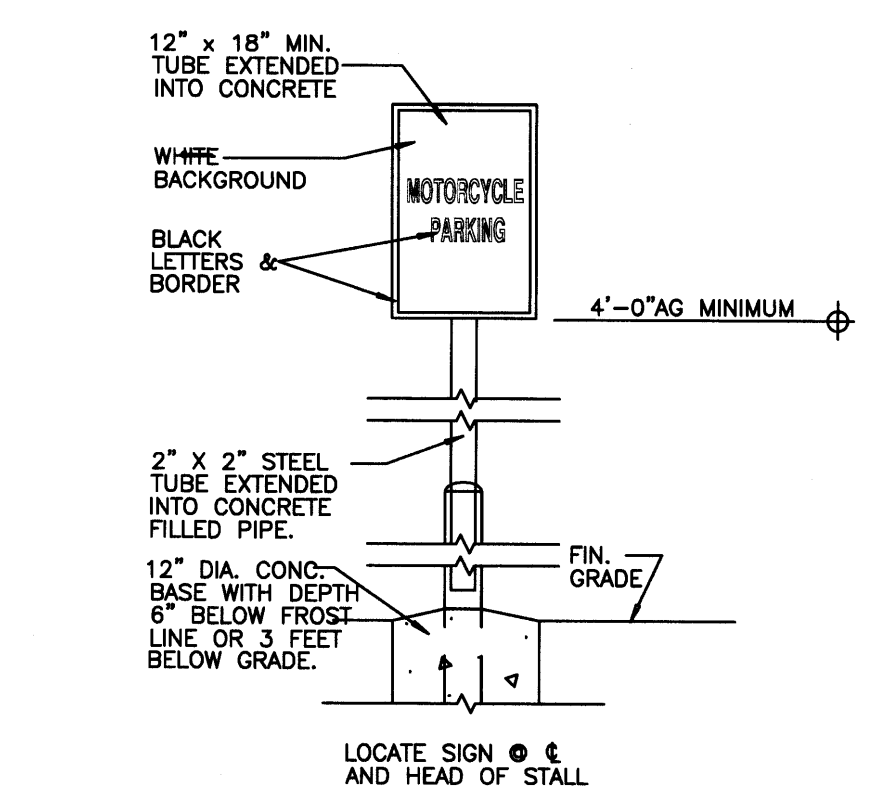
DO NOT ENTER

DRIVE THRU

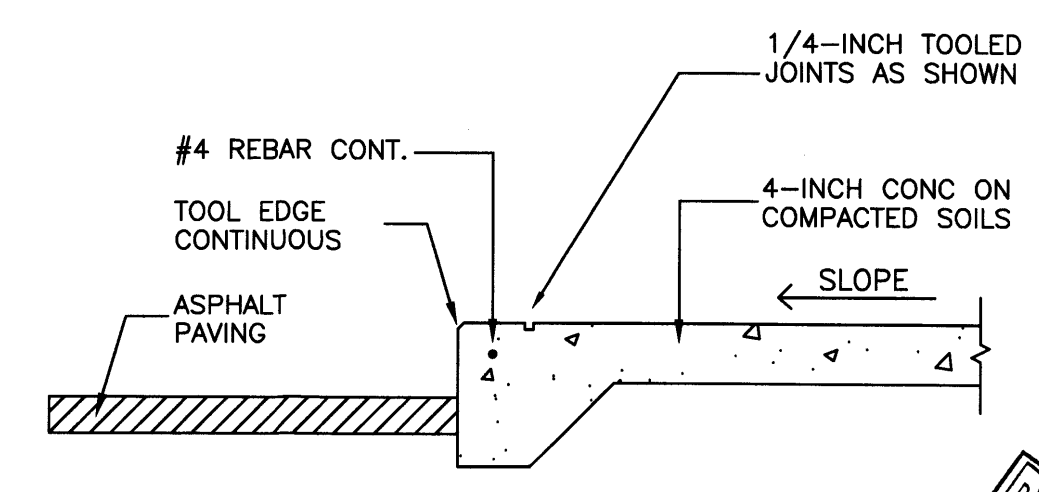
TWO (2) COATS YELLOW TRAFFIC PAINT.

PAINTED TRAFFIC ARROWS

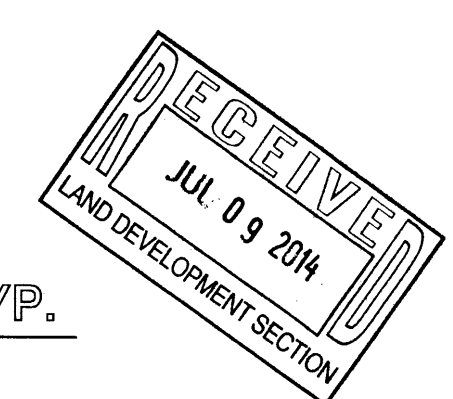
N.T.S.



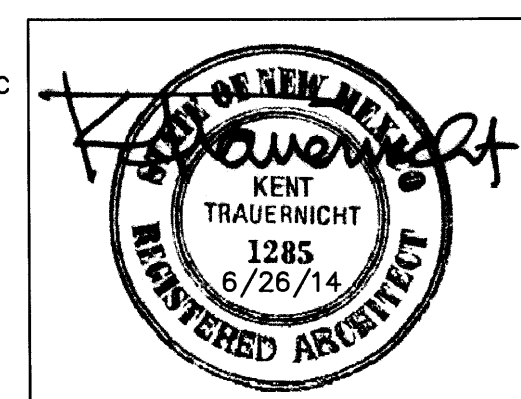
MOTORCYCLE PARKING SIGN



CONCRETE SIDEWALK, TYP.



CONSULTANT



PROJECT

WENDY'S 4TH STREET STORE (STORE #3104)

ADDITION AND PROTOTYPE REMODEL

3601 4th STREET NW
ALBUQUERQUE 87107

MARK	DATE	DESCRIPTION

PROJECT NO:
COPYRIGHT AKT ARCHITECTS, LLC
SHEET TITLE

EXISTING/DEMO SITE PLAN

REMODEL AND TCL SITE PLAN

AS-1.0

ZONING DATA

ADDRESS: 3601 4TH STREET NW
PROPERTY LEGAL DESCRIPTION: LOT A OF REPLAT LOTS 21 & 22, BLOCK 2, FITZGERALD ADDITION AND LOTS 1, 2, 3, AND 4 BLOCK A

ZONING: C-3 (RESTAURANT WITH DRIVE THROUGH)
NORTH FOURTH STREET RANK III CORRIDOR PLAN
ZONE ATLAS PAGE: 0-14-Z

ZONING PROJECT NUMBER: BA-72-267 (NO MICROFILMED PROJECT DATA FOUND, 4/15/10)

LOT AREA (108'x265'): 28,517 SF (0.609 ACRES)
BUILDING AREA: 2326 SF
BUILDING ADDITION (10.5'x30.33'): 318.5 SF

REQUIRED LANDSCAPED AREA: 26,517 - (2326+320) = 2,646 x 15% = 3,580 SF
LANDSCAPED AREA PROVIDED: 4643 SF

DINING ROOM SEATING (INCLUDING ADDITION): 82
REQUIRED PARKING: 82 / 4 = 20 SPACES
ON SITE PARKING PROVIDED: 32 SPACES
(PARKING INCLUDES 1 ACCESSIBLE & 1 VAN ACCESSIBLE SPACE PLUS 1 MOTORCYCLE SPACE)

ALLOWABLE BLDG HEIGHT: 26-FT

REQUIRED SETBACKS (PER 0-1 ZONING):
FRONT: 11-FT (JUNCTION OF ENTRY DRIVE AND PUBLIC SIDEWALK)
REAR: 5-FT (ABUTS SIDE OF R-2 ZONE)
SIDE: 0-FT

SITE REMODEL/ADDITION PLAN KEYED NOTES

- 4'x8' MOTORCYCLE PARKING SPACE, STRIPING AS SHOWN, WITH MINIMUM 12"x18" SIGN DESIGNATING "MOTORCYCLE PARKING". SEE DETAIL B
- TRAFFIC CIRCULATION DIRECTIONAL MARKING, SEE DETAIL A.
- TWO COATS TRAFFIC PAINT. MARKINGS SHALL BE 4-INCH WIDE STRIPING (YELLOW ON CONCRETE, WHITE ON ASPHALT). DASHED LINES AS SHOWN.
- CONCRETE WALK, AS SHOWN, PER COABQ STANDARD DETAIL 2430. SEE EDGE DETAIL C.
- STRIPES AND RESTRIPE PARKING AS SHOWN.
- DASHED LINES SHOW EXISTING CURB AND PAVING TO BE CUT AND REMOVED OR ADDED AS REQUIRED BY REMODEL.
- HANDICAPPED PARKING SIGN, ONE OF HC SPACES SHALL BE SIGNED FOR VAN PARKING. SEE DETAIL.
- EXTEND EXISTING 4'-8" HIGH 8" CMU SCREEN WALL 16" FOR FULL HEIGHT OF 6-FT. PAINT TO MATCH BUILDING. SEE DETAIL. INSTALL #4 REBAR AT 16"OC, DRILL AND SET WITH EPOXY. GROUT NEW CMU FULL AND ROUND TOP TO DRAIN.
- BOLLARD, SEE DETAIL.
- BOLLARD, SEE DETAIL.
- PRECAST CONCRETE PICNIC TABLES WITH BENCHES AS SHOWN (48" DIAMETER, MATERIALS INC. 'CIMARRON'). COLOR AS SELECTED BY OWNER. PROVIDE CONCRETE FOUNDATION PER MANUFACTURER'S RECOMMENDATIONS. CONTRACTOR SHALL PROVIDE COLLAPSIBLE FABRIC UMBRELLA WITH METAL POLE AT EACH TABLE, COLOR AS SELECTED BY OWNER.

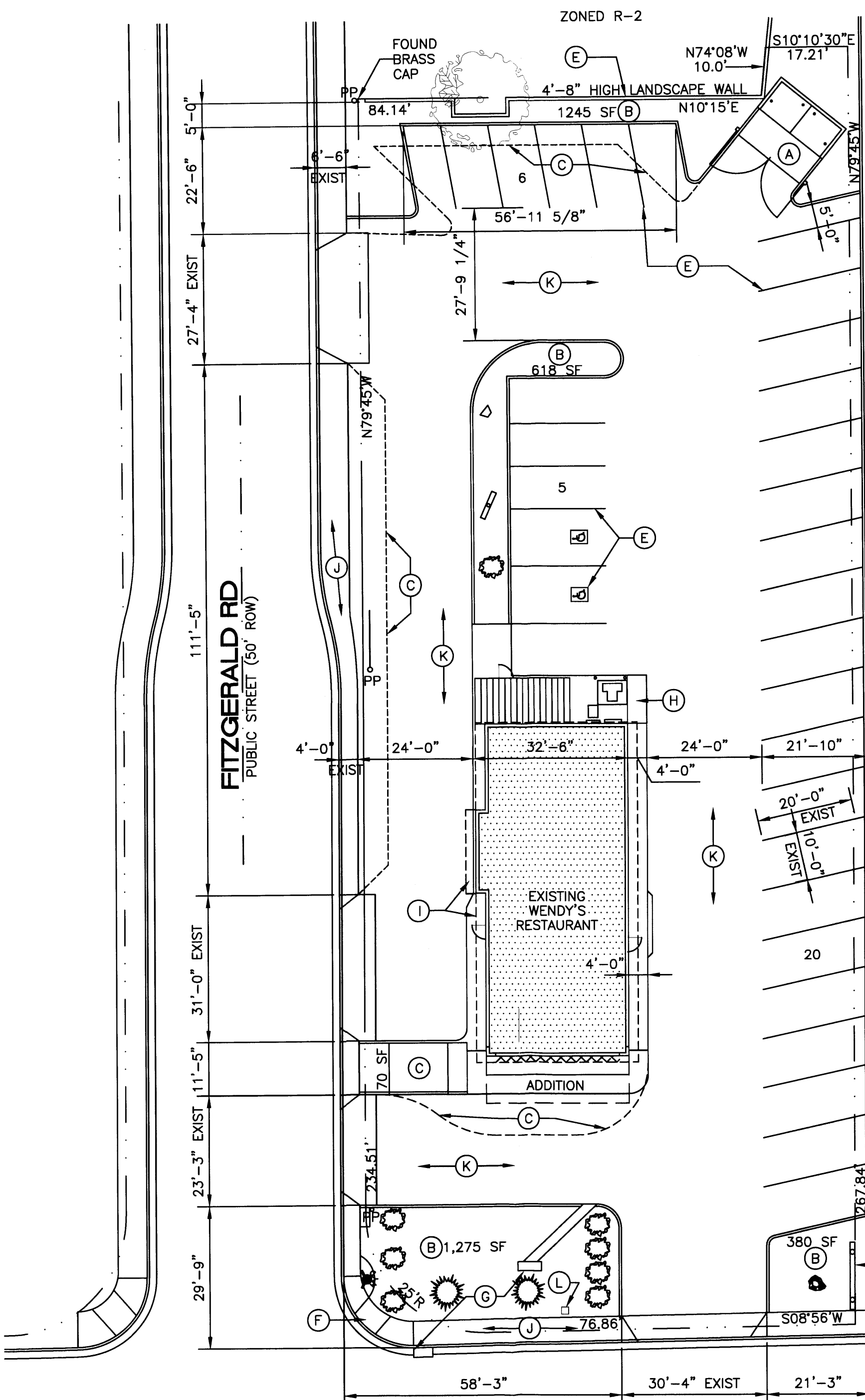
SITE DEMOLITION PLAN KEYED NOTES

- EXISTING DUMPSTER ENCLOSURE.
- EXISTING LANDSCAPE AREA.
- CUT AND REMOVE EXISTING CONCRETE WALKS, CURBS, PAVING, AND LANDSCAPING AS REQUIRED BY THE REMODEL SITE PLAN. PATCH BACK TO MATCH EXISTING. DEMOLITION AREAS SHOWN HATCHED.
- EXISTING PYLON SIGN.
- REMOVE EXISTING PAINT STRIPE MARKINGS AS REQUIRED BY REMODEL.
- EXISTING CURB RAMP.
- EXISTING STORM DRAIN INLET.
- EXISTING ACCESSIBLE RAMP.
- EXISTING CANOPY OVERHANG.
- EXISTING CONCRETE SIDEWALK.
- EXISTING ASPHALT PAVED TRAFFIC AREAS.
- EXISTING LANDSCAPE IRRIGATION VALVE BOX, MODIFY AS REQUIRED BY NEW LANDSCAPING.

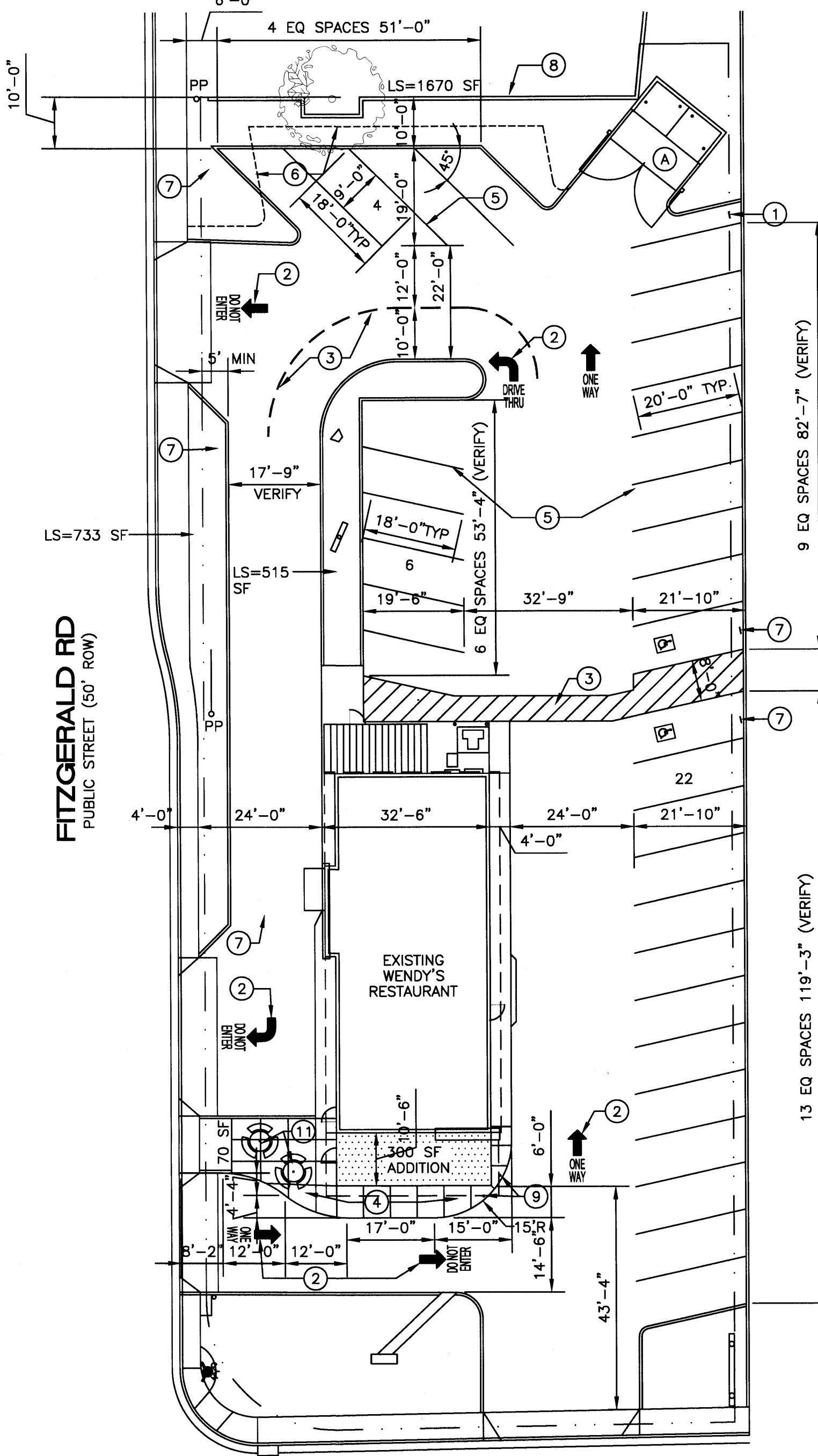
GENERAL DEMOLITION/REMODEL NOTES

- ALL LANDSCAPE AREAS ARE COVERED WITH LANDSCAPE ROCK. TO REMAIN. ALL PLANTS SHOWN ARE EXISTING TO REMAIN. SEE LANDSCAPE PLAN FOR NEW LANDSCAPING. CONTRACTOR SHALL CUT AND REMOVE PAVING AS REQUIRED AND INSTALL 4" PVC PIPE UNDER PAVING FOR NEW LANDSCAPE IRRIGATION LINES AS REQUIRED. COORDINATE WITH LANDSCAPE CONTRACTOR FOR REQUIRED LOCATIONS. PATCH BACK PAVING AND SITE AS REQUIRED.
- SEE ALL DRAWINGS FOR REMOVALS AND REMODEL/ADDITION WORK. NOTIFY THE ARCHITECT OF ANY CONDITIONS THAT DO NOT MATCH THE DRAWINGS AND THAT AFFECT THE PROJECT.
- COORDINATE REMOVAL, RELOCATION, OR REPLACEMENT OF EXISTING EQUIPMENT AND FIXTURES WITH THE OWNER.
- ALL DEMOLITION DEBRIS SHALL BE DISPOSED OF AT AN APPROVED LAND FILL. THE CONSTRUCTION AREAS SHALL BE KEPT CLEAN AT ALL TIMES.
- ALL AREAS ADJACENT TO REQUIRED DEMOLITION AND REMODEL CONSTRUCTION SHALL BE PROTECTED FROM DAMAGE. ANY DAMAGED AREAS SHALL BE REPLACED OR REFINISHED TO MATCH EXISTING.
- CUT AND REMOVE ALL MATERIALS; PAVING, SLABS, WALLS, CEILINGS, AND STRUCTURE AS REQUIRED BY THE REMODEL AND PATCH BACK TO MATCH EXISTING.

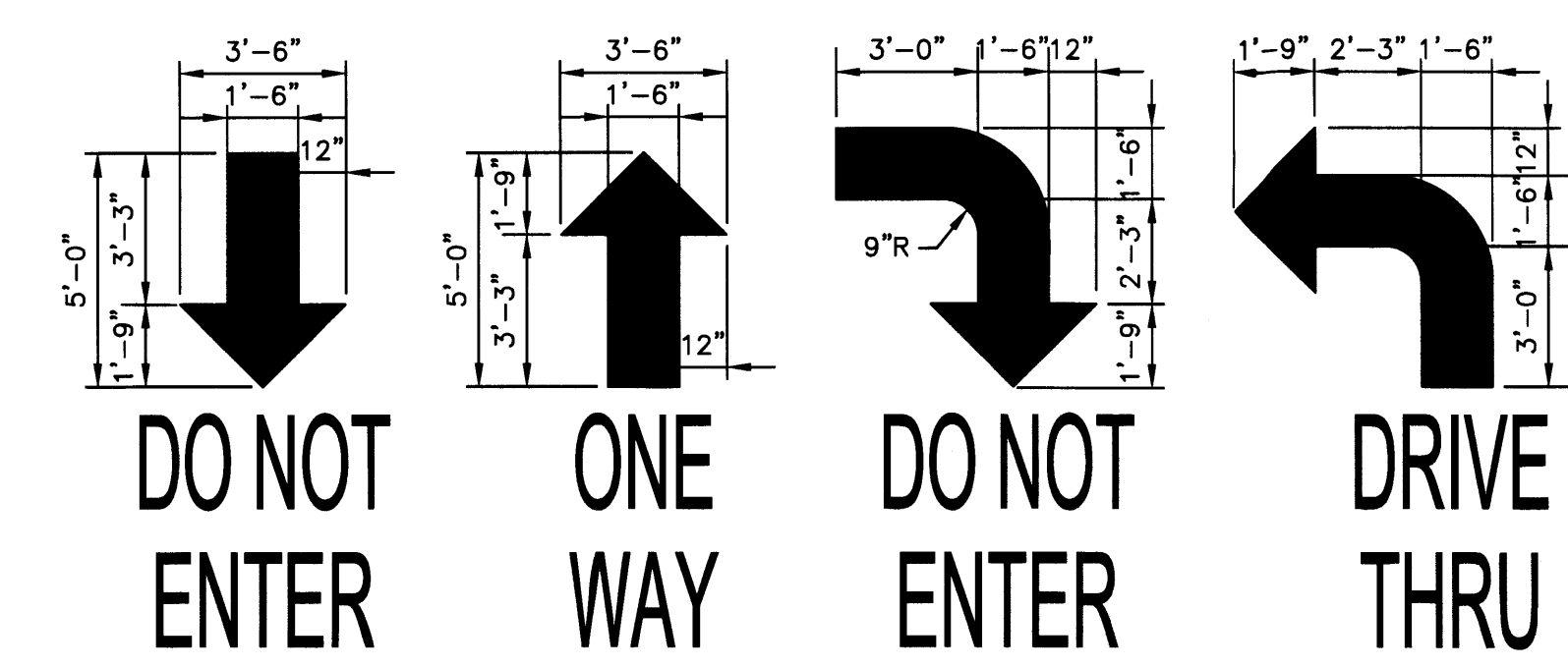
SITE PLANS MAY BE SCALED FOR MEASUREMENTS NOT SHOWN



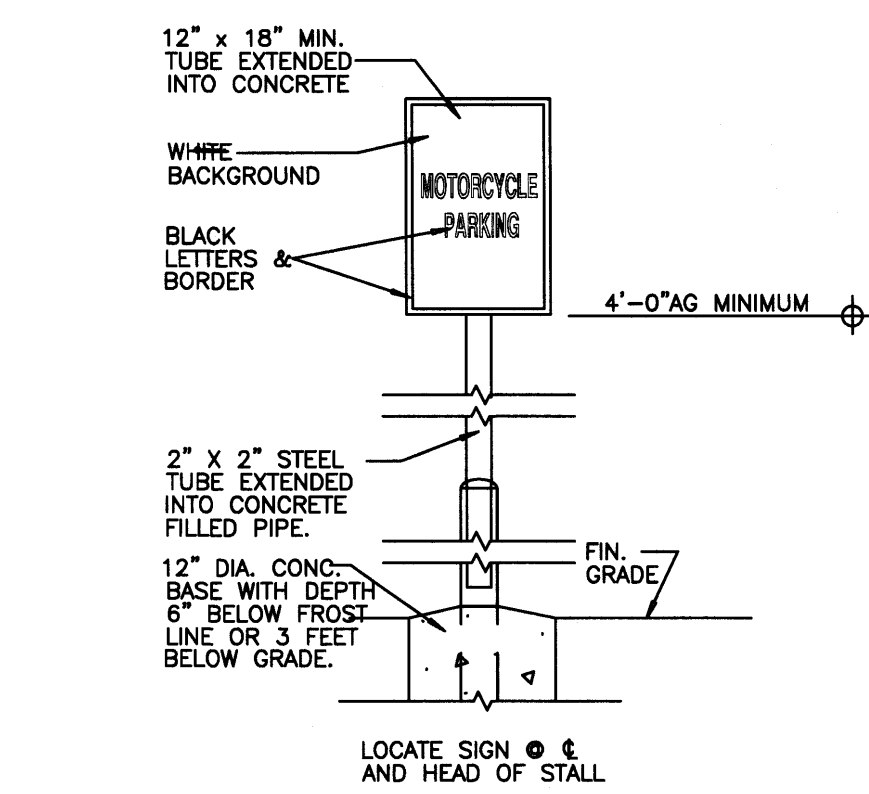
EXISTING/DEMOLITION SITE PLAN
ROTATED 10.25°
1" = 20'-0"



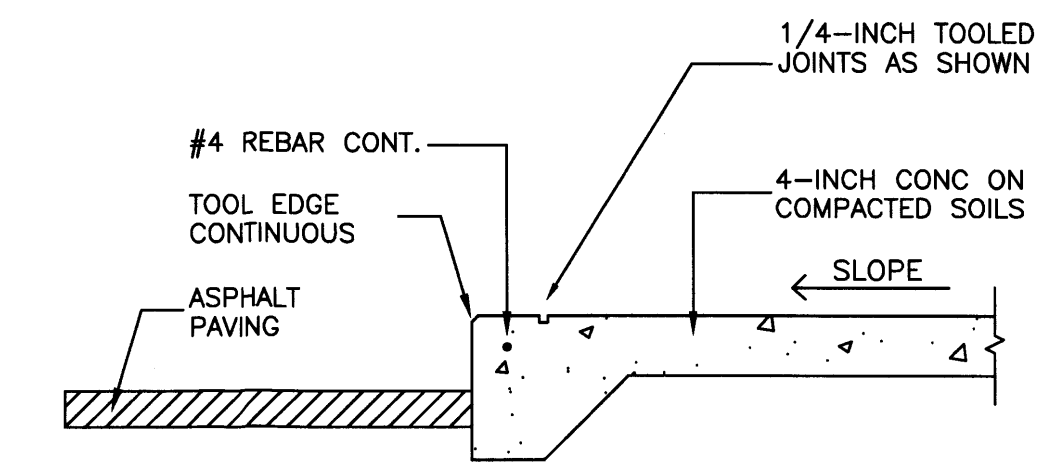
REMODEL/ADDITION SITE PLAN
1" = 20'-0"



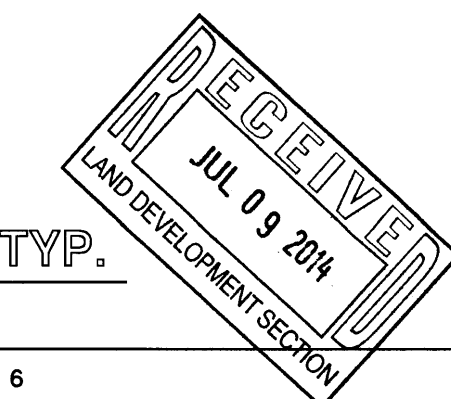
PAINTED TRAFFIC ARROWS
TWO (2) COATS YELLOW TRAFFIC PAINT.

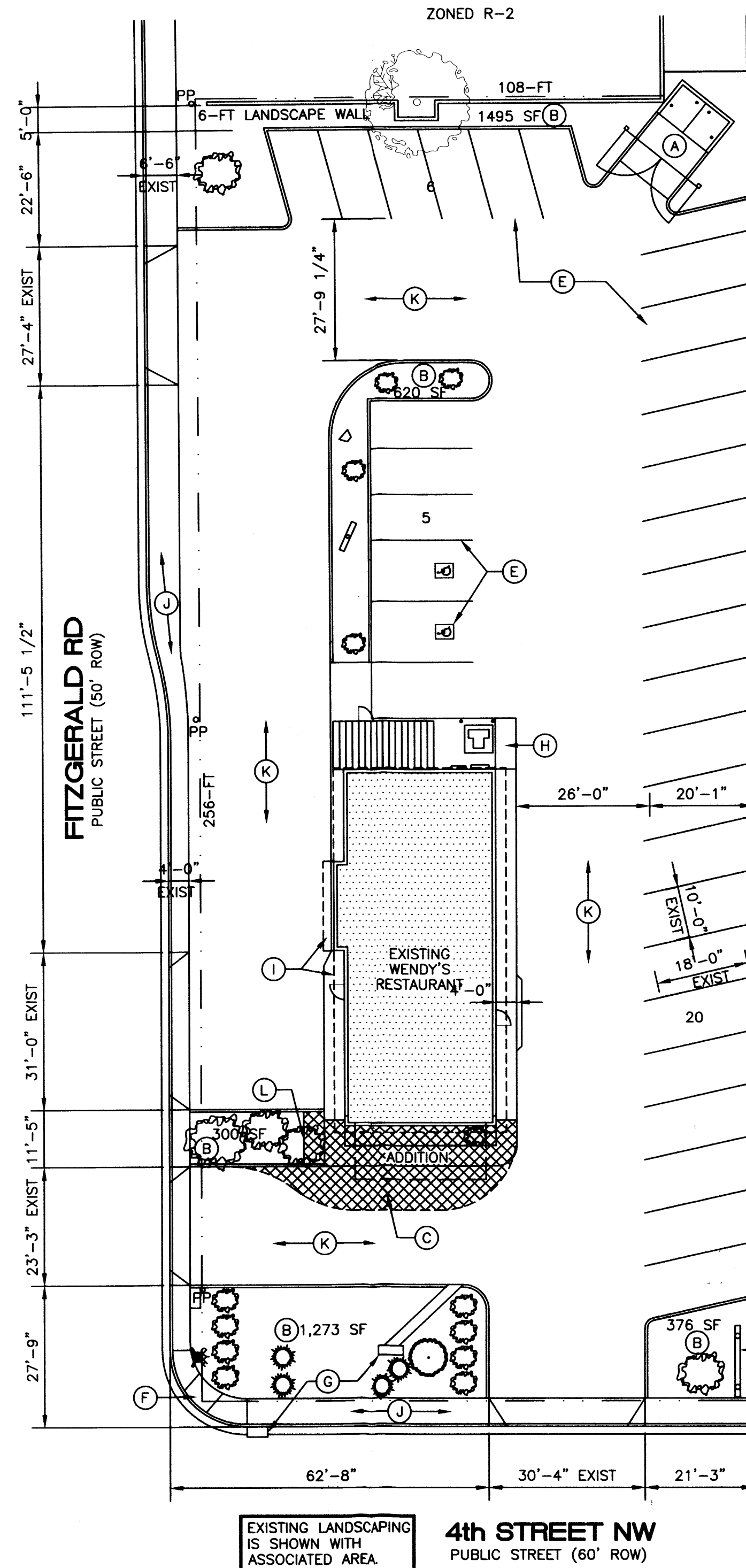


MOTORCYCLE PARKING SIGN



CONCRETE SIDEWALK, TYP.



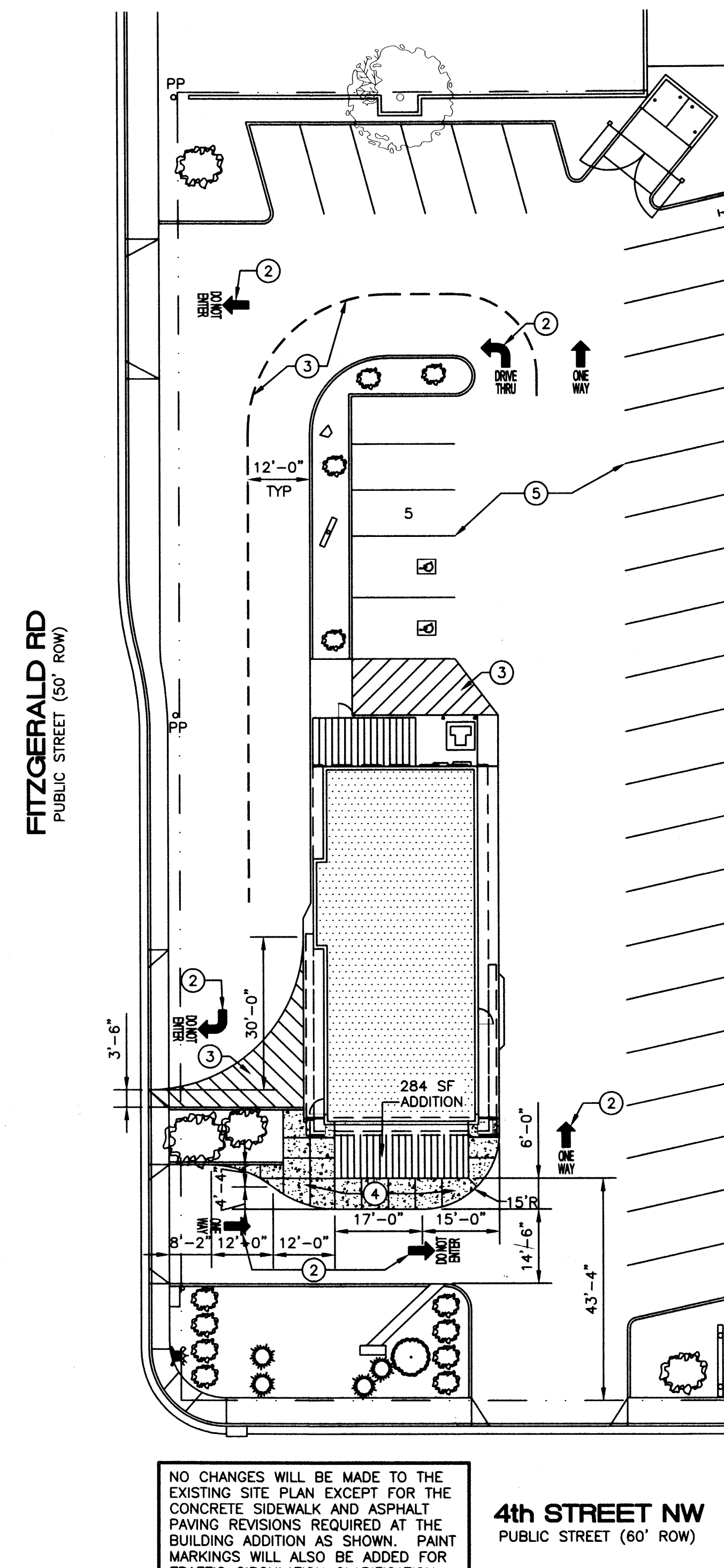


SITE DEMOLITION PLAN KEYED NOTES

- EXISTING DUMPSTER ENCLOSURE.
- EXISTING LANDSCAPE AREA.
- CUT AND REMOVE EXISTING CONCRETE WALKS, CURBS, PAVING, AND LANDSCAPING AS REQUIRED BY THE REMODEL SITE PLAN. PATCH BACK TO MATCH EXISTING. DEMOLITION AREAS SHOWN HATCHED.
- EXISTING PYLON SIGN.
- EXISTING PAINT STRIPE MARKINGS.
- EXISTING CURB RAMP.
- EXISTING STORM DRAIN INLET.
- EXISTING ACCESSIBLE RAMP.
- EXISTING CANOPY OVERHANG.
- EXISTING CONCRETE SIDEWALK.
- EXISTING ASPHALT PAVED TRAFFIC AREAS.
- CUT AND REMOVE EXISTING LANDSCAPE SHRUB AND MODIFY ASSOCIATED IRRIGATION AS REQUIRED.

GENERAL DEMOLITION/REMODEL NOTES

- BUSINESS SHALL REMAIN OPEN DURING REMODELING. ALL WORK SHALL BE COORDINATED WITH THE OWNER'S REPRESENTATIVE. ALL WORK AREAS SHALL BE BARRICADED AND SEALED WITH TEMPORARY PARTITIONS DURING CONSTRUCTION TO PROTECT EXISTING AREAS FROM DUST, DEBRIS, AND ANY HAZARDS TO CUSTOMERS AND EMPLOYEES.
- SEE ALL DRAWINGS FOR REMOVALS AND REMODEL/ADDITION WORK. NOTIFY THE ARCHITECT OF ANY CONDITIONS THAT DO NOT MATCH THE DRAWINGS AND THAT AFFECT THE PROJECT.
- COORDINATE REMOVAL, RELOCATION, OR REPLACEMENT OF EXISTING EQUIPMENT AND FIXTURES WITH THE OWNER.
- ALL DEMOLITION DEBRIS SHALL BE DISPOSED OF AT AN APPROVED LAND FILL. THE CONSTRUCTION AREAS SHALL BE KEPT CLEAN AT ALL TIMES.
- ALL AREAS ADJACENT TO REQUIRED DEMOLITION AND REMODEL CONSTRUCTION SHALL BE PROTECTED FROM DAMAGE. ANY DAMAGED AREAS SHALL BE REPLACED OR REFINISHED TO MATCH EXISTING.
- CUT AND REMOVE ALL MATERIALS: PAVING, SLABS, WALLS, CEILING, AND STRUCTURE AS REQUIRED BY THE REMODEL AND PATCH BACK TO MATCH EXISTING.

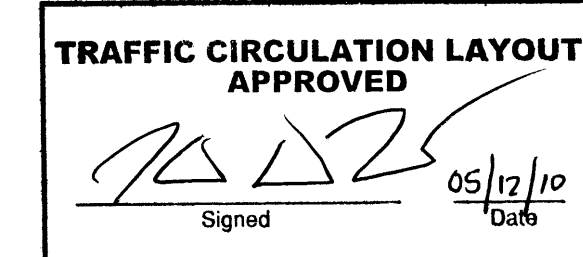


ZONING DATA

ADDRESS: 3601 4TH STREET NW
PROPERTY LEGAL DESCRIPTION: LOT A OF REPLAT LOTS 21 & 22, BLOCK 2, FITZGERALD ADDITION AND LOTS 1, 2, 3, AND 4 BLOCK A
ZONING: C-3 (RESTAURANT WITH DRIVE THROUGH)
ZONE ATLAS PAGE: C-14-Z
ZONING PROJECT NUMBER: BA-72-267 (NO MICROFILMED PROJECT DATA FOUND, 4/15/10)
LOT AREA (108'x265'): 28,620 SF (0.657 ACRES)
BUILDING AREA: 2326 SF
BUILDING ADDITION (10.66'x26.66'): 284 SF
REQUIRED LANDSCAPED AREA: 28,620 - (2326+284) = 26,010 x 15% = 3901 SF
EXISTING LANDSCAPED AREA PROVIDED: 4064 SF
DINING ROOM SEATING (INCLUDING ADDITION): 72
REQUIRED PARKING: 72 / 4 = 18 SPACES
ON SITE PARKING PROVIDED: 31 SPACES
(PARKING INCLUDES 1 ACCESSIBLE & 1 VAN ACCESSIBLE SPACE PLUS 1 MOTORCYCLE SPACE)
ALLOWABLE BLDG HEIGHT: 26-FT
REQUIRED SETBACKS (PER 0-1 ZONING):
FRONT: 11-FT (JUNCTION OF ENTRY DRIVE AND PUBLIC SIDEWALK)
REAR: 5-FT (ABUTS SIDE OF R-2 ZONE)
SIDE: 0-FT

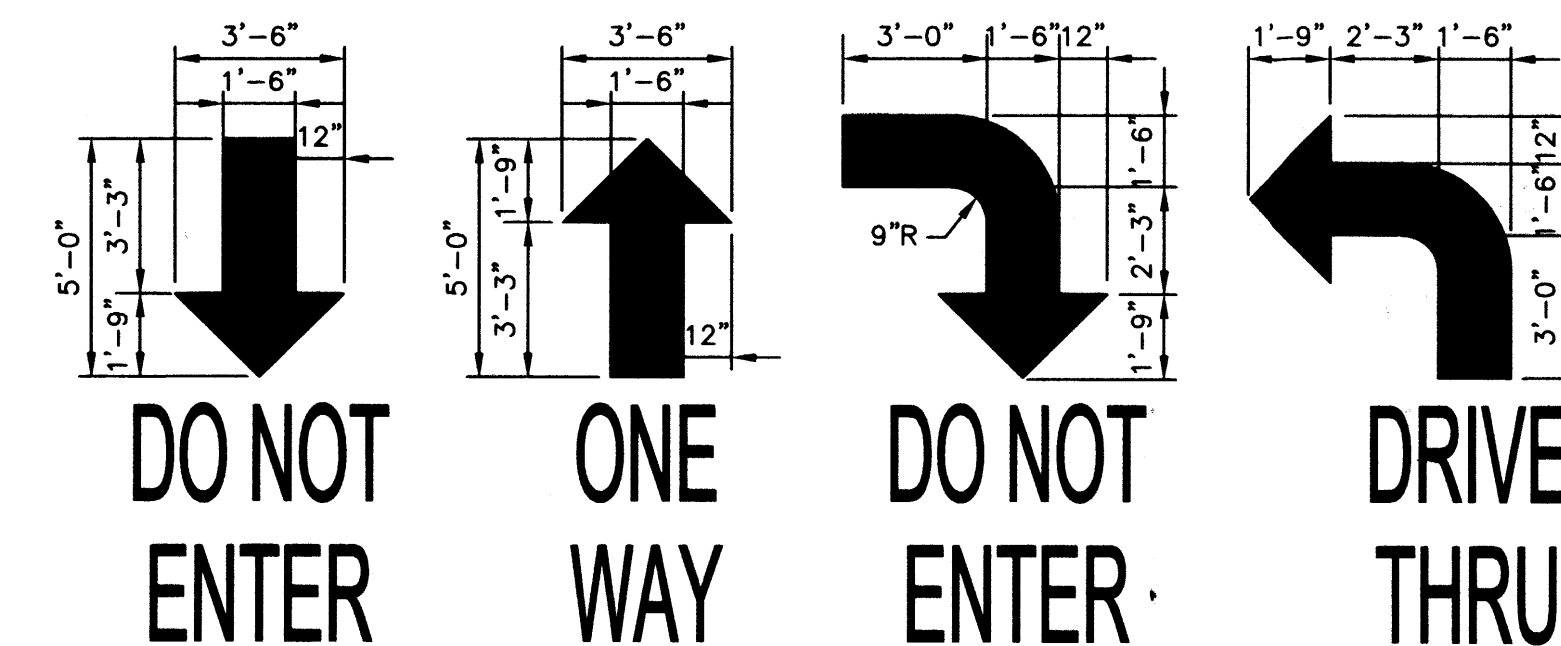
SITE REMODEL/ADDITION PLAN KEYED NOTES

- 4'x8' MOTORCYCLE PARKING SPACE, STRIPING AS SHOWN, WITH MINIMUM 12"x18" SIGN DESIGNATING "MOTORCYCLE PARKING". SEE DETAIL B
- TRAFFIC CIRCULATION DIRECTIONAL MARKING, SEE DETAIL A.
- TWO COATS TRAFFIC PAINT, MARKINGS SHALL BE 4-INCH SIDE STRIPING (YELLOW ON CONCRETE, WHITE ON ASPHALT). DASHED LINE AS SHOWN.
- CONCRETE WALK, AS SHOWN, PER COABQ STANDARD DETAIL 2430. SEE EDGE DETAIL C.
- NO CHANGE IN PARKING STRIPING.



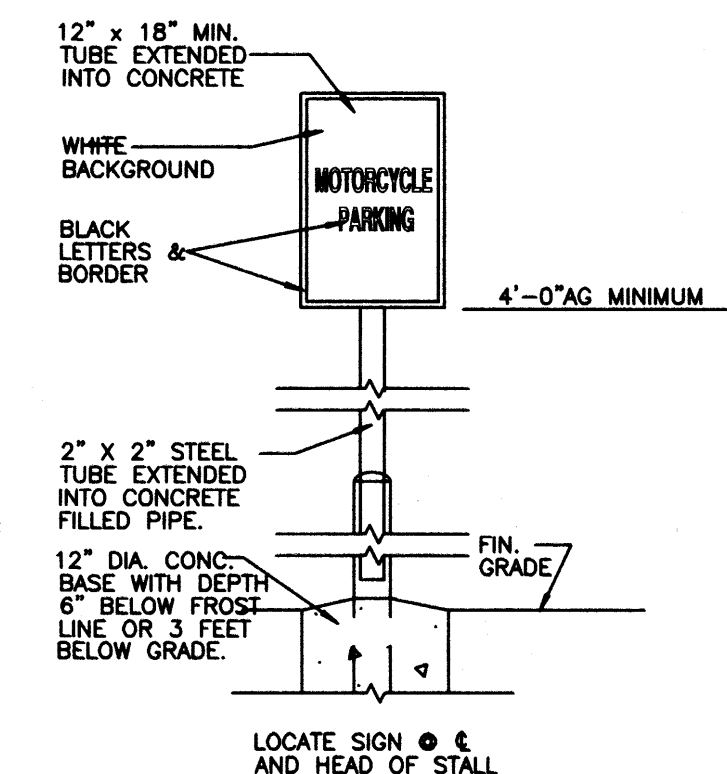
Public infrastructure shown on these plans for information only and not part of approval. Separate DRC/Permit approval and Work Order required.

ALL WHEELCHAIR RAMPS LOCATED WITHIN THE PUBLIC RIGHT OF WAY MUST HAVE TRUNCATED DOMES.

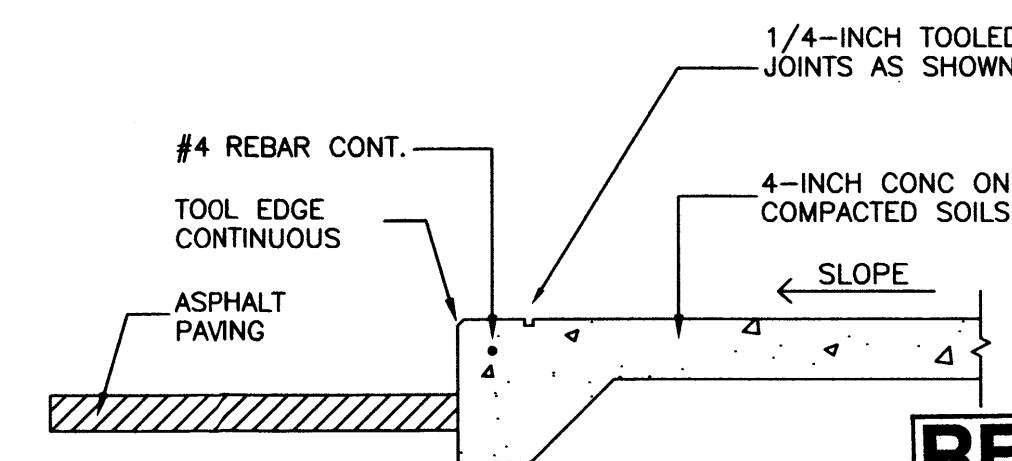


A TWO (2) COATS YELLOW TRAFFIC PAINT.
PAINTED TRAFFIC ARROWS

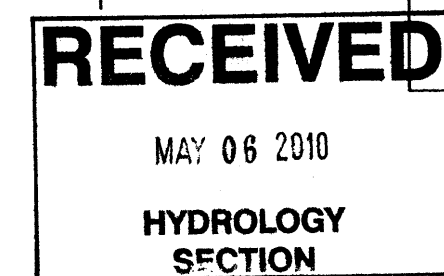
N.T.S.



B MOTORCYCLE PARKING SIGN



C CONCRETE SIDEWALK, TYP.



5/3/10
JOB No. 10006
AS-100

City of Albuquerque
P.O. BOX 3386
ALBUQUERQUE, NM 87106
(505) 224-9669
F: (505) 224-7819
E: ktrauernicht@cityofalb.org

Wendy's
OLD FASHIONED HAMBURGERS
2010 STORE
FASCIA REMODEL

EXISTING/DEMOLITION SITE PLAN
REMODEL/ADDITION SITE PLAN & DETAILS

3601 4th St. NW
ALBUQUERQUE, NM 87107