



**Planning Department
Transportation Development Services**

July 25, 2014

Kent Trauernicht, R.A.
AKT Architects
55 Camino Del Senador
Tijeras, NM 87059

Re: Wendy's, 3601 4th St. NW
Traffic Circulation Layout
Architect's Stamp dated 07-14-14 (G14-D031)

Dear Mr. Trauernicht,

The TCL submittal received 07-14-14 is approved for Building Permit. A copy of the stamped and signed plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation. **Public infrastructure or work done within City Right-of-Way shown on these plans is for information only and is not part of approval. A separate DRC or other appropriate permit is required to construct these items.**

When the site construction is completed and a Certificate of Occupancy (C.O.) is requested, use the original City stamped approved TCL for certification. Redline any minor changes and adjustments that were made in the field. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification TCL with a completed Drainage and Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation.

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3306.

Sincerely,

Racquel M. Michel, P.E.
Senior Engineer, Planning Dept.
Development Review Services

C: File



ZONING DATA

ADDRESS: 3601 4TH STREET NW
PROPERTY LEGAL DESCRIPTION: LOT A OF
REPLAT LOTS 21 & 22, BLOCK 2, FITZGERALD
ADDITION AND LOTS 1, 2, 3, AND 4 BLOCK A

ZONING: C-3 (RESTAURANT WITH DRIVE THROUGH)
NORTH FOURTH STREET RANK III CORRIDOR PLAN
ZONE ATLAS PAGE: G-14-2

ZONING PROJECT NUMBER: BA-72-267 (NO
MICROFILMED PROJECT DATA FOUND, 4/15/10)

LOT AREA (108'x265'): 26,517 SF (0.609 ACRES)
BUILDING AREA: 2326 SF
BUILDING ADDITION (10.5'x30.33'): 318.5 SF

REQUIRED LANDSCAPED AREA: 26,517 -
(2326+320) = 2,646 x 15% = 3,580 SF
LANDSCAPED AREA PROVIDED: SEE LANDSCAPE PLAN

DINING ROOM SEATING (INCLUDING ADDITION): 82
REQUIRED PARKING: 82 / 4 = 20 SPACES
ON SITE PARKING PROVIDED: 32 SPACES
(PARKING INCLUDES 1 ACCESSIBLE & 1 VAN
ACCESSIBLE SPACE PLUS 1 MOTORCYCLE SPACE)

ALLOWABLE BLDG HEIGHT: 26-FT

REQUIRED SETBACKS (PER 0-1 ZONING):
FRONT: 11-FT (JUNCTION OF ENTRY DRIVE
AND PUBLIC SIDEWALK.
REAR: 5-FT (ABUTS SIDE OF R-2 ZONE)
SIDE: 0-FT

SITE REMODEL/ADDITION PLAN KEYED NOTES

- 4'x8' MOTORCYCLE PARKING SPACE, STRIPING AS SHOWN, WITH MINIMUM 12"x18" SIGN DESIGNATING "MOTORCYCLE PARKING". SEE DETAIL B
- TRAFFIC CIRCULATION DIRECTIONAL MARKING, SEE DETAIL A.
- TWO COATS TRAFFIC PAINT. MARKINGS SHALL BE 4-INCH WIDE STRIPING (YELLOW ON CONCRETE, WHITE ON ASPHALT). DASHED LINES AS SHOWN.
- CONCRETE WALK, AS SHOWN, PER COABQ STANDARD DETAIL 2430. SEE EDGE DETAIL C.
- STRIPE AND RESTRIPE PARKING AS SHOWN.
- DASHED LINES SHOW EXISTING CURB AND PAVING TO BE CUT AND REMOVED OR ADDED AS REQUIRED BY REMODEL.
- HANDICAPPED PARKING SIGN, ONE OF HC SPACES SHALL BE SIGNED FOR VAN PARKING. SEE DETAIL D.
- EXTEND EXISTING 4'-8" HIGH 8" CMU SCREEN WALL 16" FOR FULL HEIGHT OF 6'-FT. PAINT TO MATCH BUILDING. SEE DETAIL. INSTALL #4 REBAR AT 16"OC, DRILL AND SET WITH EPOXY. GROUT NEW CMU FULL AND ROUND TOP TO DRAIN.
- BOLLARD, SEE DETAIL.
- BOLLARD, SEE DETAIL.
- PRECAST CONCRETE PICNIC TABLES WITH BENCHES AS SHOWN (48"DIAMETER, MATERIALS INC. 'CIMARRON'). COLOR AS SELECTED BY OWNER. PROVIDE CONCRETE FOUNDATION PER MANUFACTURER'S RECOMMENDATIONS. CONTRACTOR SHALL PROVIDE COLLAPSIBLE FABRIC UMBRELLA WITH METAL POLE AT EACH TABLE, COLOR AS SELECTED BY OWNER.
- EXISTING HEAVY VEHICLE ACCESS AT ALL MAIN DRIVE ISLES, (ASSUMED)
- TRAFFIC PAINT MARKING: 10" HIGH LETTERS "COMPACT ONLY", AS SHOWN.
- EXISTING 48-INCH WIDE ACCESSIBLE RAMP TO REMAIN.
- ACCESSIBLE PEDESTRIAN ACCESS TO BUILDING FROM R.O.W.
- PROVIDE AND INSTALL LARGE DIRECTIONAL ARROW SIGN (WITH POST) PER MANUAL ON "UNIVERSAL TRAFFIC CONTROL DEVICES". SIGN SHALL DENOTE ONE WAY-EXIT ONLY.
- HANDICAPPED PARKING SYMBOL PER COABQ STANDARD DETAIL 2426.

ALL WHEELCHAIR RAMPS LOCATED
WITHIN THE PUBLIC RIGHT OF WAY
MUST HAVE TRUNCATED DOMES.

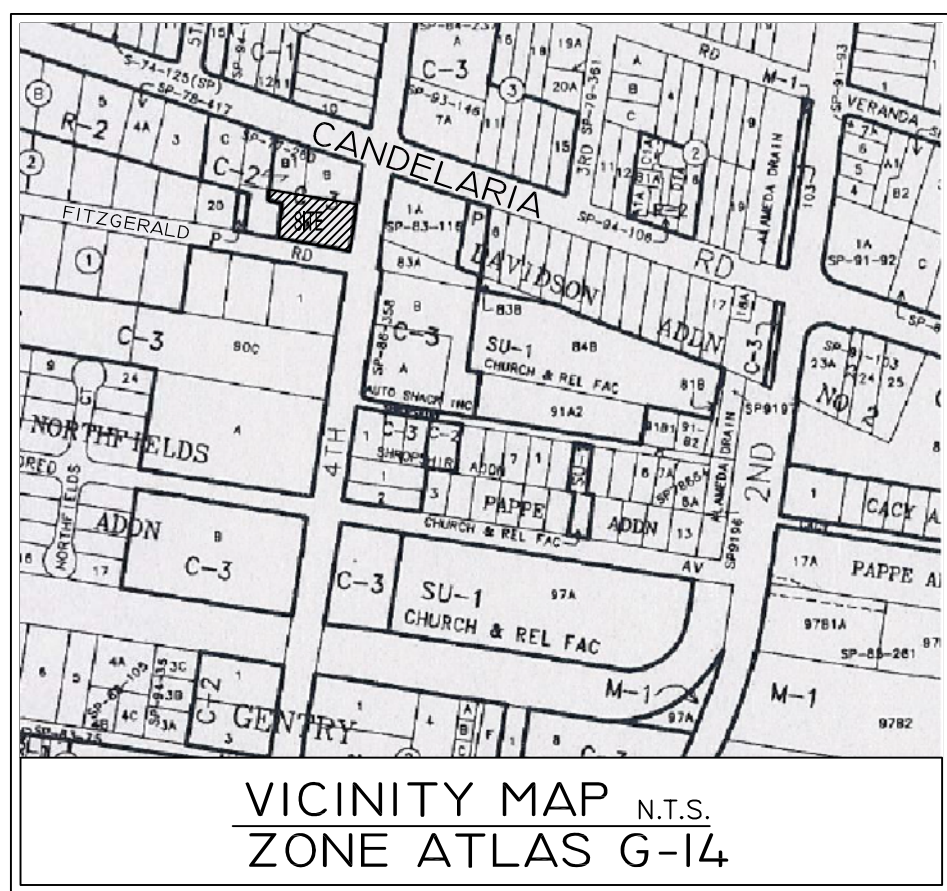
Public Infrastructure shown on these
plans for information only and not part
of an approval. Separate DRC/ Permit
approval and Work Order required.

TRAFFIC CIRCULATION LAYOUT APPROVED

APPROVED
By RM at 9:47 am, Jul 25, 2014
Signed _____ Date _____

SITE DEMOLITION PLAN KEYED NOTES

- EXISTING DUMPSTER ENCLOSURE.
- EXISTING LANDSCAPE AREA.
- CUT AND REMOVE EXISTING CONCRETE WALKS, CURBS, PAVING, AND LANDSCAPING AS REQUIRED BY THE REMODEL SITE PLAN. PATCH BACK TO MATCH EXISTING. DEMOLITION AREAS SHOWN HATCHED.
- EXISTING PYLON SIGN.
- REMOVE EXISTING PAINT STRIPE MARKINGS AS REQUIRED BY REMODEL.
- EXISTING CURB RAMP.
- EXISTING STORM DRAIN INLET.
- EXISTING ACCESSIBLE RAMP.
- EXISTING CANOPY OVERHANG.
- EXISTING CONCRETE SIDEWALK.
- EXISTING ASPHALT PAVED TRAFFIC AREAS.
- EXISTING LANDSCAPE IRRIGATION VALVE BOX, MODIFY AS REQUIRED BY NEW LANDSCAPING.



GENERAL DEMOLITION/REMODEL NOTES

- ALL LANDSCAPE AREAS ARE COVERED WITH LANDSCAPE ROCK, TO REMAIN. ALL PLANTS SHOWN ARE EXISTING TO REMAIN. SEE LANDSCAPE PLAN FOR NEW LANDSCAPING. CONTRACTOR SHALL CUT AND REMOVE PAVING AS REQUIRED AND INSTALL 4" PVC PIPE UNDER PAVING FOR NEW LANDSCAPE IRRIGATION LINES AS REQUIRED, COORDINATE WITH LANDSCAPE CONTRACTOR FOR REQUIRED LOCATIONS. PATCH BACK PAVING AND SITE AS REQUIRED.
- SEE ALL DRAWINGS FOR REMOVALS AND REMODEL/ADDITION WORK. NOTIFY THE ARCHITECT OF ANY CONDITIONS THAT DO NOT MATCH THE DRAWINGS AND THAT AFFECT THE PROJECT.
- COORDINATE REMOVAL, RELOCATION, OR REPLACEMENT OF EXISTING EQUIPMENT AND FIXTURES WITH THE OWNER.
- ALL DEMOLITION DEBRIS SHALL BE DISPOSED OF AT AN APPROVED LAND FILL. THE CONSTRUCTION AREAS SHALL BE KEPT CLEAN AT ALL TIMES.
- ALL AREAS ADJACENT TO REQUIRED DEMOLITION AND REMODEL CONSTRUCTION SHALL BE PROTECTED FROM DAMAGE. ANY DAMAGED AREAS SHALL BE REPLACED OR REFINISHED TO MATCH EXISTING.
- CUT AND REMOVE ALL MATERIALS; PAVING, SLABS, WALLS, CEILING, AND STRUCTURE AS REQUIRED BY THE REMODEL AND PATCH BACK TO MATCH EXISTING.

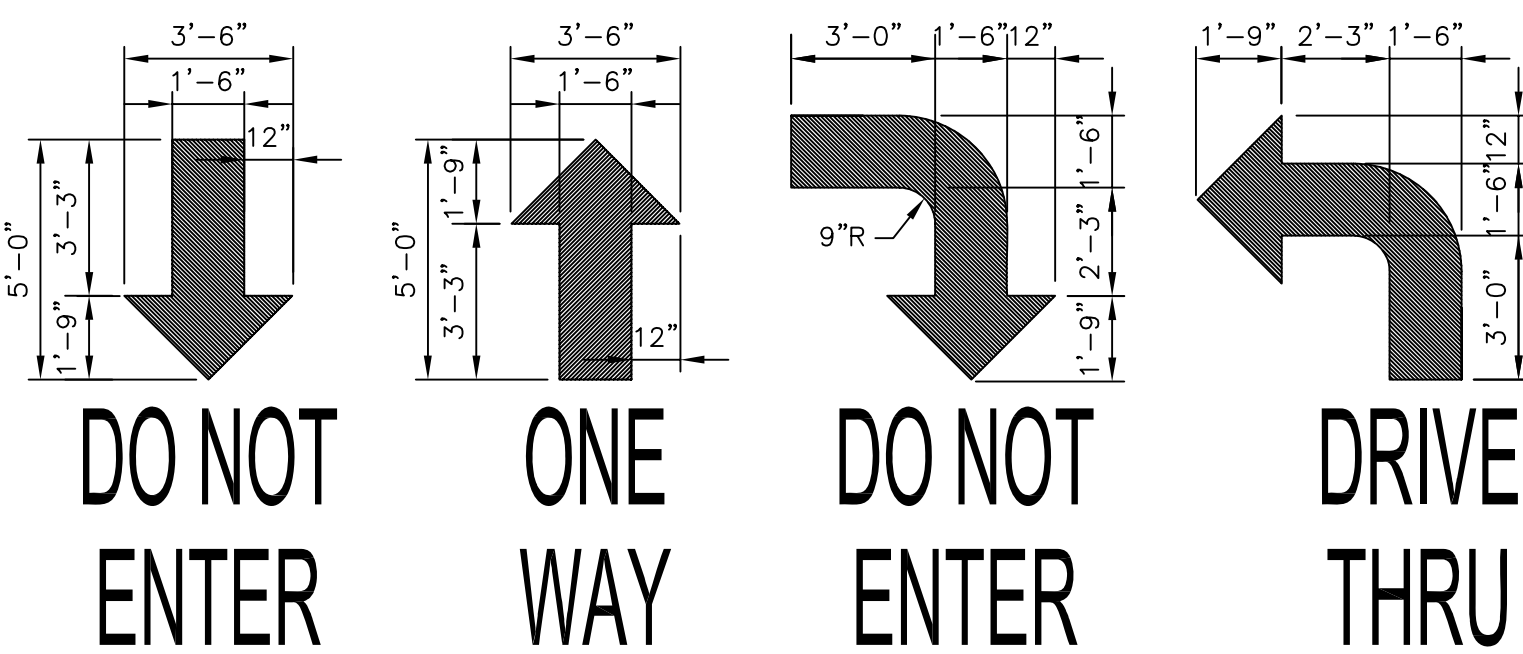
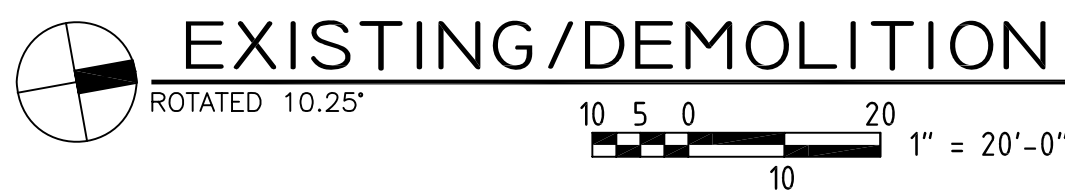
SITE PLANS MAY BE SCALED FOR MEASUREMENTS NOT SHOWN

PROVIDE 12" WIDE CUTS IN CURBS AS REQUIRED FOR STORMWATER RUN OFF INTO LANDSCAPE AREAS

EXISTING PLANT MATERIAL IS SHOWN, VERIFY TYPE. EXISTING LANDSCAPE AREAS ARE COVERED WITH DECORATIVE ROCK

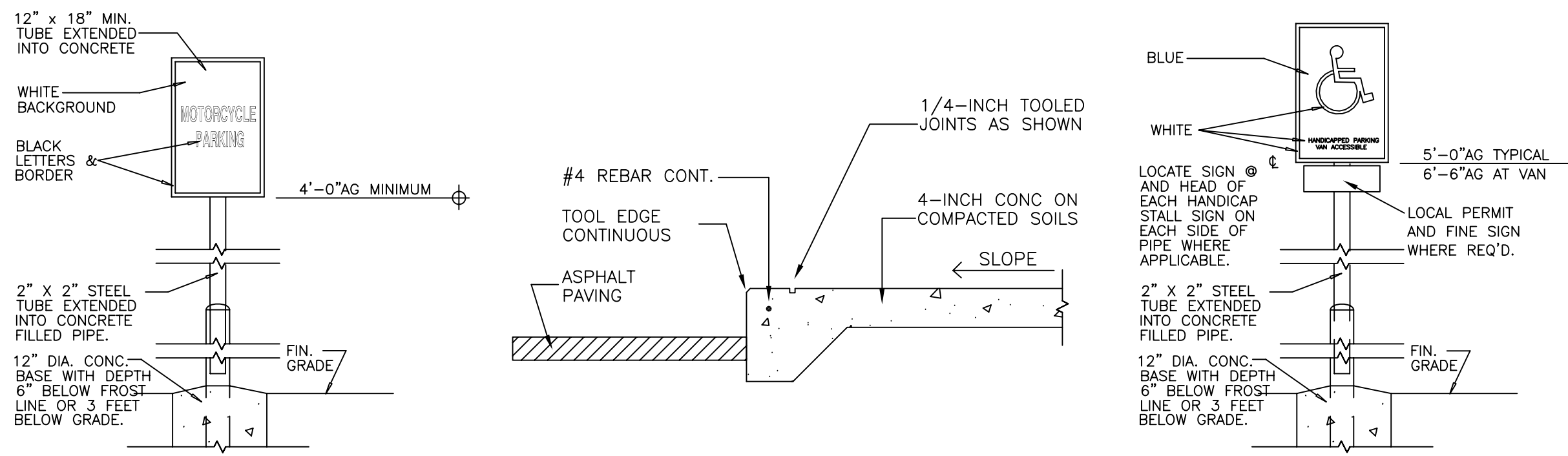
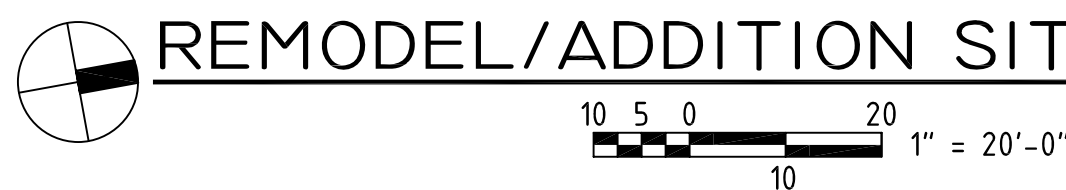
4th STREET NW
PUBLIC STREET (60' ROW)

EXISTING/DEMOLITION SITE PLAN



(A) TWO (2) COATS YELLOW TRAFFIC PAINT. PAINTED TRAFFIC ARROWS NTS

REMODEL/ADDITION SITE PLAN



(B) MOTORCYCLE PARKING SIGN NTS (C) CONCRETE SIDEWALK, TYP. NTS (D) ACCESSIBLE PARKING SIGN NTS