



**Planning Department  
Transportation Development Services**

July 11, 2014

Kent Trauernicht, R.A.  
AKT Architects  
55 Camino Del Senador  
Tijeras, NM 87059

**Re: Wendy's, 3601 4<sup>th</sup> St NW**  
**Traffic Circulation Layout**  
Architect's Stamp dated 6-26-14 (G14-D031)

Dear Mr. Trauernicht,

Based upon the information provided in your submittal received 7-09-14, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

PO Box 1293

Albuquerque

New Mexico 87103

[www.cabq.gov](http://www.cabq.gov)

1. Please list the width and length for all parking spaces.
2. Please show a vicinity map.
3. The handicap accessible spaces must be a minimum of 8.5 feet in width.
4. The handicap accessible spaces must include an 8-foot wide van access aisle; all other aisles should be 5 feet in width.
5. Please provide a detail of the handicap accessible parking signage
6. Provide a heavy vehicle pathway on the plan.
7. Please include two copies of the traffic circulation layout at the next submittal.
8. Show the pedestrian pathway and ADA access to the building including all ramps.
9. How will ADA access be taken to the entrance of the building? The door appears to swing in the path way.
10. Please provide an easement for any sidewalk within the right-of-way.
11. Please provide approvable signage and striping i.e. one-way and do not enter.
12. Please remove non applicable note "7" from the TCL plan.
13. We suggest that the parking on the west end of the property be changed to compact parking to widen the drive aisle.

# CITY OF ALBUQUERQUE



Resubmit acceptable package along with fully completed Drainage Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation. If you have any questions, please contact me at (505) 924-3630.

Sincerely,

Racquel M. Michel, P.E.  
Senior Engineer, Planning Dept.  
Development Review Services

c: File  
CO Clerk  
mao

PO Box 1293

Albuquerque

New Mexico 87103

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CONSULTANT



PROJECT  
 WENDY'S 4TH STREET STORE (STORE #3104)  
 ADDITION AND PROTOTYPE REMODEL

3601 4th STREET NW  
 ALBUQUERQUE 87107

MARK	DATE
ISSUE DATE:	DESCRIPTION

PROJECT NO.:  
 COPYRIGHT AKI ARCHITECTS, LLC  
 SHEET TITLE

EXISTING/DEMO SITE PLAN  
 REMODEL AND TCL SITE PLAN

AS-1.0

ZONING DATA

ADDRESS: 3601 4TH STREET NW  
 PROPERTY LEGAL DESCRIPTION: LOT A OF REPEAT LOTS 21 & 22, BLOCK 2, FITZGERALD ADDITION AND LOTS 1, 2, 3, AND 4 BLOCK A ZONING: C-3 (RESTAURANT WITH DRIVE THROUGH) NORTH FOURTH STREET PARK III CORRIDOR PLAN ZONE ATLAS PAGE: G-14-Z  
 ZONING PROJECT NUMBER: BA-72-267 (NO MICROPLANNED PROJECT DATA FOUND, 4/15/10)

LOT AREA (108'x265'): 26,517 SF (0.609 ACRES)  
 BUILDING AREA: 2,226 SF  
 BUILDING ADDITION (10.5'x30.33'): 318.5 SF  
 REQUIRED LANDSCAPED AREA: 26,517 - (2,226+320) = 2,646 x 19% = 3,560 SF  
 LANDSCAPED AREA PROVIDED: 4643 SF  
 DINING ROOM SEATING (INCLUDING ADDITION): 82  
 REQUIRED PARKING: 82 / .4 = 20 SPACES  
 ON SITE PARKING PROVIDED: 32 SPACES (PARKING INCLUDES 1 ACCESSIBLE & 1 VAN ACCESSIBLE SPACE PLUS 1 MOTORCYCLE SPACE)  
 ALLOWABLE BLDG HEIGHT: 26-FT  
 REQUIRED SETBACKS (PER 0-1 ZONING):  
 FRONT: 11-FT (JUNCTION OF ENTRY DRIVE AND PUBLIC SIDEWALK)  
 REAR: 5-FT (ABOUTS SIDE OF R-2 ZONE)  
 SIDE: 0-FT

SITE REMODEL/ADDITION PLAN KEYED NOTES

- 4'x8' MOTORCYCLE PARKING SPACE, STRIPING AS SHOWN, WITH MINIMUM 12"x18" SIGN DESIGNATING "MOTORCYCLE PARKING". SEE DETAIL B
- TRAFFIC CIRCULATION DIRECTIONAL MARKING, SEE DETAIL A
- TWO COATS TRAFFIC PAINT, MARKINGS SHALL BE 4-INCH WIDE STRIPING (YELLOW ON CONCRETE, WHITE ON ASPHALT). DASHED LINES AS SHOWN, AS SHOWN, PER COABQ STANDARD DETAIL 2430. SEE EDGE DETAIL C
- STRIPED AND RESTRIPE PARKING AS SHOWN
- SHARPED LINES SHOW EXISTING CURB AND PAVING TO BE CUT AND REMOVED OR ADDED AS REQUIRED BY REMODEL
- HANDICAPPED PARKING SIGN, ONE OF HC SPACES SHALL BE SIGNED FOR VAN PARKING. SEE DETAIL
- EXTEND EXISTING 4'-8" HIGH 8" CWU SCREEN WALL 16" FOR FULL HEIGHT OF 6-FT. PAINT TO MATCH BUILDING. SEE DETAIL
- INSTALL #4 REBAR AT 16" OC, DRILL AND SET WITH EPOXY. BOLAARD SEE DETAIL
- BOOLAARD SEE DETAIL
- PRECAST CONCRETE PICNIC TABLES WITH BENCHES AS SHOWN BY OWNER. PROVIDE CONCRETE FOUNDATION PER MANUFACTURER'S RECOMMENDATIONS. CONTRACTOR SHALL PROVIDE COLLAPSIBLE FABRIC UMBRELLA WITH METAL POLE AT EACH TABLE. COLOR AS SELECTED BY OWNER.

SITE PLANS MAY BE SCALED  
DIMENSIONS NOT SHOWN

1

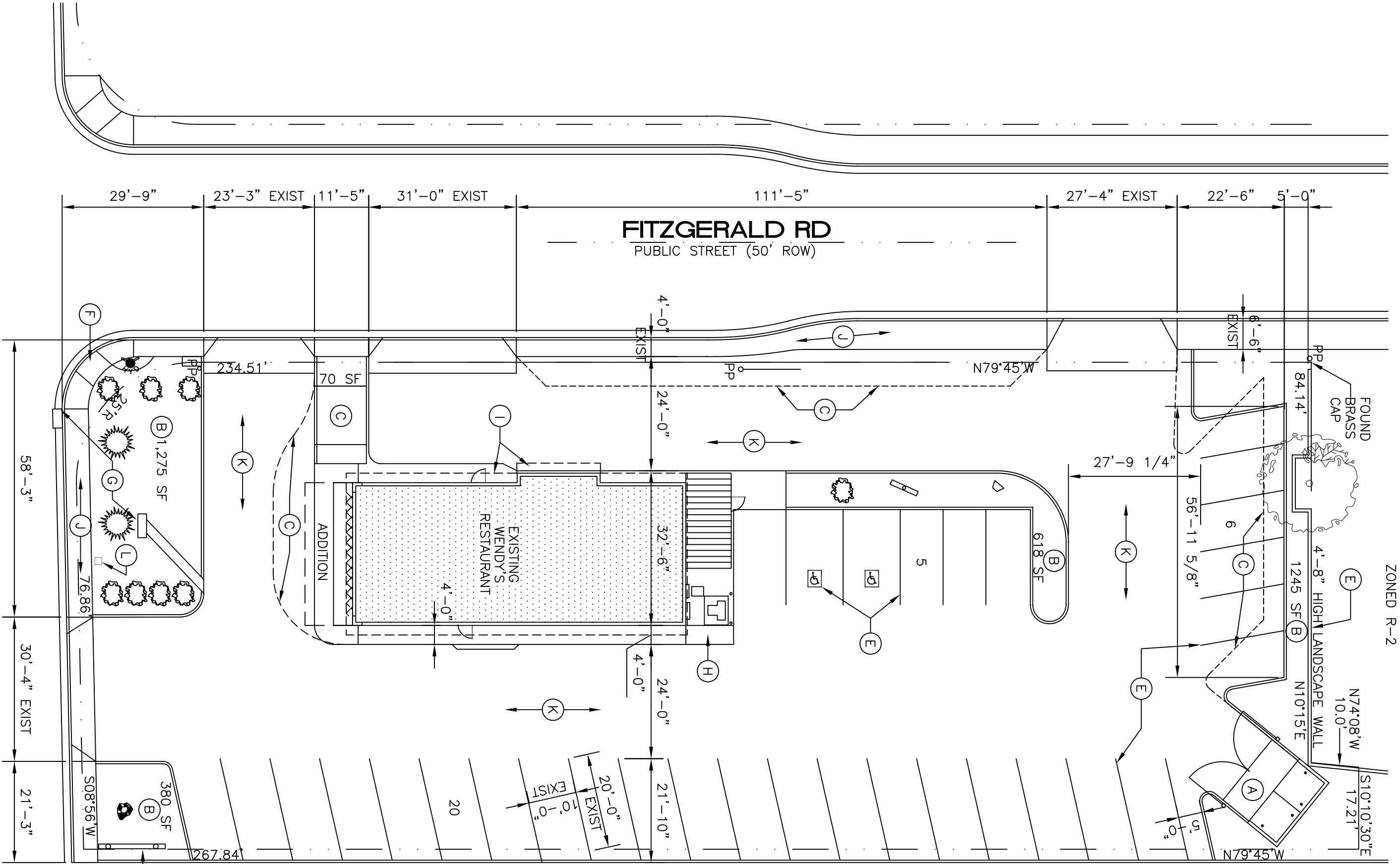
2

3

4

5

6



EXISTING PLANT MATERIAL IS SHOWN.  
 VERIFY TYPE, EXISTING LANDSCAPE AREAS  
 ARE COVERED WITH DECORATIVE ROCK

4th STREET NW  
PUBLIC STREET (60' ROW)

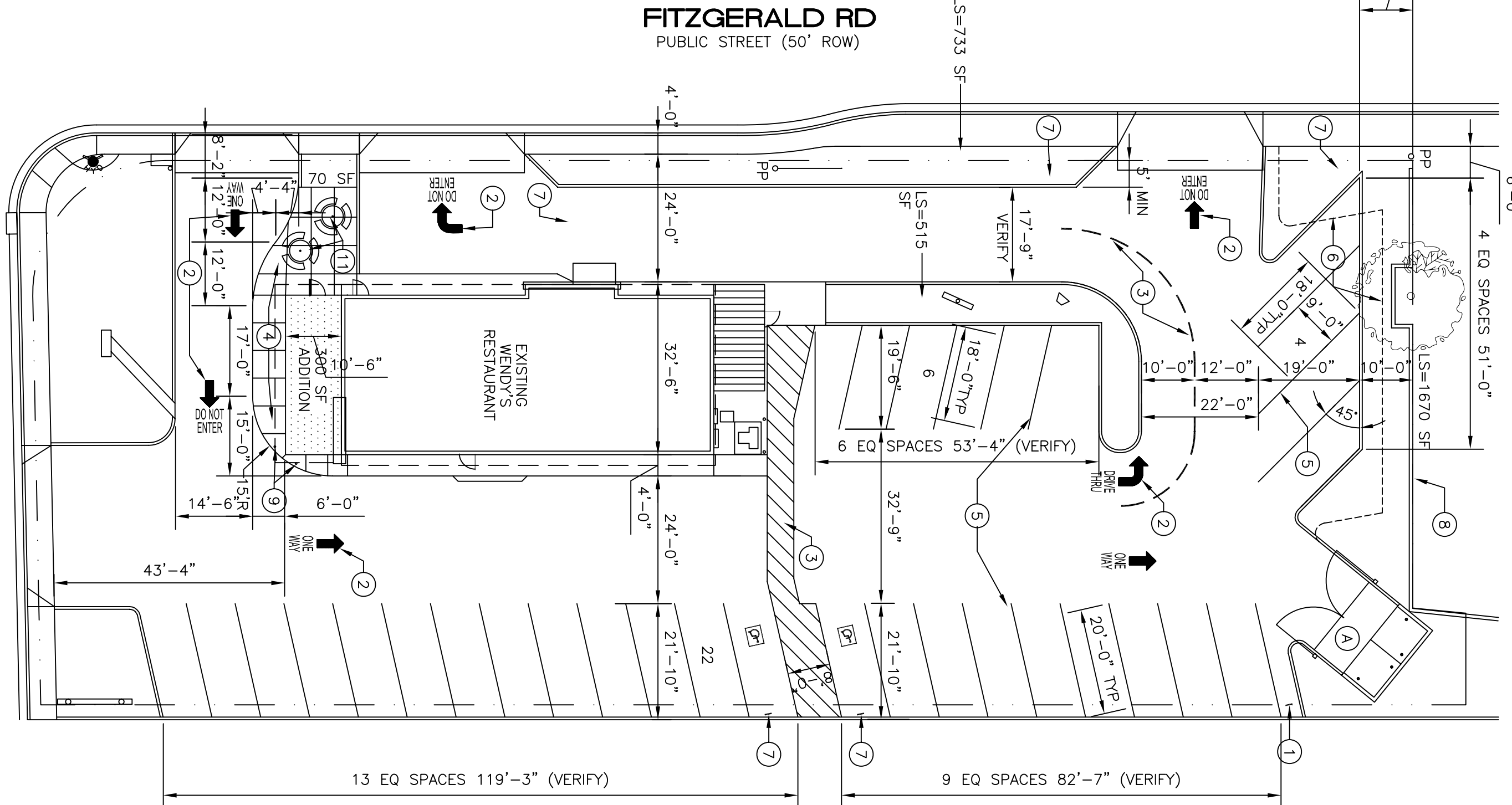
EXISTING/DEMOLITION SITE PLAN  
 ROTATED 10.25°  
 10 5 0 20  
 1" = 20'-0"

- SITE DEMOLITION PLAN KEYED NOTES
- EXISTING DUMPSTER ENCLOSURE.
  - CUT AND REMOVE EXISTING CONCRETE WALKS, CURBS, PAVING, AND LANDSCAPING AS REQUIRED TO MATCH EXISTING. DEMOLITION AREAS SHOWN HATCHED.
  - EXISTING PYLON SIGN.
  - REMOVE EXISTING PAINT STRIPE MARKINGS AS REQUIRED BY REMODEL.
  - EXISTING STORM DRAIN INLET.
  - EXISTING ACCESSIBLE RAMP.
  - EXISTING CANOPY OVERHANG.
  - EXISTING CONCRETE SIDEWALK.
  - EXISTING LANDSCAPE IRRIGATION VALVE BOX, MODIFY AS REQUIRED BY NEW LANDSCAPING.

GENERAL DEMOLITION/REMODEL NOTES

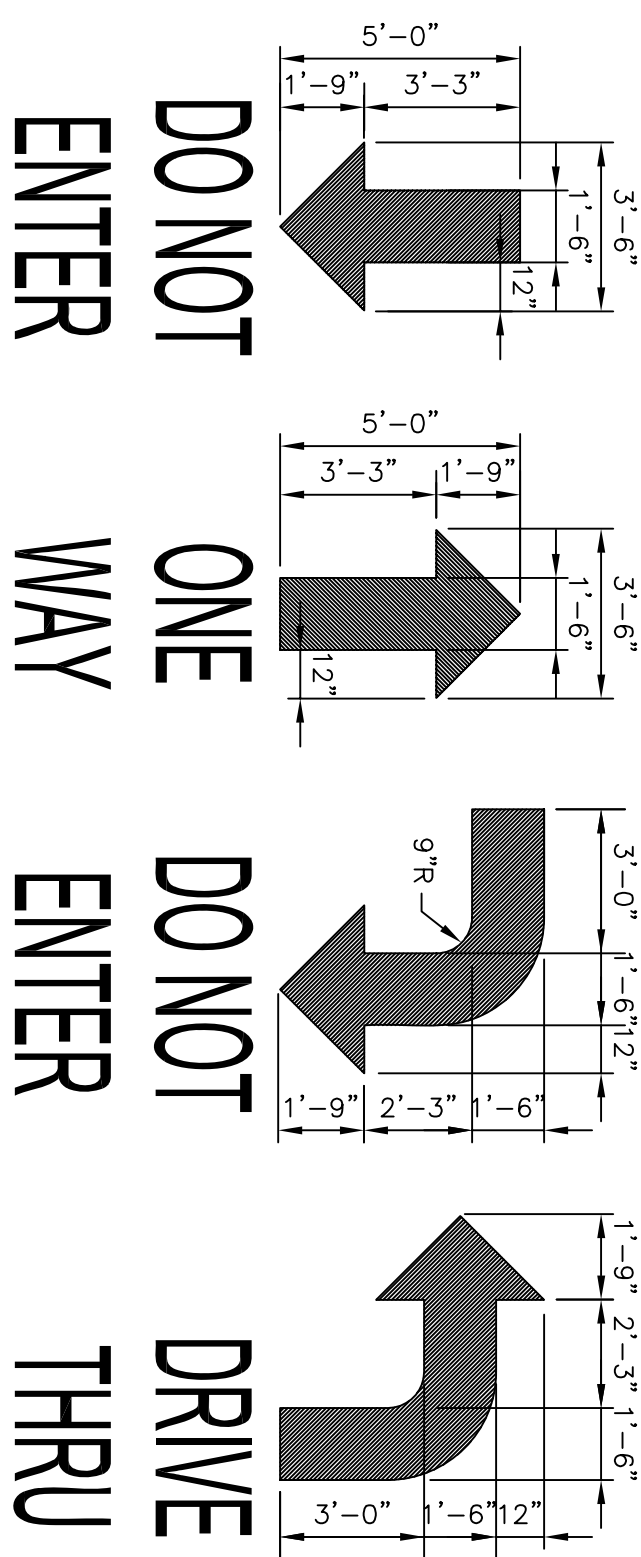
- ALL LANDSCAPE AREAS ARE COVERED WITH LANDSCAPE ROCK. TO REMAIN. ALL PLANTS SHOWN ARE EXISTING TO REMAIN. SEE LANDSCAPE PLAN FOR NEW LANDSCAPING. CONTRACTOR SHALL CUT AND REMOVE PAVING AS REQUIRED AND INSTALL 4" PVC PIPE UNDER PAVING FOR NEW LANDSCAPE IRRIGATION LINES AS REQUIRED. COORDINATE WITH LANDSCAPE CONTRACTOR FOR REQUIRED LOCATIONS. PATCH BACK PAVING AND SITE AS REQUIRED.
- SEE ALL DRAWINGS FOR REMOVALS AND REMODEL/ADDITION WORK. NOTIFY THE ARCHITECT OF ANY CONDITIONS THAT DO NOT MATCH THE DRAWINGS AND THAT AFFECT THE PROJECT.
- COORDINATE REMOVAL, RELOCATION, OR REPLACEMENT OF EXISTING EQUIPMENT AND FIXTURES WITH THE OWNER.
- ALL DEMOLITION DEBRIS SHALL BE DISPOSED OF AT AN APPROVED LAND FILL. THE CONSTRUCTION AREAS SHALL BE KEPT CLEAN AT ALL TIMES.
- ALL AREAS ADJACENT TO REQUIRED DEMOLITION AND REMODEL CONSTRUCTION SHALL BE PROTECTED FROM DAMAGE BY ANY CONSTRUCTION ACTIVITIES. DAMAGED AREAS SHALL BE REPLACED OR REFRESHED TO MATCH EXISTING.
- CUT AND REMOVE ALL MATERIALS, PAVING, SLABS, WALLS, CEILINGS, AND STRUCTURE AS REQUIRED BY THE REMODEL AND PATCH BACK TO MATCH EXISTING.

SITE PLANS MAY BE SCALED  
DIMENSIONS NOT SHOWN



4th STREET NW  
PUBLIC STREET (60' ROW)

REMODEL/ADDITION SITE PLAN  
 10 5 0 20  
 1" = 20'-0"

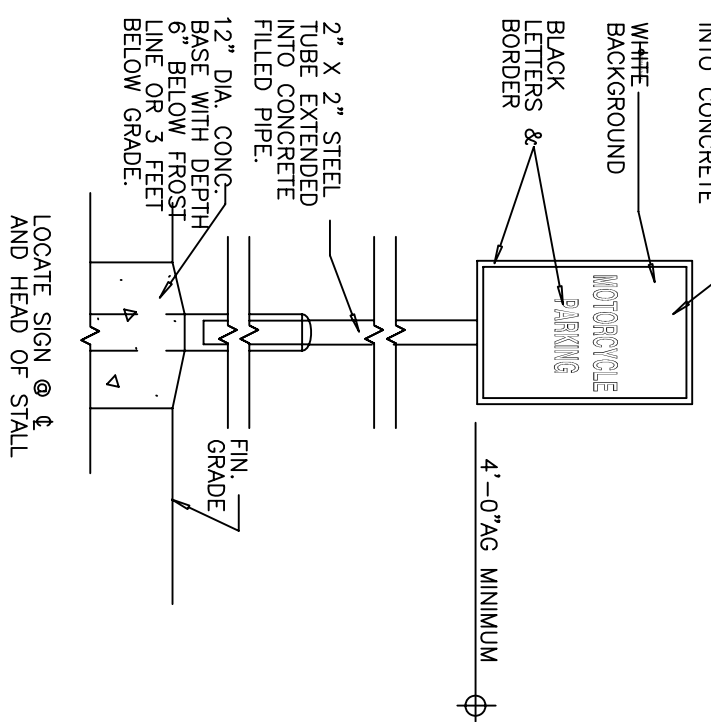


TWO (2) COATS  
 YELLOW TRAFFIC  
 PAINT

PAINTED TRAFFIC ARROWS

N.T.S.

MOTORCYCLE PARKING SIGN



CONCRETE SIDEWALK, TYP.

