

FILE COPY



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

July 30, 1990

Thomas Isaacson
Isaacson & Arfman, P.A.
128 Monroe Street, NE
Albuquerque, New Mexico 87108

RE: REVISED DRAINAGE PLAN FOR A LOADING DOCK - PREMIER FOODS
(G-14/D32) ENGINEER'S STAMP DATED JULY 17, 1990

Dear Mr. Isaacson:

Based on the information provided on your submittal of July 18, 1990, the above referenced plan is approved for Building Permit.

Please attach a copy of this plan to the construction sets prior to sign-off by Hydrology.

Also, a separate permit is required for construction within City right-of-way. A copy of this approval letter must be on hand when applying for the excavation permit.

If I can be of further assistance, please feel free to call me at 768-2650.

Cordially,

Fred J. Aguirre
for Fred J. Aguirre, P.E.
Hydrologist

BJM:FJA/bsj
xc:Darlene Saavedra

PUBLIC WORKS DEPARTMENT

Walter H. Nickerson, Jr., P.E.
Assistant Director Public Works

ENGINEERING GROUP

Telephone (505) 768-2500

AN EQUAL OPPORTUNITY EMPLOYER

DRAINAGE INFORMATION SHEET

Loading Dock for

PROJECT TITLE: Premier Foods ZONE ATLAS/DRAINAGE FILE # G-14/032

LEGAL DESCRIPTION: Portion of Lots 1 & 2, Block B, Monkbridge Add.

CITY ADDRESS: 3900 Second Str. NW

ENGINEERING FIRM: Isaacson & Arfman, PA CONTACT: Tom Isaacson

ADDRESS: 128 Monroe NE PHONE: 268-8828

OWNER: Premier Foods CONTACT: Paul Lambert

ADDRESS: 3900 Second St. NW PHONE: 268-6388

ARCHITECT: — CONTACT: —

ADDRESS: — PHONE: —

SURVEYOR: Verlon Hall CONTACT: V. Hall

ADDRESS: 12805 Manual Blvd NE PHONE: 292-6727

CONTRACTOR: — CONTACT: —

ADDRESS: — PHONE: —

PRE-DESIGN MEETING:

— YES

X NO

— COPY OF CONFERENCE
RECAP SHEET PROVIDED

DRB NO. —

EPC NO. —

PROJECT NO. —

TYPE OF SUBMITTAL:

— DRAINAGE REPORT

X DRAINAGE PLAN

— CONCEPTUAL GRADING & DRAIN PLAN

— GRADING PLAN

— EROSION CONTROL PLAN

— ENGINEER'S CERTIFICATION

CHECK TYPE OF APPROVAL SOUGHT:

— SECTOR PLAN APPROVAL

— SKETCH PLAT APPROVAL

— PRELIMINARY PLAT APPROVAL

— SITE DEVELOPMENT PLAN APPROVAL

— FINAL PLAT APPROVAL

X ~~SECTOR~~ BUILDING PERMIT APPROVAL

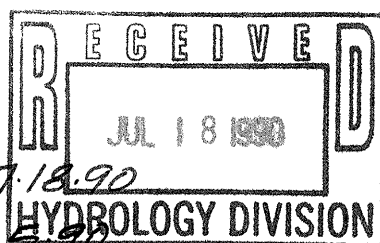
— FOUNDATION PERMIT APPROVAL

— CERTIFICATE OF OCCUPANCY APPROVAL

— ROUGH GRADING PERMIT APPROVAL

X GRADING/PAVING PERMIT APPROVAL

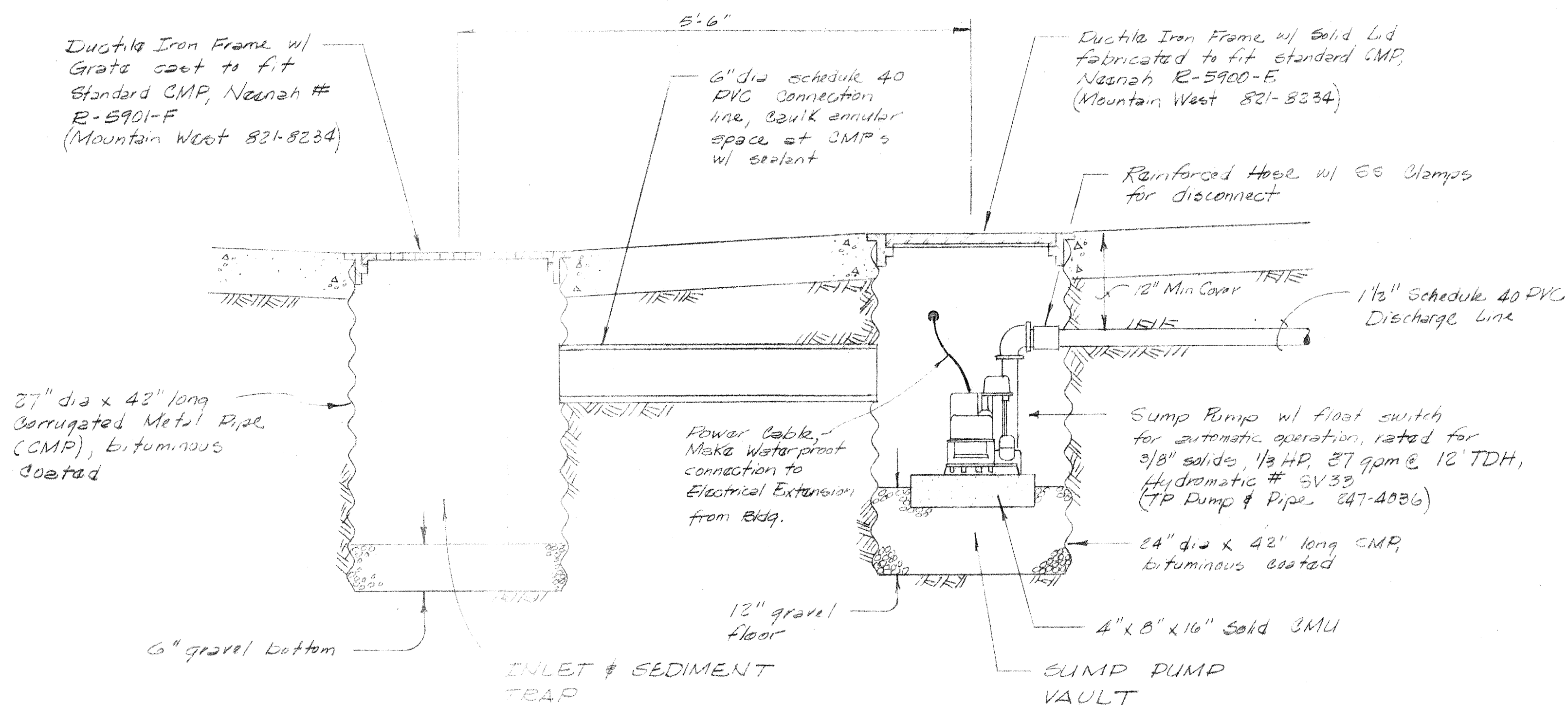
— OTHER — (SPECIFY)



Re Submitted 7.18.90

DATE SUBMITTED: 7.5.90

BY: Tom Isaacson



SUMP PUMP SECTION
1"=10'



LOCATION MAP

SITE

HYDROLOGY APPROVAL & INSPECTION

APPROVED FOR BUILDING PERMIT
ENGINEER *Barry J. Montoya* DATE *7/24/90*
INSPECTION REQUESTED DATE _____
APPROVAL DATE _____ DISAPPROVED _____
S019 APPROVAL DATE _____
SURVEY DATE _____
HYDROLOGY BOOK NO./PAGE NO. _____
EXAMINED BY _____
COMMENTS _____

G-14-Z

PROJECT & DRAINAGE INFORMATION

THE PROJECT SITE WAS PREVIOUSLY A RESIDENTIAL LOT WITH A SMALL RESIDENCE WHICH HAS BEEN DEMOLISHED AND REMOVED. THIS PROJECT PROPOSES A NEW TRUCK LOADING DOCK WITH CONCRETE PARKING SPACE FOR FOUR TRUCKS. THE NEW LOADING DOCK WILL PROVIDE TRUCK ACCESS AT DOCK HEIGHT FOR AN EXISTING FOOD DISTRIBUTION BUSINESS.

DEVELOPED DRAINAGE CHARACTERISTICS OF THE PROJECT SITE WILL REMAIN UNCHANGED EXCEPT FOR A SMALL INCREASE IN TOTAL RUNOFF FROM THE PROJECT. EXISTING PEAK RUNOFF TO THE ADJACENT STREET, AZTEC ROAD, IS .15 CFS; DEVELOPED PEAK RUNOFF (FROM SUMP PUMPING) IS REDUCED TO .08 CFS.

EXISTING DRAINAGE CONDITIONS

Tc = 10 MIN. BY INSPECTION
RAINFALL INTENSITY, I:
100 YR. 6 HR. VOLUME = 2.2"
INTENSITY FACTOR = 2.11
I = 2.2X2.11 = 4.64 "/HR.
AREA A = (45'+53')/2X48' = 2,352'²
+ 43,560 = 0.54 AC.
RUNOFF COEFFICIENT, C (COMPOSITE)
ROOF: 30'X30' + 2,352X.90 = .34
YARD: (2,352-900) + 2,352X.40 = .25
C = .59

$Q_{100} = CIA = .59 \times 4.64 \times 0.54 = 0.15 \text{ CFS}$

RUNOFF VOLUME:
SOIL SERIES: GM
HYDROLOGIC SOIL GROUP B
% IMPERVIOUS: 38%
CN = 75
DIRECT RUNOFF = 0.5"
 $V_{100} = .5/12 \times 2,352 = 98 \text{ CU.FT.}$

DEVELOPED DRAINAGE CONDITIONS

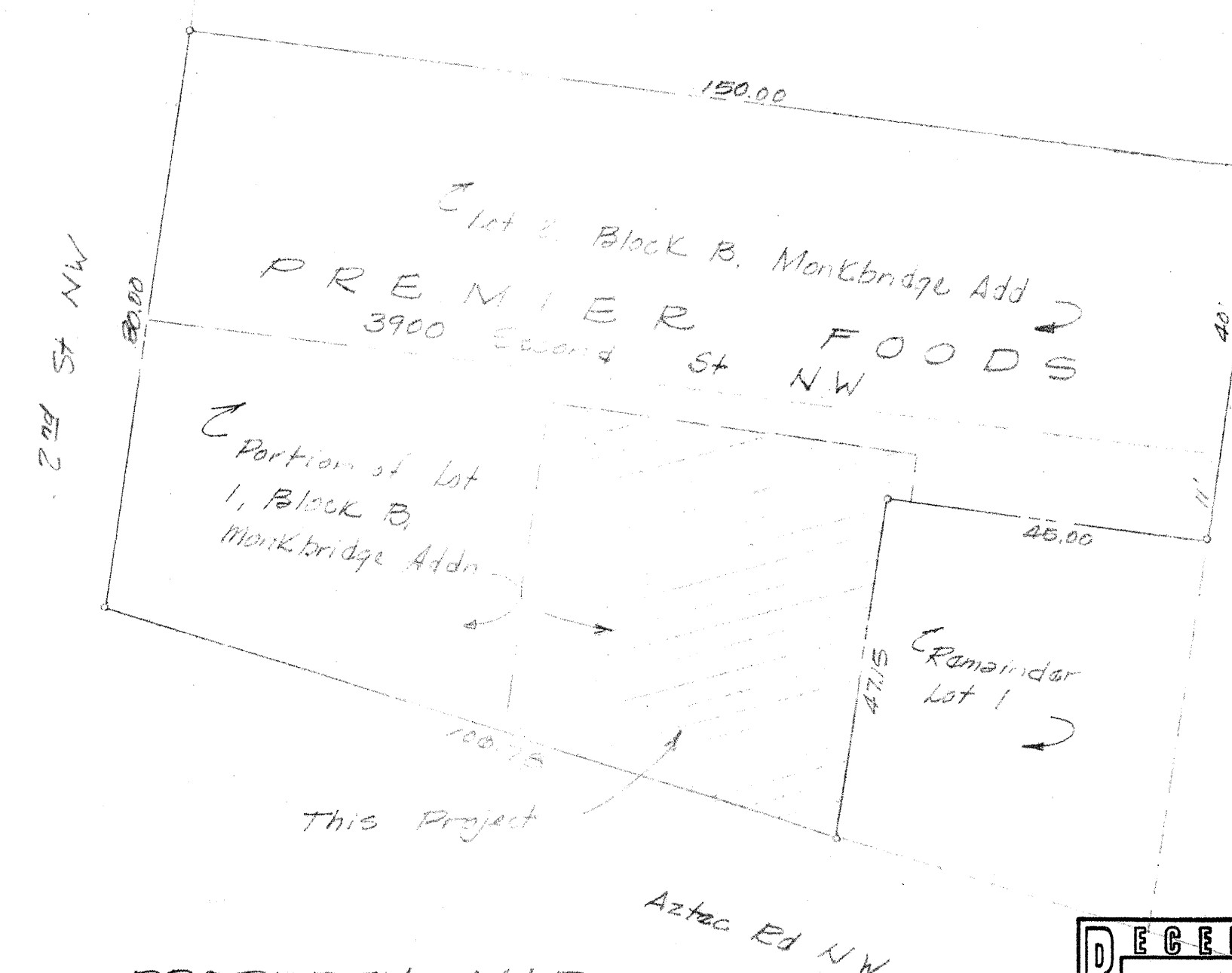
$Q_{100}^* = CIA = .90 \times 4.64 \times 0.54 = 0.23 \text{ CFS}$
 $\times 449 = 103 \text{ GPM}$
 Q_{100} (FROM SUMP PUMP TO R/W) = 37 GPM
 $V_{100} = 1.9/12 \times 2,352 = 372 \text{ CU.FT. (CN = 97)}$

*TO LOADING DOCK PARKING AREA.

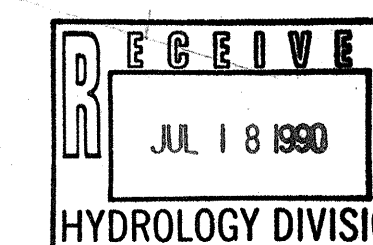
NOTICE TO CONTRACTOR

1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY. AN APPROVED COPY OF THESE PLANS MUST BE SUBMITTED AT THE TIME OF APPLICATION FOR THIS PERMIT.
2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1986.
3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 765-1234, FOR LOCATION OF EXISTING UTILITIES.
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTION. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
5. BACKFILL COMPACTION SHALL BE ACCORDING TO RESIDENTIAL STREET USE.
6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.

APPROVALS	NAME	DATE
HYDROLOGY	<i>Barry J. Montoya</i>	<i>7/24/90</i>
INSPECTOR		
ACE/FIELD		



PROPERTY MAP
1"=20'

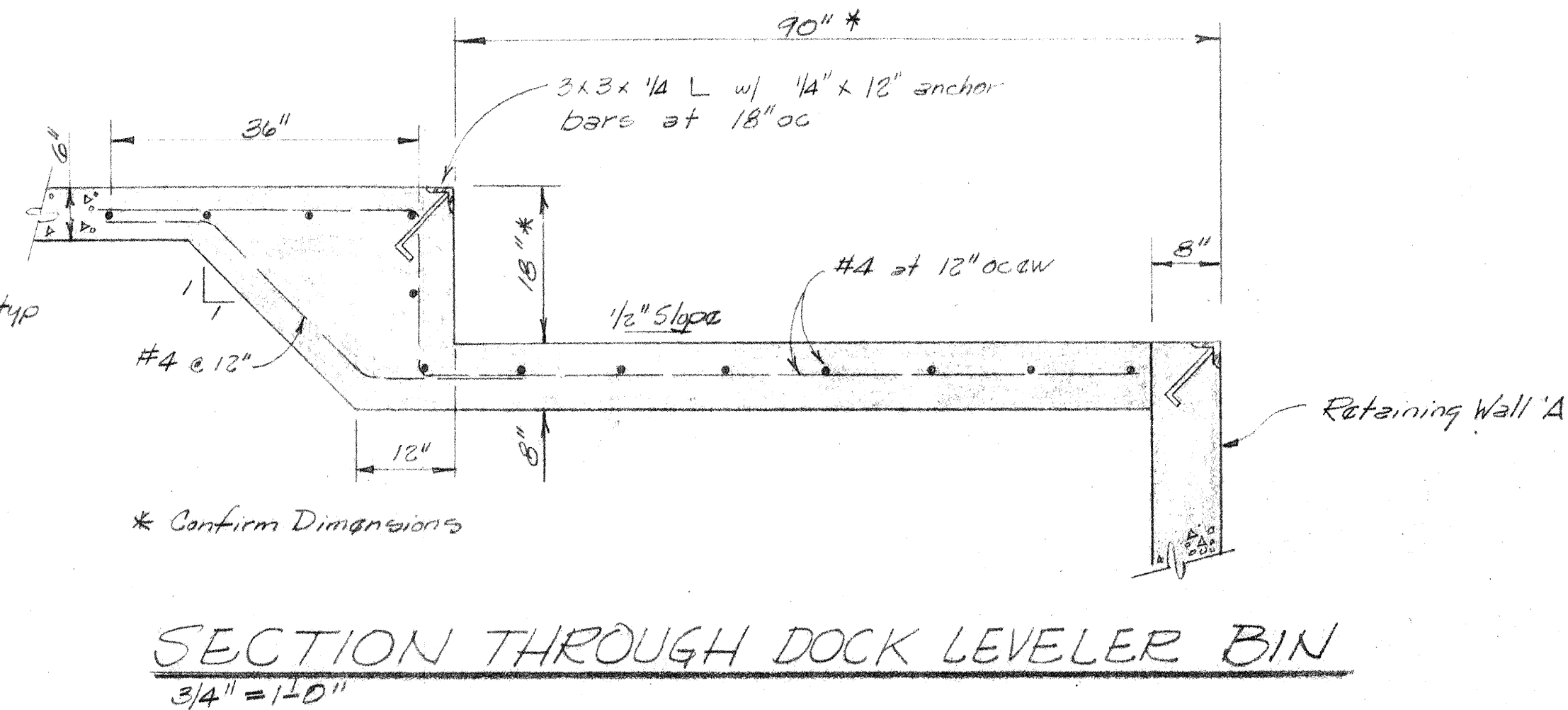
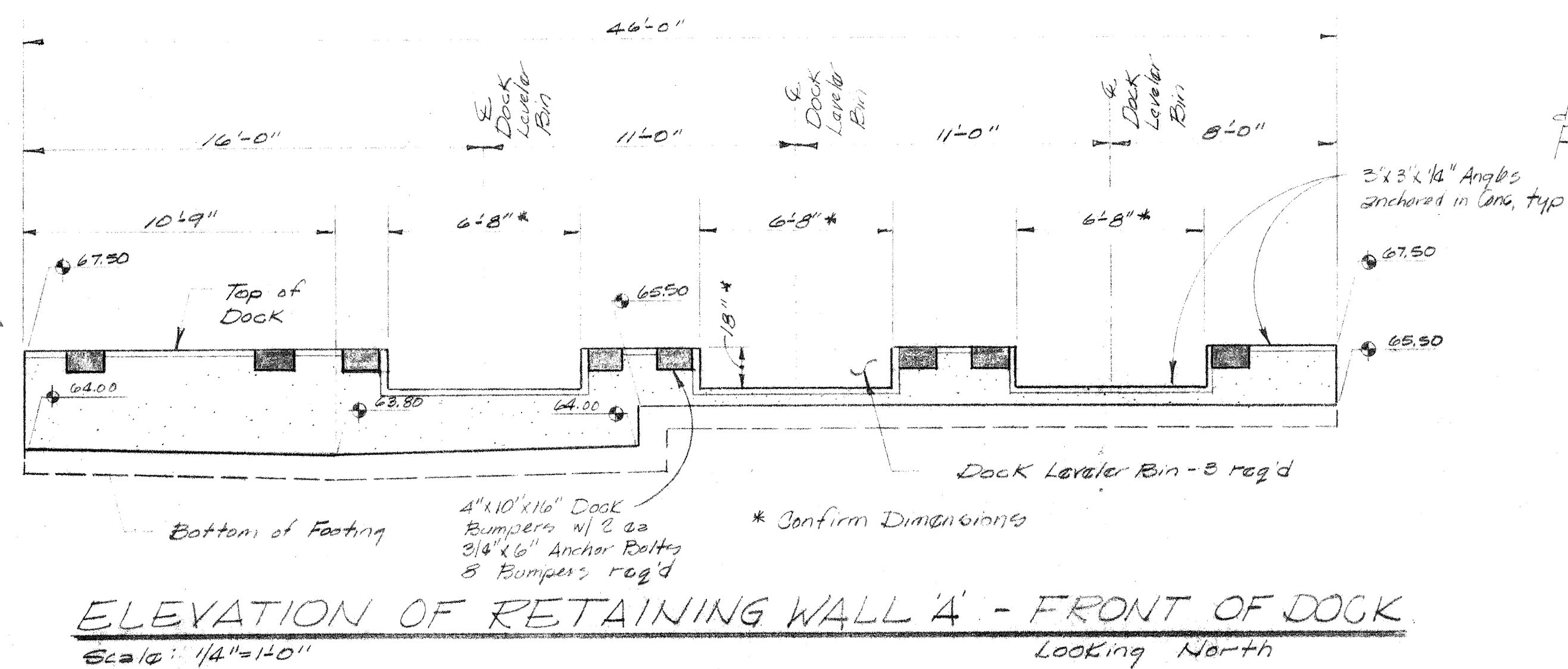


GRADING, DRAINAGE & CONSTRUCTION PLANS

**FOR
PREMIER FOODS LOADING DOCK**

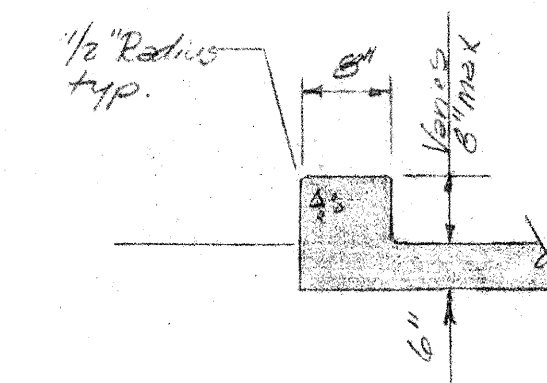
3900 Second Street NW



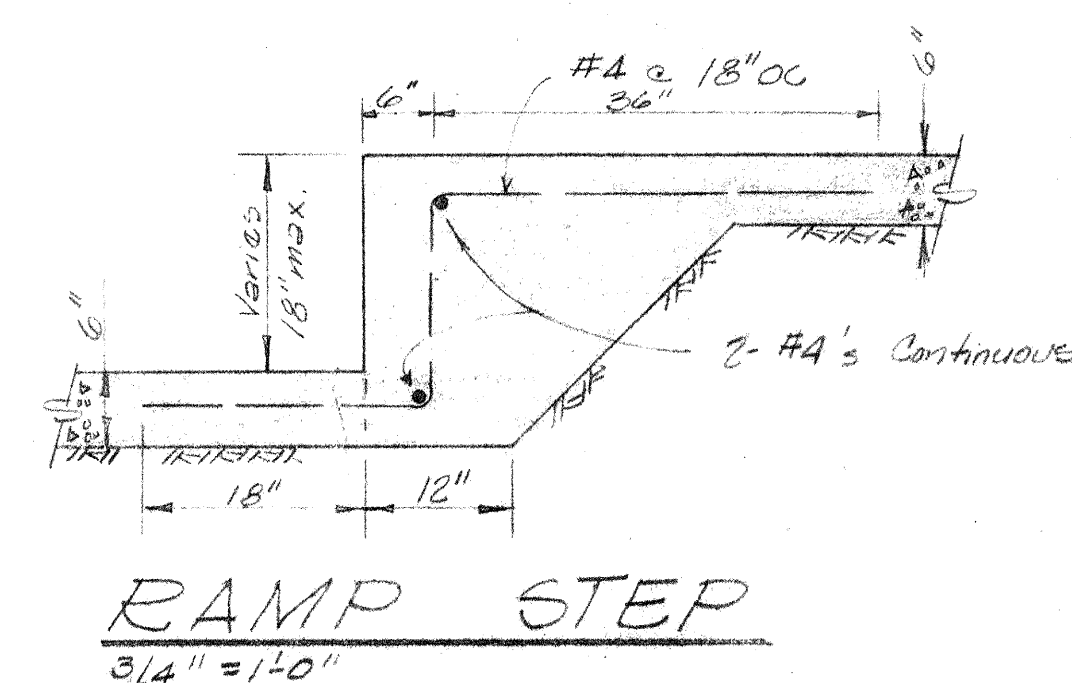
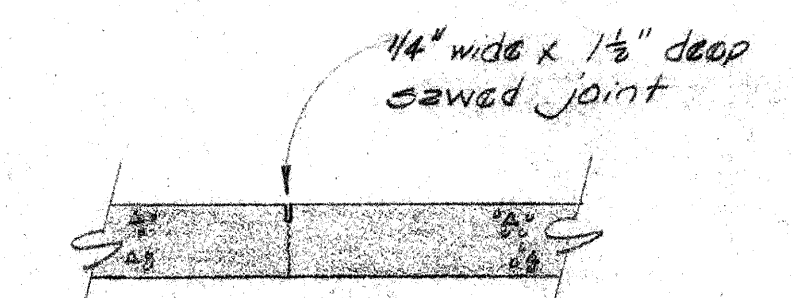
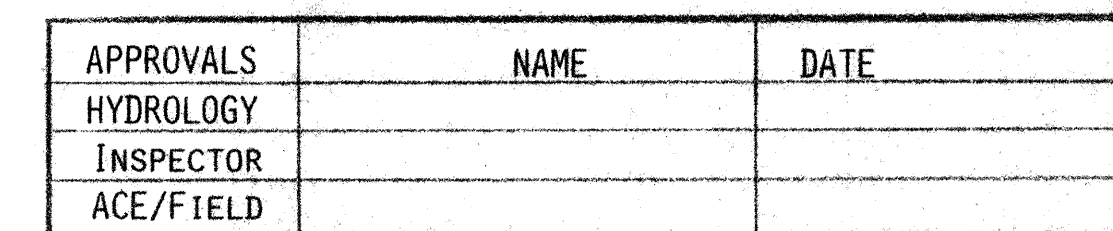
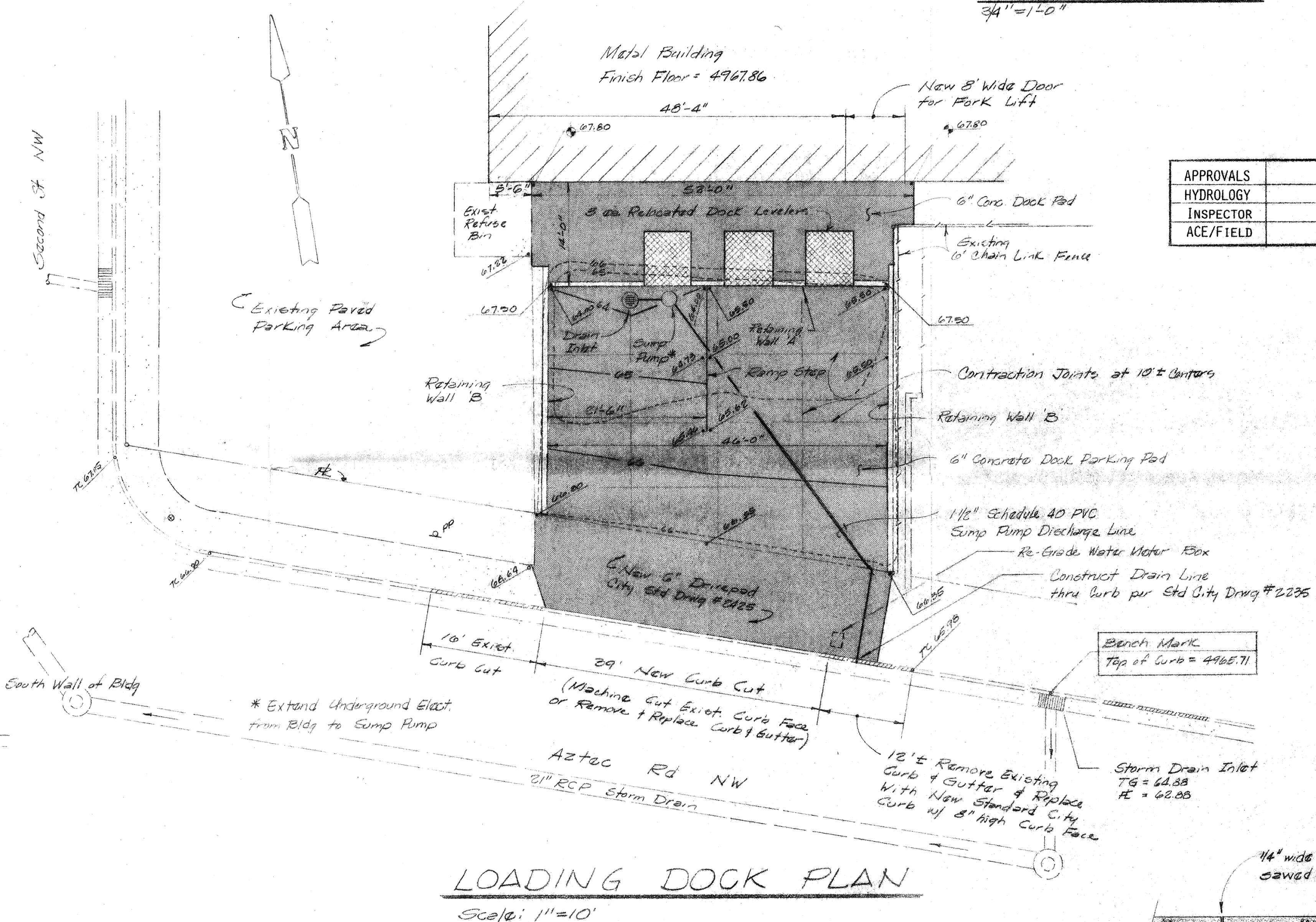
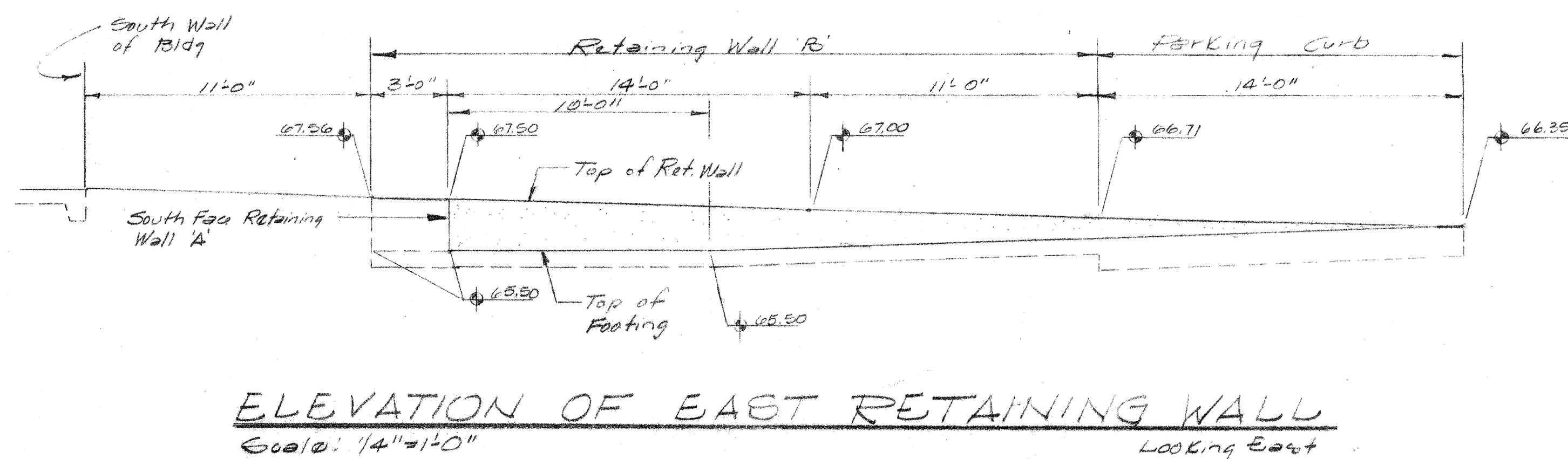
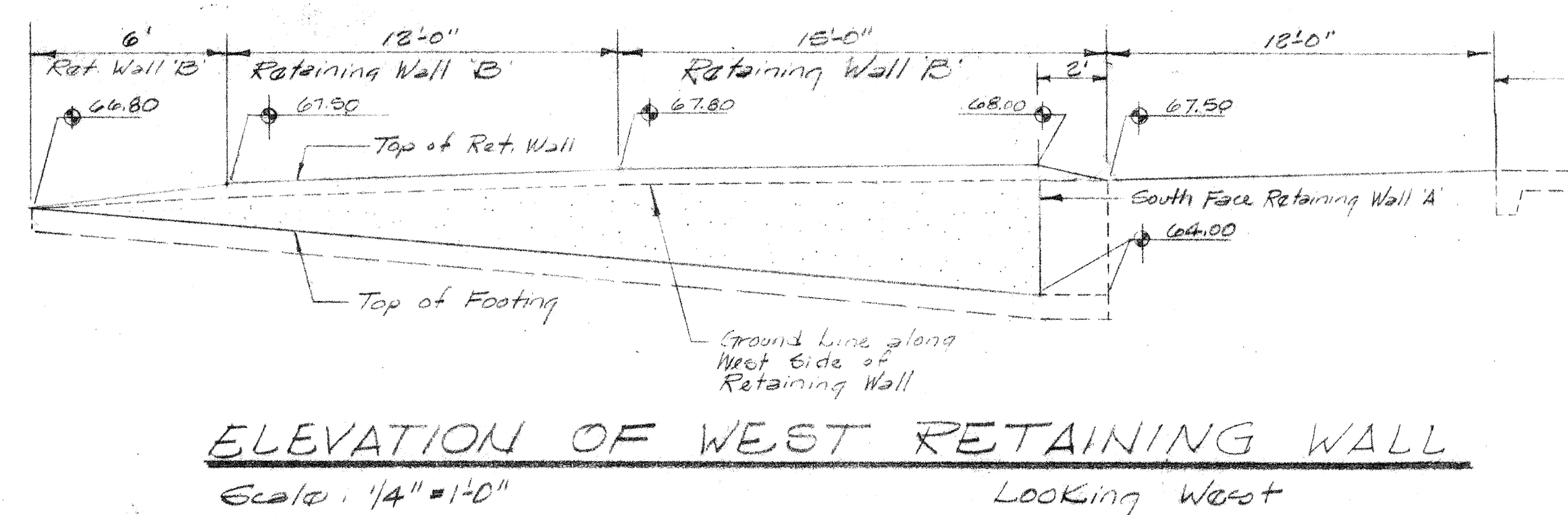
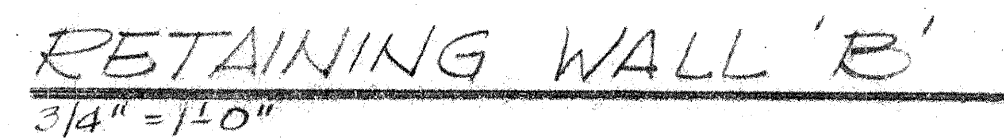
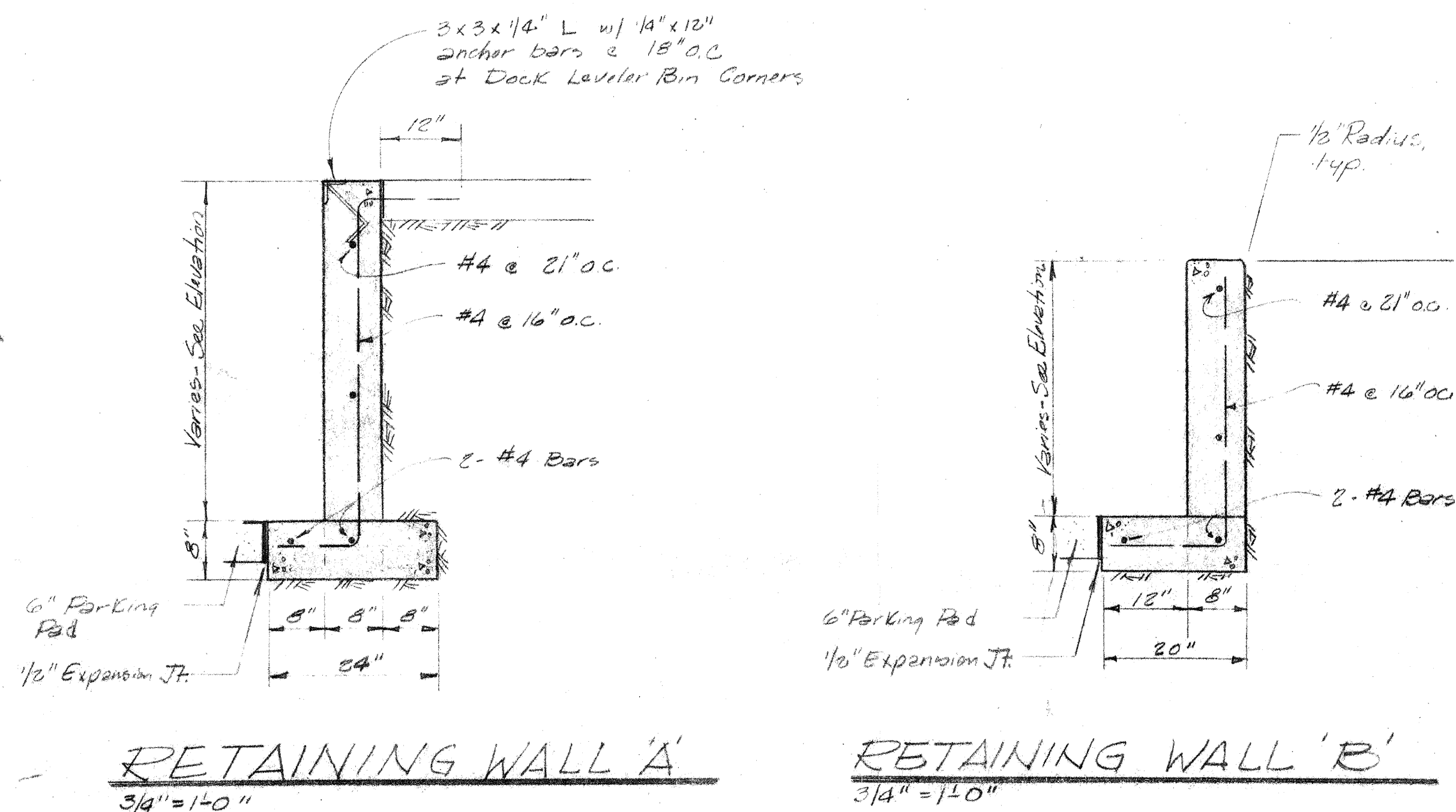


GENERAL NOTES

1. Concrete shall be air-entrained, shall have Fiber Mesh reinforcing, and shall have a 28 day compressive strength of 3500 psi.



PARKING CURB
3/4" = 1'-0"



GRADING, DRAINAGE & CONSTRUCTION PLANS

**FOR
PREMIER FOODS LOADING DOCK**

3900 Second Street NW

SHEET 2/2