

CITY OF ALBUQUERQUE



August 21, 2018

Del Jack
3805 Tonkawa trail unit 1
Austin, TX 78756

Re: Pond Gardens
1800 Candelaria rd
Traffic Circulation Layout
Architect's Stamp **08-20-18** (G13-D036)

Dear Mr. Jack,

Based upon the information provided in your submittal received 08-21-18, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

1. List the number of parking spaces required by the zoning code as well as the proposed number of parking spaces including bicycle and motorcycle parking.
2. Clarify existing property lines; you should be able to get the full site with all the details using a 1"=20' scale. A scale of 1"=20' is recommended for sites less than 5 acres.
3. Please list the width and length for all existing and proposed parking spaces. Some dimensions are not shown.
4. The handicap accessible spaces must include an access aisle. Van accessible aisles should be 8ft wide; all others should be 5ft wide.
5. The ADA access aisles shall have the words **"NO PARKING"** in capital letters, each of which shall be at least one foot high and at least two inches wide, placed at the rear of the parking space so as to be close to where an adjacent vehicle's rear tire would be placed. (66-1-4.1.B NMSA 1978)
6. Show all drive aisle widths and curb cut widths. Some dimensions are not shown.
7. One-way vehicular paths require pavement directional signage and a posted **"Do Not Enter"** sign at the point of egress. Please show detail and location of posted signs.
8. Add a note stating "All broken or cracked sidewalk must be replaced with sidewalk and curb & gutter." A build note must be provided referring to the appropriate City Standard drawing.

Resubmit a revised plan along with fully completed Drainage Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation. PDF copies of the plans and submittal package must be emailed to PLNDRS@cabq.gov at time of resubmittal. If you have any questions, please contact me at 924-3630.

Sincerely,

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

CITY OF ALBUQUERQUE



Logan Patz
Senior Engineer, Planning Department
Development Review Services

LWP via: email
C: CO Clerk, File

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 6 2018)

Project Title: POND GARDENS

DRB#: _____ Building Permit #: _____

Legal Description: TRACT 78-A-2

EPC#: _____ Hydrology File #: 613.0036

City Address: 1800 CANDELARIA ROAD N.W., ALBUQUERQUE, NEW MEXICO 87107

Work Order#: _____

Applicant: DEL JACK

Address: 3805 TONKAVA TRAIL UNIT A-1, AUSTIN, TEXAS 78756

Phone#: 505-235-2670 Fax#: _____

Contact: _____

Other Contact: _____

E-mail: deljack@yahoo.com

Address: _____

Contact: _____

Phone#: _____

Fax#: _____

E-mail: _____

TYPE OF DEVELOPMENT: _____ PLAT (# of lots) _____ RESIDENCE _____ DRB SITE _____ ADMIN SITE

IS THIS A RESUBMITTAL? _____ Yes _____ No

DEPARTMENT ☒ TRANSPORTATION _____ HYDROLOGY/DRAINAGE

Check all that Apply:

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

☒ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY

☐ PRELIMINARY PLAT APPROVAL
☐ SITE PLAN FOR SUB'D APPROVAL
☐ SITE PLAN FOR BLDG. PERMIT APPROVAL
☐ FINAL PLAT APPROVAL

☐ SIA/ RELEASE OF FINANCIAL GUARANTEE
☐ FOUNDATION PERMIT APPROVAL
☐ GRADING PERMIT APPROVAL

☐ SO-19 APPROVAL
☐ PAVING PERMIT APPROVAL
☐ GRADING/ PAD CERTIFICATION
☐ WORK ORDER APPROVAL
☐ CLOMR/LOMR

☐ FLOODPLAIN DEVELOPMENT PERMIT
☐ OTHER (SPECIFY) _____

TYPE OF SUBMITTAL:

☐ ENGINEER/ARCHITECT CERTIFICATION
☐ PAD CERTIFICATION
☐ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☐ DRAINAGE REPORT
☐ DRAINAGE MASTER PLAN
☐ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
☐ ELEVATION CERTIFICATE
☐ CLOMR/LOMR

☒ TRAFFIC CIRCULATION LAYOUT (TCL)

☐ TRAFFIC IMPACT STUDY (TIS)

☐ STREET LIGHT LAYOUT

☐ OTHER (SPECIFY) _____

☐ PRE-DESIGN MEETING?



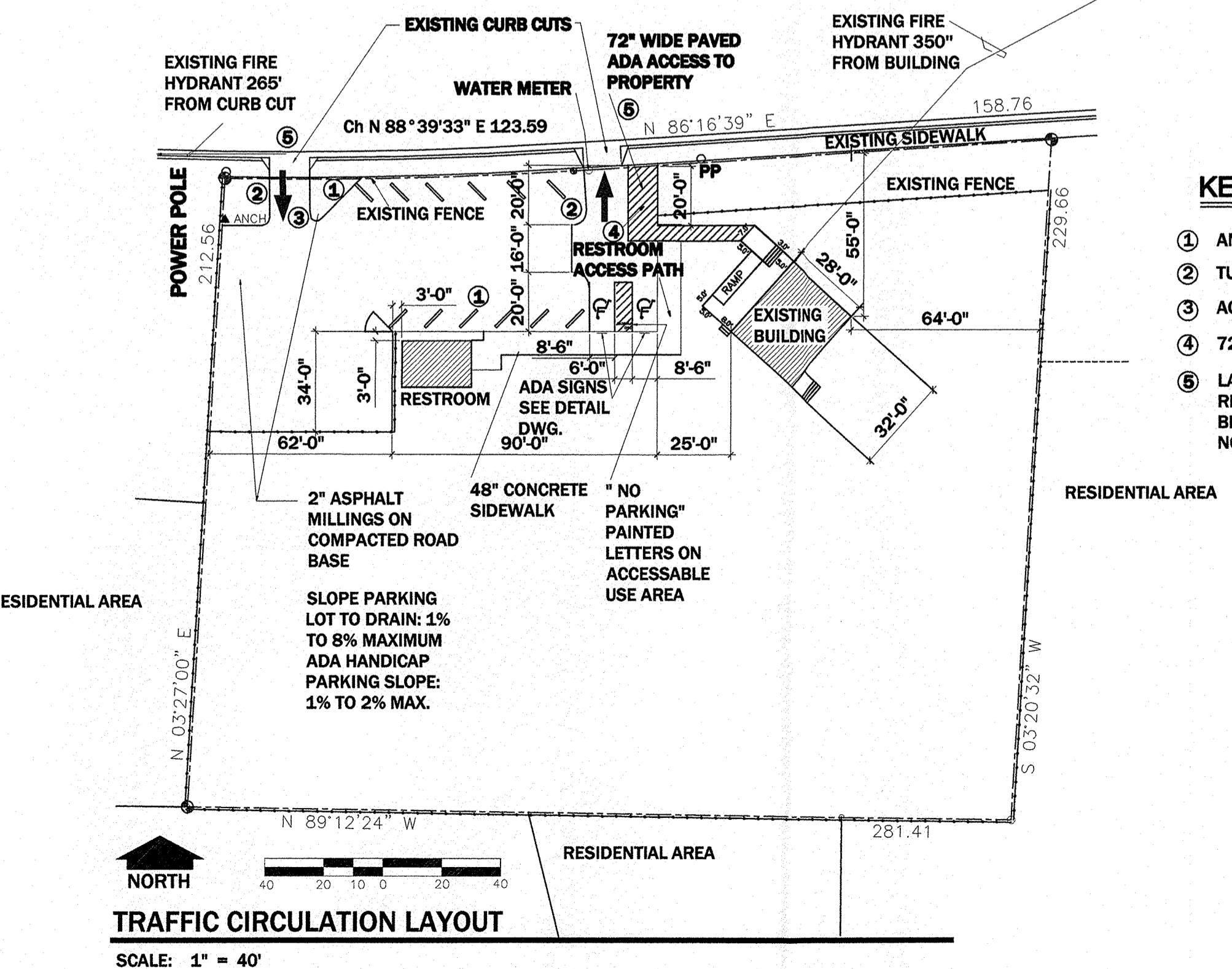
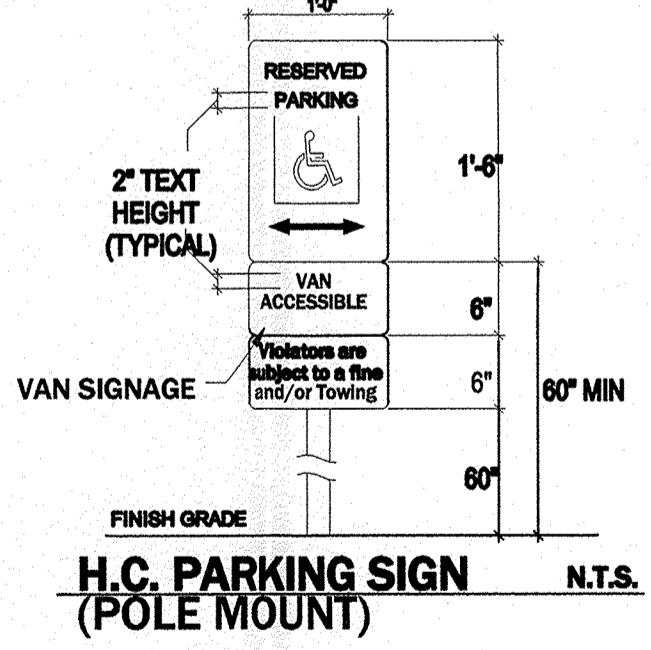
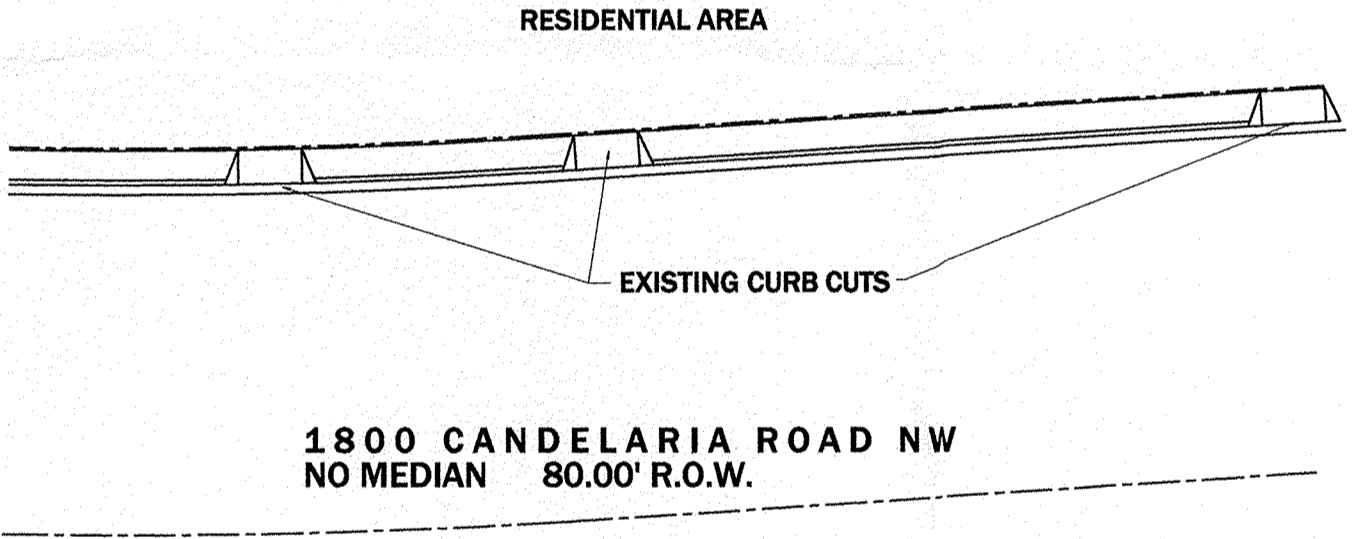
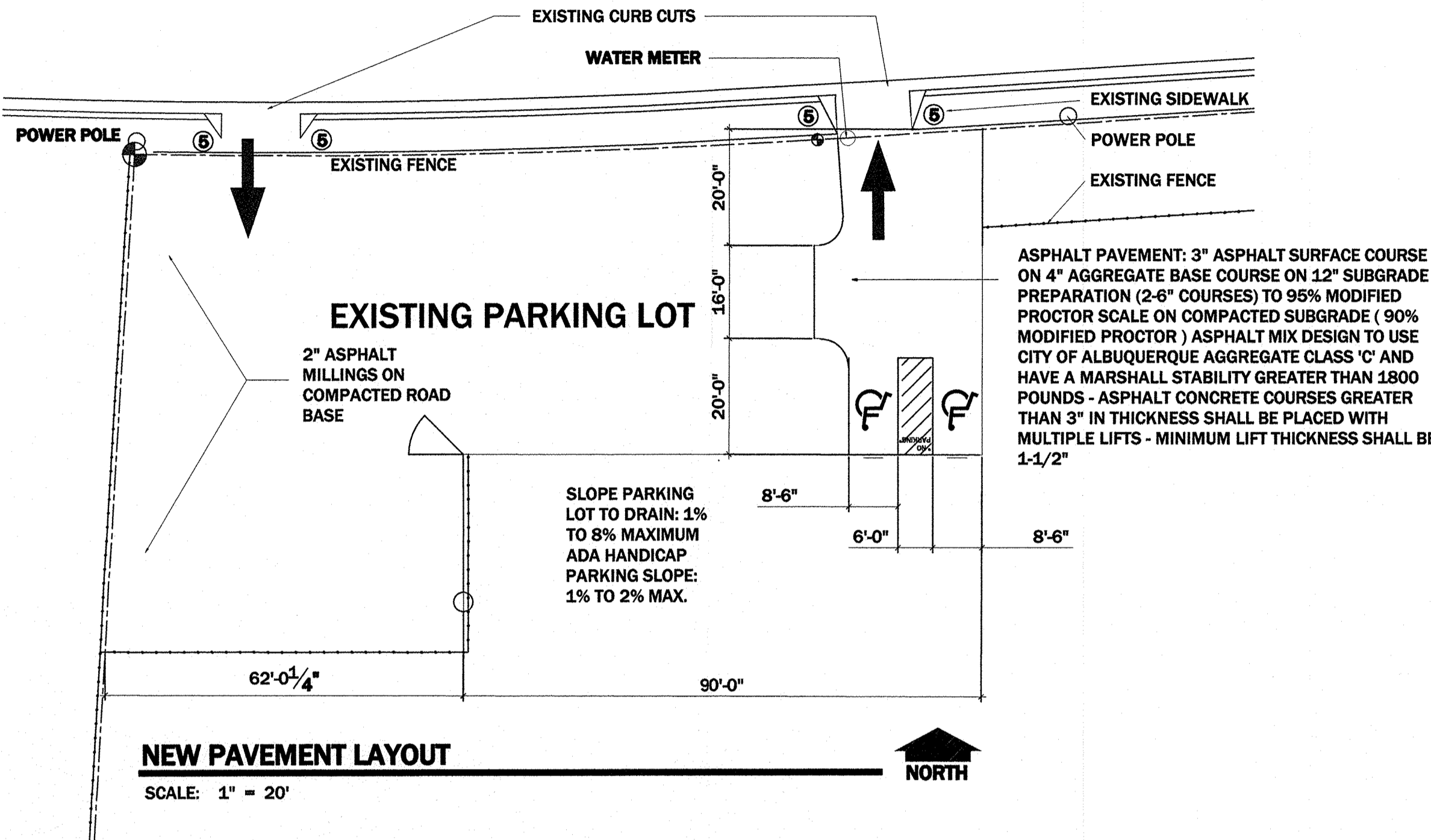
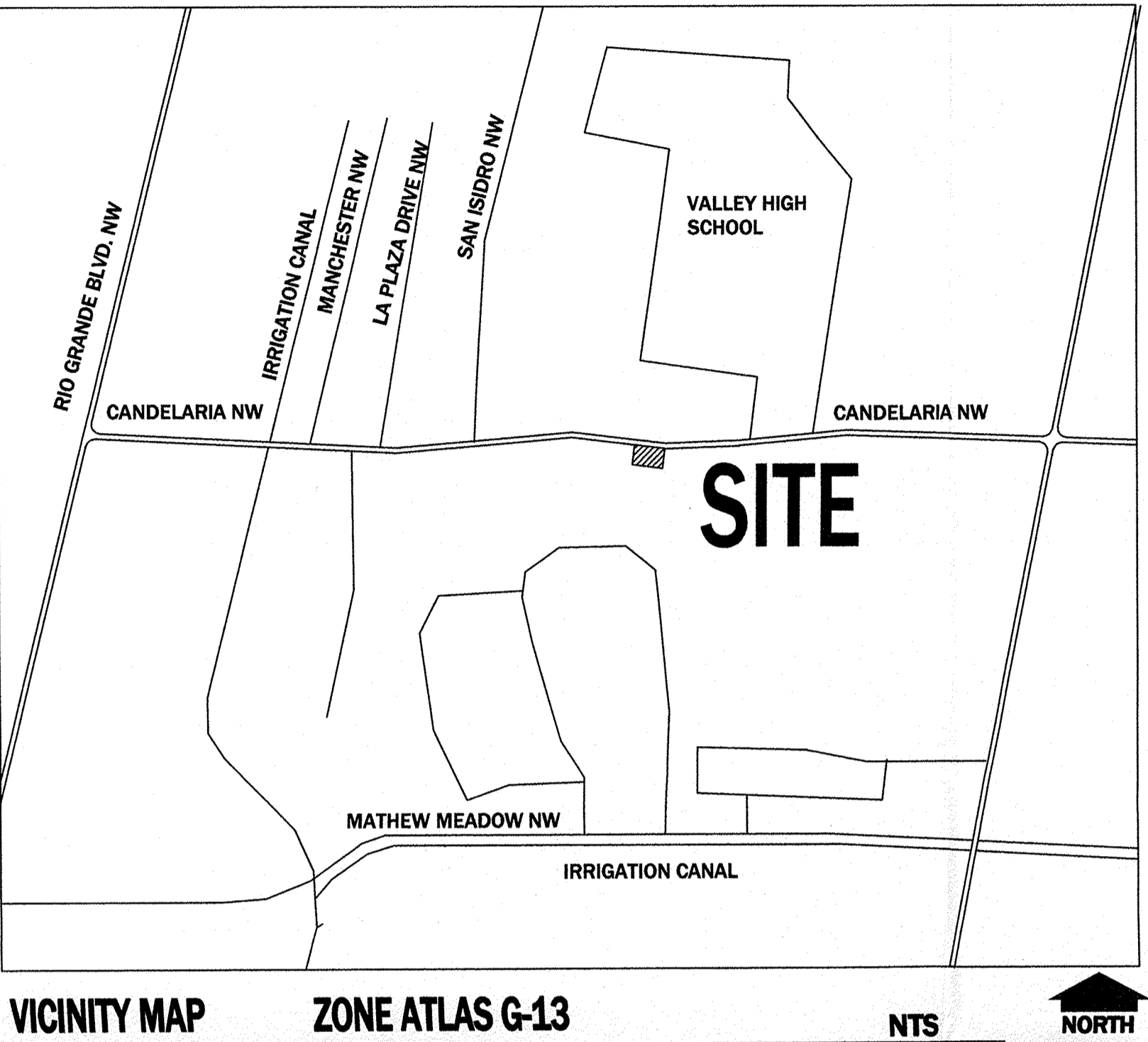
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DATE SUBMITTED: 20 AUGUST 2018 By: DEL JACK

COA STAFF: _____

ELECTRONIC SUBMITTAL RECEIVED: _____

FEE PAID: _____



- KEYED NOTES**
- 1 ANCHORED CONCRETE PARKING BUMPER
 - 2 TURNING RADII TO BE MINIMUM 15'-0" FOR AUTOMOTIVE TRAFFIC
 - 3 ACCESS POINT FOR FACILITY
 - 4 72" CLEAR ACCESS PATH FROM PUBLIC SIDEWALK TO ALL BUILDINGS
 - 5 LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS - THEREFORE SIGNS, WALLS, TREES AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SITE TRIANGLE

GENERAL NOTES

EXISTING LOT IS AGRICULTURAL WITH CONCRETE SIDEWALK AND 2 CURB CUTS WITH AGRICULTURAL STAND

PRESENT AND PROPOSED REFUSE TYPE IS RESIDENTIAL ROLL OUT STREET SIDE CONTAINERS

NO CHANGES PROPOSED TO CURB CUTS AND SIDEWALKS

LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS - THEREFORE SIGNS, WALLS, TREES AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SITE TRIANGLE

SCOPE OF WORK:

DECK AND STAIRS FOR AN EXISTING BUILDING MOVED TO SITE

PARKING FOR ADA ACCESS BY PUBLIC AND ADA COMPLIANT RESTROOM

LEGAL DESCRIPTION

TRACT 78-A-2

MIDDLE RIO GRANDE CONSERVANCY

DISTRICT PROPERTY MAP NO. 34

WITHIN THE TOWN OF ALBUQUERQUE GRANT

PROJECTED SECTION 6, T.10N., R.3E., N.M.P.M.

CITY OF ALBUQUERQUE

BERNALILLO COUNTY, NEW MEXICO

JULY 2017

DESIGN DATA

ZONING ATLAS PAGE: G - 13	R/A
CURRENT ZONING: RESIDENTIAL / AGRICULTURAL	R/A
APPLICABLE BUILDING CODE:	IBC-2015
SEISMIC DESIGN CATEGORY:	C IBC-2015
TYPE OF CONSTRUCTION:	V-B
FIRE SPRINKLERED:	NO
OCCUPANCY GROUP: BUSINESS	B

AREA OF NEW BUILDINGS: 9700 SF

AREA OF EXISTING BUILDING: 800 SF

AREA OF LOT: 26,688 SF

COMMUNITY SUMMARY OF PROJECT

THIS PROJECT IS IN A RESIDENTIAL AREA BETWEEN 12TH STREET NW TO RIO GRANDE NW TO THE NORTH AND SOUTH ARE RESIDENTIAL NEIGHBORHOODS - TO THE EAST IS A VALLEY HIGH SCHOOL - TRAFFIC USE WILL NOT LIKELY SEE A SIGNIFICANT INCREASE IN WEEKLY TRAFFIC COUNTS AS MOST CUSTOMER TRAFFIC IS FROM RESIDENTS ALREADY IN THE COMMUNITY - WEEKEND TRAFFIC IS GREATER THAN DURING THE WEEK AND WILL OCCUR WHEN THE HEAVIEST SCHOOL TRAFFIC IS OVER. THE NEED FOR THIS BUSINESS AND ITS GOODS IS GENERATED BY RESIDENTIAL USAGE.

