

# CITY OF ALBUQUERQUE



April 22, 2010

Joe Slagle, R.A.  
Slagle Herr Architects  
1600 Rio Grande NW  
Albuquerque, NM 87104

Re: Blake's Lotaburger #34 Building and Drive Thru Addition,  
3700 4th Street NW, Traffic Circulation Layout  
Architect's Stamp dated 04-14-10 (G14-D052)

Dear Mr. Slagle,

The TCL submittal received 04-14-10 is approved for Building Permit. The plan is stamped and signed as approved. A copy of this plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation. **Public infrastructure or work done within City Right-of-Way shown on these plans is for information only and is not part of approval. A separate DRC and/or other appropriate permits are required to construct these items.**

PO Box 1293

If a temporary CO is needed, a copy of the original TCL that was stamped as approved by the City will be needed. This plan must include a statement that identifies the outstanding items that need to be constructed or the items that have not been built in "substantial compliance," as well as the signed and dated stamp of a NM registered architect or engineer. Submit this TCL with a completed Drainage and Transportation Information Sheet to Hydrology at the Development Services Center of Plaza Del Sol Building.

Albuquerque

NM 87103

When the site is completed and a final C.O. is requested, use the original City stamped approved TCL for certification. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification TCL with a completed Drainage and Transportation Information Sheet to Hydrology at the Development Services Center of Plaza Del Sol Building.

www.cabq.gov

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3306.

Sincerely,

Kristal D. Metro, P.E.  
Traffic Engineer, Planning Dept.  
Development and Building Services

C: File

# DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV. 1/28/2003rd)

G-14/D052

PROJECT TITLE: BLAKE'S LOTABURGER # 34 DRIVE-THROUGH

DRB #: \_\_\_\_\_

EPC#: \_\_\_\_\_

ZONE MAP/DRG. FILE #:116

WORK ORDER#: \_\_\_\_\_

LEGAL DESCRIPTION: LOT 7A, BLOCK 3, MONKBRIDGE ADDITION

CITY ADDRESS: 3700 4<sup>TH</sup> STREET NW

ENGINEERING FIRM: RIO GRANDE ENGINEERING

ADDRESS: 1606 CENTRAL SE, SUITE 201

CITY, STATE: ALBUQUERQUE, NM

CONTACT: DAVID SOULE

PHONE: 872-0999

ZIP CODE: 87106

OWNER: BLAKE'S LOTABURGER

ADDRESS: POBOX 3648

CITY, STATE: ALBUQUERQUE, NM

CONTACT: ROBIN BARBER

PHONE: 681-7850

ZIP CODE: 87190

ARCHITECT: SLAGLE HERR ARCHITECTS

ADDRESS: 1600 RIO GRANDE BLVD NW

CITY, STATE: ALBUQUERQUE, NM

CONTACT: BILL KLEINSCHMIDT

PHONE: 246-0870

ZIP CODE: 87104

SURVEYOR: RIO GRANDE ENGINEERING

ADDRESS: 1606 CENTRAL SE, SUITE 201

CITY, STATE: ALBUQUERQUE, NM

CONTACT: DAVID SOULE

PHONE: 872-0999

ZIP CODE: 87106

CONTRACTOR: C. R. CRAWFORD CONSTRUCTION

ADDRESS: P O BOX 277

CITY, STATE: TIJERAS, NM

CONTACT: ROBIN BARBER

PHONE: 681-8750

ZIP CODE: 87059

## CHECK TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1<sup>st</sup> SUBMITTAL, **REQUIRES TCL or equal**
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL GRADING & DRAINAGE PLAN
- ☐ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☐ ENGINEER'S CERTIFICATION (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☒ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEERS CERTIFICATION (TCL)
- ☐ ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)
- ☐ OTHER

## CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA / FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D. APPROVAL
- ☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ FOUNDATION PERMIT APPROVAL
- ☒ BUILDING PERMIT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY (PERM.)
- ☐ CERTIFICATE OF OCCUPANCY (TEMP.)
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ OTHER (SPECIFY)

## WAS A PRE-DESIGN CONFERENCE ATTENDED:

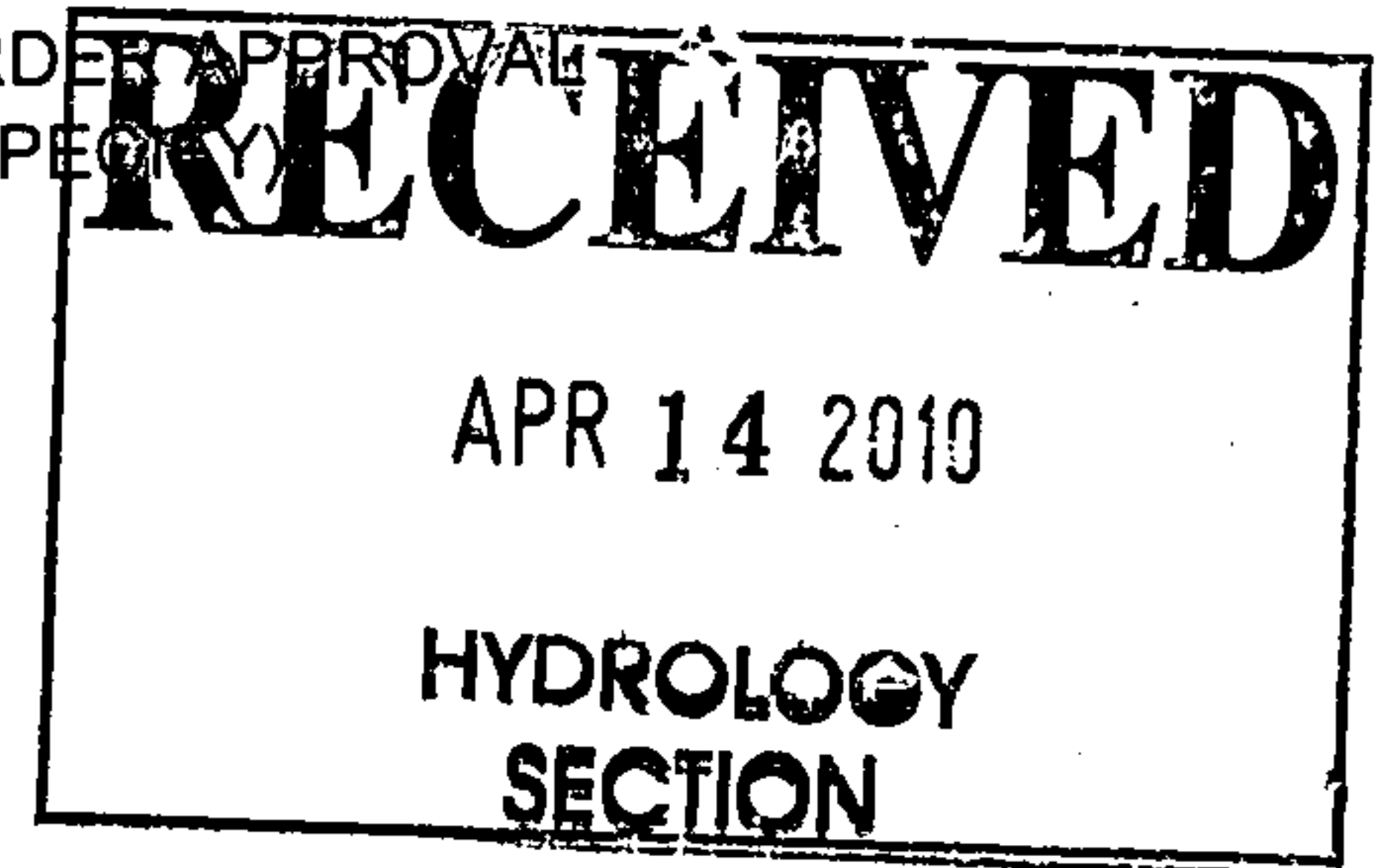
- ☐ YES
- ☒ NO
- ☐ COPY PROVIDED

DATE SUBMITTED: 3-23-10

BY: BILL KLEINSCHMIDT

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.





4-14-2010

RE: TCL Re-Submittal - Blake's Lotaburger #34 Building and Drive-Through Addition, 3700 4<sup>TH</sup> Street NW

Kristal Metro, PE  
Traffic Engineer, Planning Dept., Development and Building Services  
City of Albuquerque  
P. O. Box 1293  
Albuquerque, NM 87103

Kristal,

Attached find two copies of the revised TCL for the above-referenced project. Also attached is a copy of your comments from the original TCL submittal, and we have responded to the comments as follows:

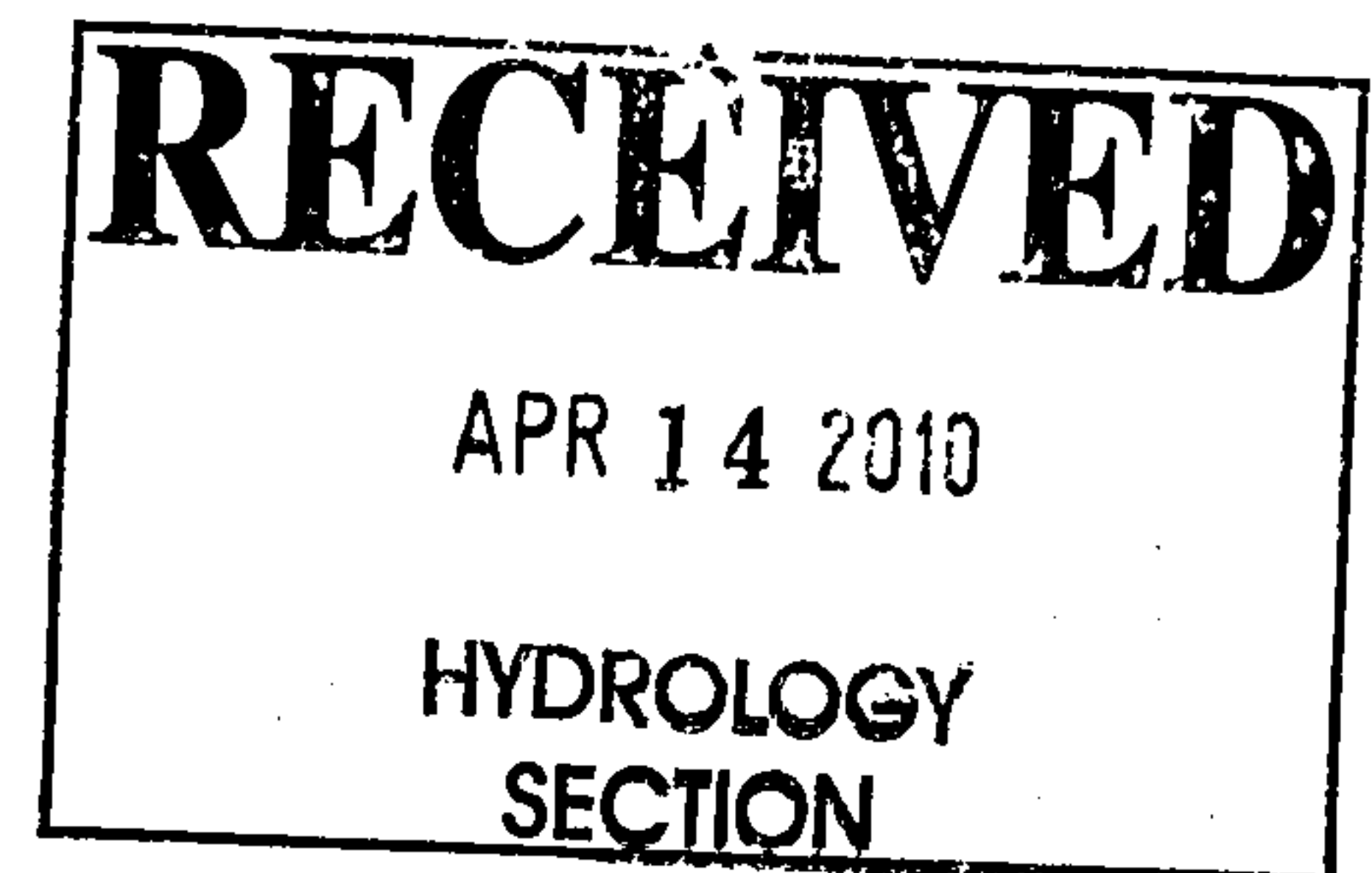
1. The deliveries ramp has been moved to within the sidewalk along the east side of the building.
2. The TCL site plan has been updated to show the correct property line configuration based on the most recent site survey (copy of survey is attached). The sidewalk along 4<sup>th</sup> Street is within the City right of way.
3. The drive-through lane configuration has been adjusted so that the inside edge has a 25' radius. We have added pavement striping to delineate the outer edge of the 12' wide drive-through lane. Pavement markings are also added indicating the drive-through lane.
4. The parking stall south of the deliveries aisle has been eliminated and replaced with landscaping.
5. A detail for the new wheelchair ramp is included on the new TCL sheet.
6. Dimensions have been added to all sidewalks.
7. The revised TCL is stamped, signed and dated.
8. The TCL drawing scale has been changed to 1" = 10'.

If you have any questions, comments, or need additional information, please contact me at 505-246-0870 x 3, or email to bill@slagleherr.com.

Sincerely,



Bill Kleinschmidt, Architect



slagle  
HERR

Architects

1600 rio grande nw albuquerque  
fax 505 246 0437 new mexico 87104  
505 246 0870

# CITY OF ALBUQUERQUE



April 1, 2010

Daniel Herr, R.A.  
Slagle Herr Architects  
1600 Rio Grande NW  
Albuquerque, NM 87104

**Re: Blake's Lotaburger #34 Building and Drive Thru Addition,  
3700 4<sup>th</sup> Street NW, Traffic Circulation Layout  
No Architect's Stamp (G14-D052)**

Dear Mr. Herr,

Based upon the information provided in your submittal received 03-23-10, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

1. The deliveries ramp as shown is not acceptable. All proposed ramps must be contained within the sidewalk, as locating a ramp outside of this area produces a tripping hazard.
2. All public sidewalk currently located outside of City right of way (existing sidewalk and ramp along 4<sup>th</sup> Street NW) must be contained within a public sidewalk easement. A copy of this easement must be provided prior to approval.
3. The drive through facility should be clearly indicated to the public. Additional striping / signing is required. Please note that drive through facilities have a minimum lane width of 12 feet with a 25 foot minimum inside edge radius, or a minimum lane width of 14 feet with a 15 foot minimum inside edge radius. Call out the width of the drive aisle
4. The parking stall located north of the proposed delivery ramp cannot maneuver without conflicting with the drive thru queue. This stall should be removed.
5. Provide a detail for the proposed wheelchair ramp. Define the maximum slopes.
6. Call out the width of all sidewalk, both existing and proposed.
7. The traffic circulation layout must be stamped, signed, and dated by an engineer or architect licensed in the state of New Mexico.
8. Per the Development Process Manual, Chapter 27, Section 2, Part B.1, only the following scales may be used:
  - 1" = 50'
  - 1" = 40'
  - 1" = 20'
  - 1" = 10'
  - 1" = 100' (for overall layouts only)

If you have any questions, you can contact me at 924-3991.

Sincerely,

Kristal D. Metro, P.E.  
Traffic Engineer, Planning Dept.  
Development and Building Services

C: File



# *City of Albuquerque*

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

April 15, 1994

Bob Ryals  
Ryals Engineering & Construction  
4929 Idlewilde SE  
Albuquerque, NM 87108

RE: ENGINEER CERTIFICATION FOR BLAKE'S LOTABURGER @ 4TH & CANDELARIA NW  
(G14-D52) CERTIFICATION STATEMENT DATED 4/11/94.

Dear Mr. Ryals:

Based on the information provided on your April 13, 1994 submittal, the above referenced site is acceptable for Engineer Certification.

If I can be of further assistance, please feel free to contact me at 768-2667.

Sincerely,

*Bernie J. Montoya*  
Bernie J. Montoya, CE  
Engineering Associate

BJM/d1/WPHYD/7966

c: Andrew Garcia  
File





# City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

August 18, 1993

Bob Ryals  
Ryals Engineering  
4929 Idlewilde SE  
Albuquerque, NM 87108

RE: DRAINAGE PLAN FOR BLAKE'S LOTABURGER @ 4TH AND CANDELARIA  
(G14-D52) ENGINEER'S STAMP DATED 8/6/93.

Dear Mr. Ryals:

Based on the information provided on your August 10, 1993 submittal, listed are some concerns that will need to be addressed prior to final approval:

- ✓ 1. Copy of approved filed replat.
2. T.B.M. must be located in close proximity to the job site and must be permanently established.
3. No developed run-off is allowed across a public sidewalk. It must be routed to the asphalt area.
4. Please provide the calculations for the capacity of each sidewalk culvert using the orifice equation.
5. Two (2) copies of plan with resubmittal.

If I can be of further assistance, please feel free to contact me at 768-2667.

Sincerely,

Bernie J. Montoya, CE  
Engineer Associate

BJM/d1/WPHYD/7920

xc: File>

PUBLIC WORKS DEPARTMENT

## DRAINAGE INFORMATION SHEET

PROJECT TITLE: 4<sup>th</sup> AND CANDELARIA  
BLAKES LOTABURGER ZONE ATLAS/DRNG. FILE #: G-14/D52

DRB #: \_\_\_\_\_ EPC #: \_\_\_\_\_ WORK ORDER #: \_\_\_\_\_

LEGAL DESCRIPTION: Lot 7, 8, 9 & 10 BLK 3 MONK BRIDGE

CITY ADDRESS: \_\_\_\_\_

ENGINEERING FIRM: RYALS ENGINEERING CONTACT: BOB RYALS

ADDRESS: 4929 Idlewild SE PHONE: 265-8267

OWNER: G. BLAKE CHANSLOR CONTACT: BLAKE

ADDRESS: \_\_\_\_\_ PHONE: 884-0844

ARCHITECT: Jim Medley CONTACT: \_\_\_\_\_

ADDRESS: W/1 PHONE: \_\_\_\_\_

SURVEYOR: \_\_\_\_\_ CONTACT: \_\_\_\_\_

ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_

CONTRACTOR: Celco Investments CONTACT: Dave Boes

ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_

## TYPE OF SUBMITTAL:

☐ DRAINAGE REPORT

☒ DRAINAGE PLAN

☐ CONCEPTUAL GRADING & DRAINAGE PLAN

☒ GRADING PLAN

☐ EROSION CONTROL PLAN

☐ ENGINEER'S CERTIFICATION

☐ OTHER

## PRE-DESIGN MEETING:

☐ YES

☐ NO

☐ COPY PROVIDED

## CHECK TYPE OF APPROVAL SOUGHT:

☐ SKETCH PLAT APPROVAL

☐ PRELIMINARY PLAT APPROVAL

☐ S. DEV. PLAN FOR SUB'D. APPROVAL

☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL

☐ SECTOR PLAN APPROVAL

☐ FINAL PLAT APPROVAL

☐ FOUNDATION PERMIT APPROVAL

☒ BUILDING PERMIT APPROVAL

☐ CERTIFICATE OF OCCUPANCY APPROVAL

☒ GRADING PERMIT APPROVAL

☐ PAVING PERMIT APPROVAL

☐ S.A.D. DRAINAGE REPORT

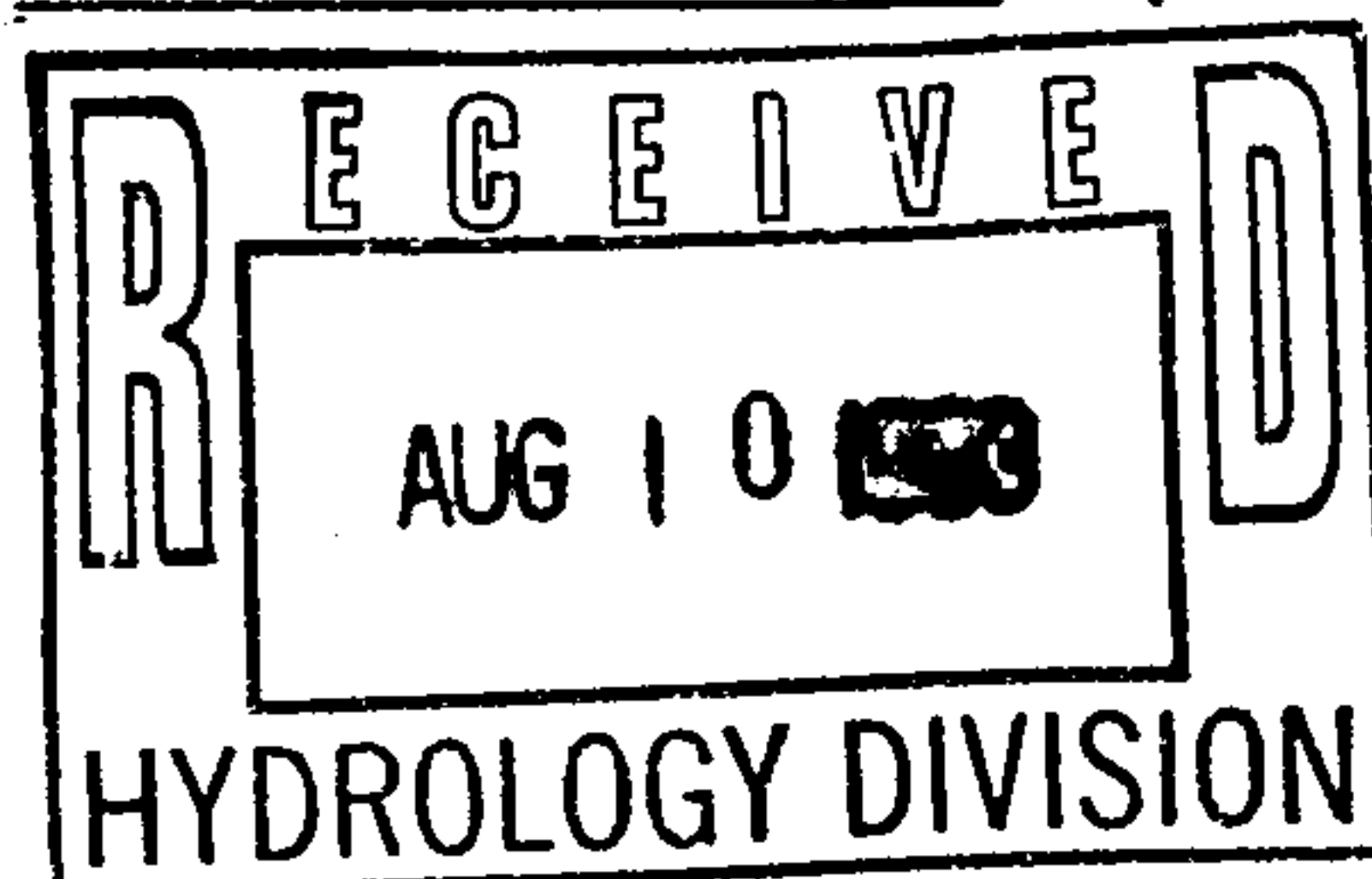
☐ DRAINAGE REQUIREMENTS

☐ OTHER \_\_\_\_\_ (SPECIFY)

DATE SUBMITTED:

BY:

8-6-93  
B. Ryan





# SUPPLEMENTAL CALCULATIONS

## BLAKES 4TH / CANDELARIA

FILE=BL4CHYD.WQ1

ALBUQUERQUE, NM, DPM (1/93) CRITERIA - SIMPLE PROCEDURE FOR <= 40 ACRES

PX100-6 = PRECIPITATION EXCESS FROM 100-YEAR 6-HOUR STORM

VOL10D = VOLUME OF RUNOFF FROM 100-YEAR 10-DAY STORM

TRTMT CLASS A=UNDISTURBED, B=LAWNS, C=UNPAVED ROADS, D=ROOFS, PAVEMENT: SEE DPM P 22.5-5

\*\*\*\*\* PROJECT INFO \*\*\*\*\*

BLAKE'S LOTABURGER 4TH & CANDELARIA NW ALBU. NM

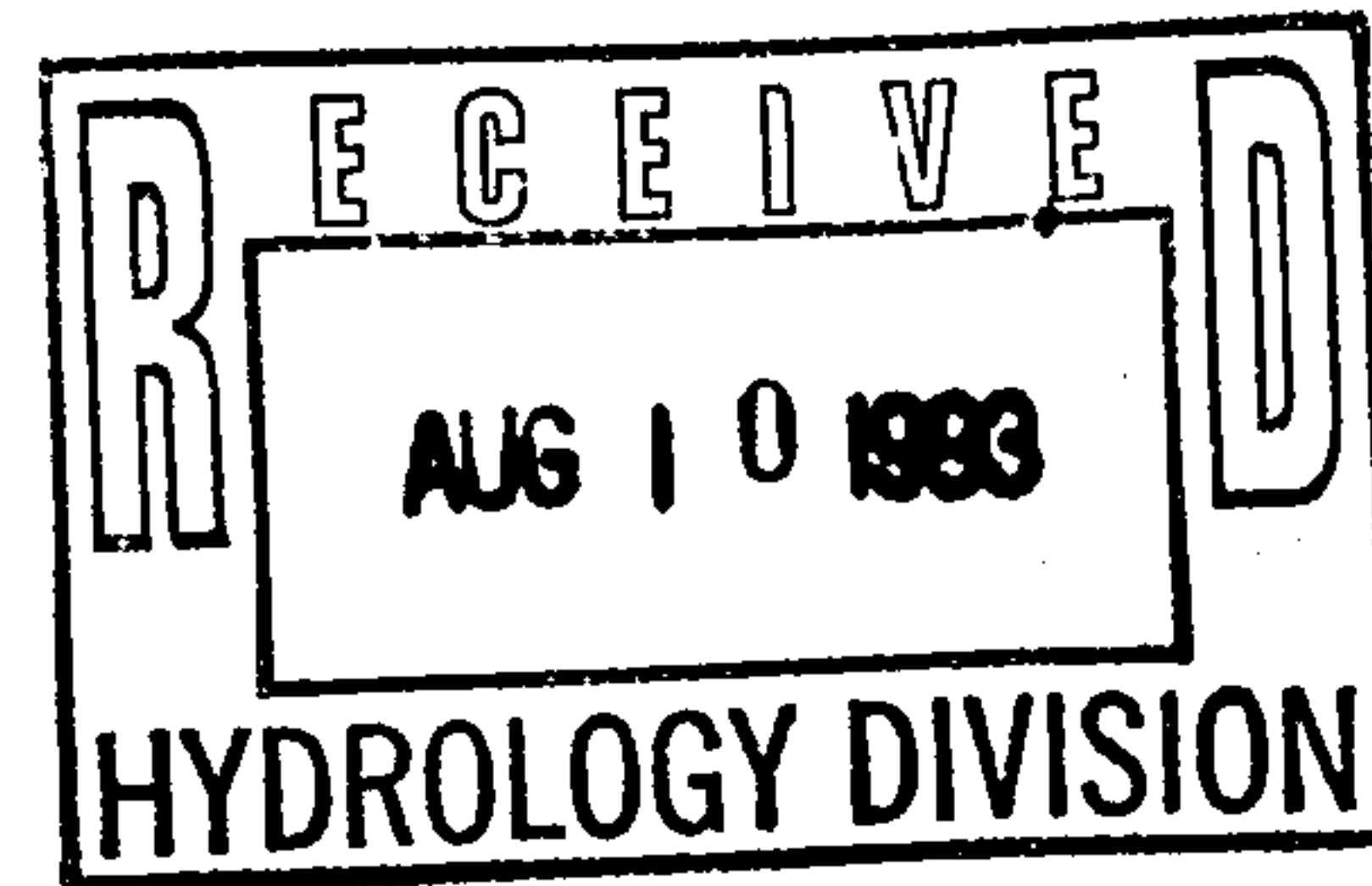
ONSITE FLOW - OFFSITE FLOW APPROX=0

HYDROLOGY AREAS - APPROX BY PLOYLINES

RAIN ZONE 2 SEE DPM P 22.2-2

100-YEAR PRECIPITATION (P) DEPTHS, INCHES

1 HR	6 HR	24 HR	4 DAY	10 DAY
2.01	2.35	2.75	3.30	3.95



08/05/93- 04:56 PM "PRE-DEMOLITION" EXISTING CONDITIONS: BAR BUILDING & PAVING - NO LANDSCAPING

TRTMT CLASS	AREA SQUARE FEET	AREA ACRES	PX100-6 IN/AC	QP100-6 CFS/AC	QP100-6 CFS	VOL6HR AC-FT	VOL1D AC-FT	VOL4D AC-FT	VOL10D AC-FT	TRTMT PERCENT
A	0.00	0.0000	0.53	1.56	0.000	0.000	0.000	0.000	0.000	0.00
B	0.00	0.0000	0.78	2.28	0.000	0.000	0.000	0.000	0.000	0.00
C	0.00	0.0000	1.13	3.14	0.000	0.000	0.000	0.000	0.000	0.00
D	28094.00	0.6449	2.12	4.70	3.031	0.114	0.135	0.165	0.200	100.00
TOTAL	28094.00	0.6449			3.031	0.114	0.135	0.165	0.200	100.00
					CU FT	4963	5900	7187	8709	

08/05/93 04:56 PM PROPOSED CONDITIONS: SITE AS A WHOLE

TRTMT CLASS	AREA SQUARE FEET	AREA ACRES	PX100-6 IN/AC	QP100-6 CFS/AC	QP100-6 CFS	VOL6HR AC-FT	VOL1D AC-FT	VOL4D AC-FT	VOL10D AC-FT	TRTMT PERCENT
A	0.00	0.0000	0.53	1.56	0.000	0.000	0.000	0.000	0.000	0.00
B	7068.00	0.1623	0.78	2.28	0.370	0.011	0.011	0.011	0.011	25.16
C	0.00	0.0000	1.13	3.14	0.000	0.000	0.000	0.000	0.000	0.00
D	21026.00	0.4827	2.12	4.70	2.269	0.095	0.101	0.123	0.150	74.84
TOTAL	28094.00	0.6449			2.639	0.096	0.112	0.134	0.160	100.00
					CU FT	4174	4875	5839	6977	

08/05/93 04:56 PM ONSITE AREA I - ASSUME TO SIDEWALK CULVERT AT 4TH ST

TRTMT CLASS	AREA SQUARE FEET	AREA ACRES	PX100-6 IN/AC	QP100-6 CFS/AC	QP100-6 CFS	VOL6HR AC-FT	VOL1D AC-FT	VOL4D AC-FT	VOL10D AC-FT	TRTMT PERCENT
A	0.00	0.0000	0.53	1.56	0.000	0.000	0.000	0.000	0.000	0.00
B	2364.00	0.0543	0.78	2.28	0.124	0.004	0.004	0.004	0.004	21.85
C	0.00	0.0000	1.13	3.14	0.000	0.000	0.000	0.000	0.000	0.00
D	8455.00	0.1941	2.12	4.70	0.912	0.034	0.041	0.050	0.060	78.15
TOTAL	10819.00	0.2484			1.036	0.038	0.044	0.053	0.064	100.00
					CU FT	1647	1929	2317	2775	



BL4C44D.WQ1

FILE=DPMHYD40-WQ1

ALBUQUERQUE, NM, DPM (1/93) CRITERIA - SIMPLE PROCEDURE FOR <= 40 ACRES

PX100-6 = PRECIPITATION EXCESS FROM 100-YEAR 6-HOUR STORM

VOL10D = VOLUME OF RUNOFF FROM 100-YEAR 10-DAY STORM

TRTMT CLASS A=UNDISTURBED, B=LAWNS, C=UNPAVED ROADS, D=ROOFS,PAVEMENT: SEE DPM P 22.5-5

\*\*\*\*\* PROJECT INFO \*\*\*\*\*

BLAKE'S LOTABURGER 4TH & CANDELARIA NW ALBU. NM

ONSITE FLOW - OFFSITE FLOW APPROX=0

HYDROLOGY AREAS - APPROX BY PLOYLINES

RAIN ZONE 2 SEE DPM P 22.2-2

100-YEAR PRECIPITATION (P) DEPTHS, INCHES

1 HR	6 HR	24 HR	4 DAY	10 DAY
2.01	2.35	2.75	3.30	3.95

08/05/93 03:02 PM ONSITE AREA II - ASSUME TO SIDEWALK CULVERT AT CANDELARIA

TRTMT CLASS	AREA SQUARE FEET	AREA ACRES	PX100-6 IN/AC	QP100-6 CFS/AC	QP100-6 CFS	VOL6HR AC-FT	VOL1D AC-FT	VOL4D AC-FT	VOL10D AC-FT	TRTMT PERCENT
A	0.00	0.0000	0.53	1.56	0.000	0.000	0.000	0.000	0.000	0.00
B	924.00	0.0212	0.78	2.28	0.048	0.001	0.001	0.001	0.001	7.57
C	0.00	0.0000	1.13	3.14	0.000	0.000	0.000	0.000	0.000	0.00
D	11287.00	0.2591	2.12	4.70	1.218	0.046	0.054	0.066	0.080	92.43
TOTAL	12211.00	0.2803			1.266	0.047	0.056	0.068	0.082	100.00
					CU FT	2054	2430	2948	3559	

08/05/93 03:02 PM ONSITE AREA III- ASSUME OVER SIDEWALK CULVERT AT 4TH ST

TRTMT CLASS	AREA SQUARE FEET	AREA ACRES	PX100-6 IN/AC	QP100-6 CFS/AC	QP100-6 CFS	VOL6HR AC-FT	VOL1D AC-FT	VOL4D AC-FT	VOL10D AC-FT	TRTMT PERCENT
A	0.00	0.0000	0.53	1.56	0.000	0.000	0.000	0.000	0.000	0.00
B	2277.00	0.0523	0.78	2.28	0.119	0.003	0.003	0.003	0.003	67.69
C	0.00	0.0000	1.13	3.14	0.000	0.000	0.000	0.000	0.000	0.00
D	1087.00	0.0250	2.12	4.70	0.117	0.004	0.005	0.006	0.008	32.31
TOTAL	3364.00	0.0772			0.236	0.008	0.009	0.010	0.011	100.00
					CU FT	340	376	426	485	

08/05/93 03:02 PM ONSITE AREA IV - MISC ASSUME OVER SIDEWALK TO CANDELARIA

TRTMT CLASS	AREA SQUARE FEET	AREA ACRES	PX100-6 IN/AC	QP100-6 CFS/AC	QP100-6 CFS	VOL6HR AC-FT	VOL1D AC-FT	VOL4D AC-FT	VOL10D AC-FT	TRTMT PERCENT
A	0.00	0.0000	0.53	1.56	0.000	0.000	0.000	0.000	0.000	0.00
B	2364.00	0.0543	0.78	2.28	0.124	0.004	0.004	0.004	0.004	21.85
C	0.00	0.0000	1.13	3.14	0.000	0.000	0.000	0.000	0.000	0.00
D	8455.00	0.1941	2.12	4.70	0.912	0.034	0.041	0.050	0.060	78.15
TOTAL	10819.00	0.2484			1.036	0.038	0.044	0.053	0.064	100.00
					CU FT	1647	1929	2317	2775	

FILE=BL4CAREA.WQ1 08/05/93

HYDROLOGY AREAS FOR PROPOSED  
BLAKE'S LOTABURGER AT 4TH & CANDELARIA NW  
AREAS BY APPROX POLYLINES - SEE ATTACHED SKETCH

LS=LANDSCAPE=ALEQ. DFM TREATMENT B  
IMP=IMPERVIOUS=ALEQ. DFM TREATMENT D

AREA I - ASSUME TO 4TH ST SIDEWALK CULVERT

LS		IMP	
2364	2364	8455	8455

AREA II - ASSUME TO SIDEWALK CULVERT CANDELARIA

924	924	11287	11287
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AREA III - ASSUME OVER SIDEWALK TO 4TH (MOSTLY TRUE)

199			
238			
1840	2277	1087	1087

AREA IV - MISC ASSUME OVER SIDEWALK TO CANDELARIA

960			
302		122	
241	1503	75	197

---

7068

21026

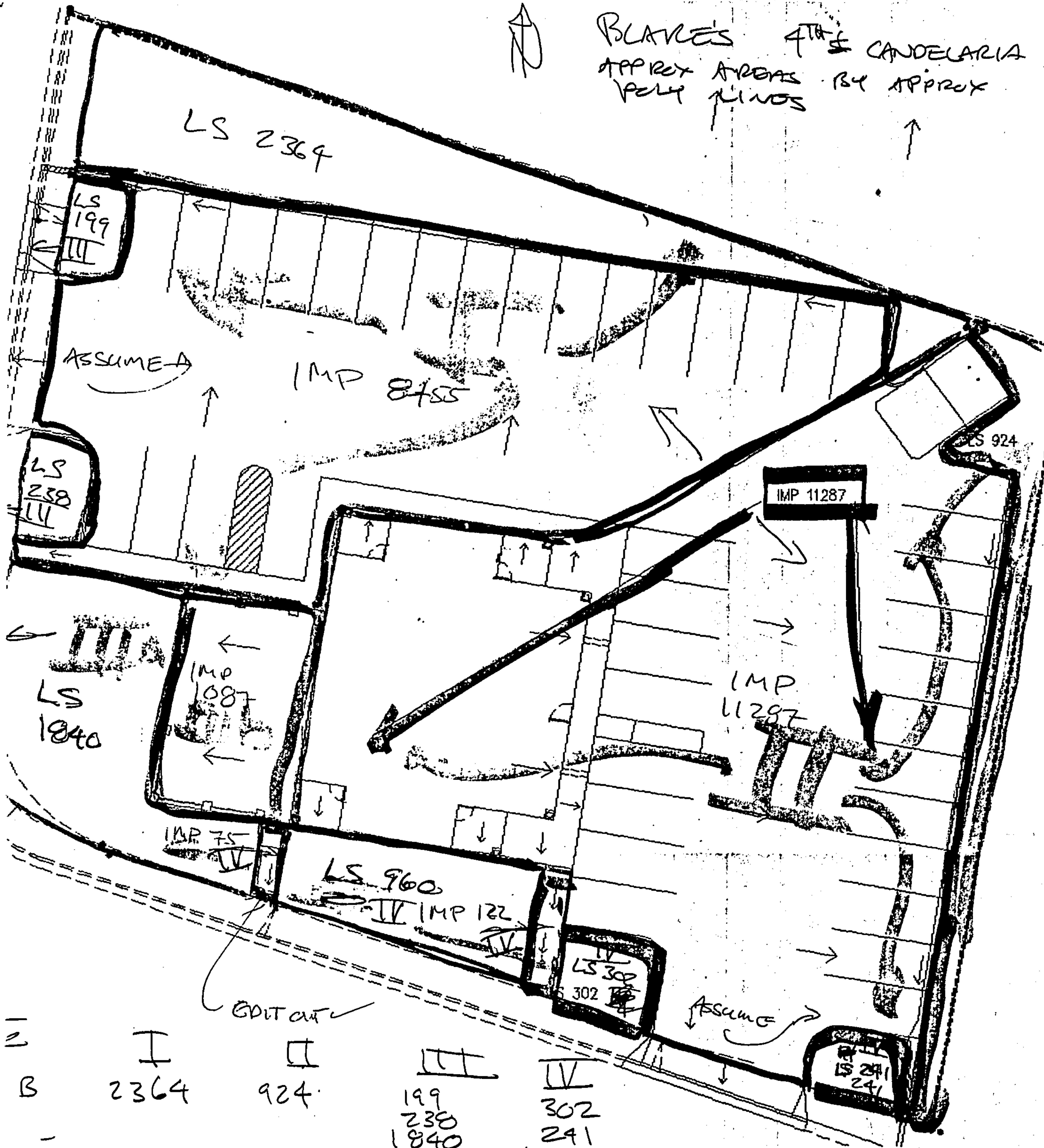
28094 SF  
0.644949 AC

NOTE: HYDROLOGY\*ACRES (.6449) IS LARGER THAN FLAT ACRES (.6434)  
BECAUSE OF APPROXIMATIONS AND ADDITION R.O.W FOR 4TH ST.





BLANCK'S 4TH & CANDELARIA  
APPROX AREAS BY APPROX  
PELY LINES



I	II	III	IV
2364	924	199 238 1840	302 241
	924	2277	543

SEE ATTACHED SHEET  
THZ 8/5/93





# City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

September 8, 1993

Bob Ryals  
Ryals Engineering  
4929 Idlewilde SE  
Albuquerque, NM 87108

RE: REVISED DRAINAGE PLAN FOR BLAKE'S LOTABURGER @ 4TH & CANDELARIA NW  
(G14-D52) ENGINEER'S STAMP DATED 8/28/93.

Dear Mr. Ryals:

Based on the information provided on your September 1, 1993 resubmittal, the above referenced site is approved for Building Permit. Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology.

Also, please be advised that a separate permit is required for construction within City Right-of-Way. A copy of this approval letter must be on hand when applying for the excavation permit.

Prior to Certificate of Occupancy release, Engineer Certification per the D.P.M. checklist will be required.

If I can be of further assistance, please feel free to contact me at 768-2667.

Sincerely,

*Bernie J. Montoya*  
Bernie J. Montoya, CE  
Engineer Associate

BJM/d1/WPHYD/7966

xc: Alan Martinez  
Darlene Saavedra  
File

PUBLIC WORKS DEPARTMENT

## DRAINAGE INFORMATION SHEET

PROJECT TITLE: 4th & CANDELARIA  
BLAKE'S LOT A BURGER ZONE ATLAS/DRNG. FILE #: G14/  
615-D52

DRB #: \_\_\_\_\_ EPC #: \_\_\_\_\_ WORK ORDER #: \_\_\_\_\_

LEGAL DESCRIPTION: LOT 7A, REPLAT OF G-10, TRACT A BLOCK 3 MONKBRIDGE ADDN

CITY ADDRESS: NE CORNER 4TH ST NW & CANDELARIA RD NW

ENGINEERING FIRM: RYALS ENGINEERING & CONSULT CONTACT: BOB RYALS

ADDRESS: 4929 IDEWILDE SE 87108 PHONE: 265-8267

OWNER: G. BLAKE CHANSLOR CONTACT: \_\_\_\_\_

ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_

ARCHITECT: MIKE MEDLEY CONTACT: \_\_\_\_\_

ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_

SURVEYOR: \_\_\_\_\_ CONTACT: \_\_\_\_\_

ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_

CONTRACTOR: Celco Investments CONTACT: \_\_\_\_\_

ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_

TYPE OF SUBMITTAL: \_\_\_\_\_

\_\_\_\_\_ DRAINAGE REPORT

\_\_\_\_\_ DRAINAGE PLAN

\_\_\_\_\_ CONCEPTUAL GRADING & DRAINAGE PLAN

☒ GRADING PLAN

\_\_\_\_\_ EROSION CONTROL PLAN

\_\_\_\_\_ ENGINEER'S CERTIFICATION

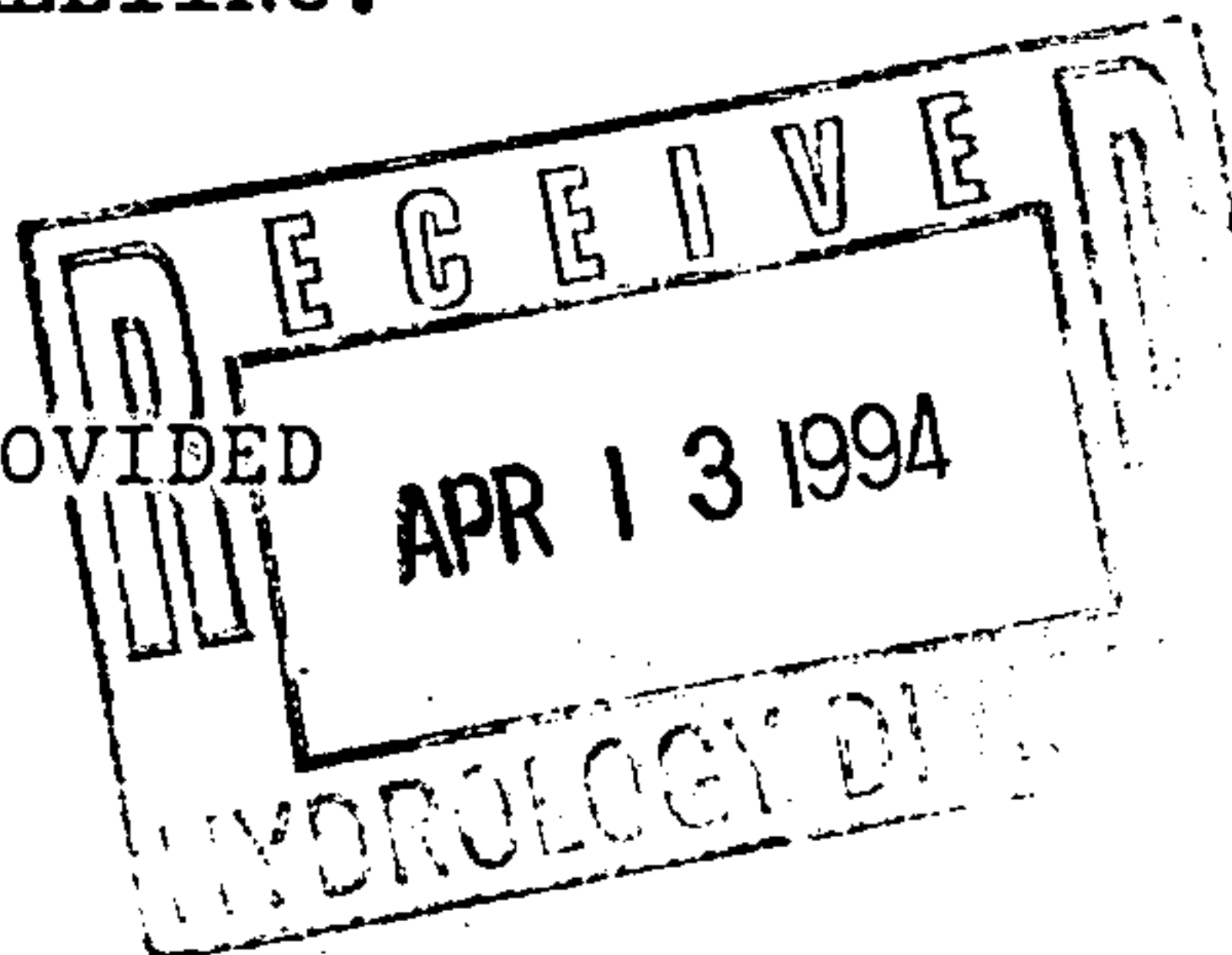
☒ OTHER Certification of grading

## PRE-DESIGN MEETING:

\_\_\_\_\_ YES

\_\_\_\_\_ NO

\_\_\_\_\_ COPY PROVIDED



## CHECK TYPE OF APPROVAL SOUGHT:

\_\_\_\_\_ SKETCH PLAT APPROVAL

\_\_\_\_\_ PRELIMINARY PLAT APPROVAL

\_\_\_\_\_ S. DEV. PLAN FOR SUB'D. APPROVAL

\_\_\_\_\_ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL

\_\_\_\_\_ SECTOR PLAN APPROVAL

\_\_\_\_\_ FINAL PLAT APPROVAL

\_\_\_\_\_ FOUNDATION PERMIT APPROVAL

\_\_\_\_\_ BUILDING PERMIT APPROVAL

☒ CERTIFICATE OF OCCUPANCY APPROVAL

\_\_\_\_\_ GRADING PERMIT APPROVAL

\_\_\_\_\_ PAVING PERMIT APPROVAL

\_\_\_\_\_ S.A.D. DRAINAGE REPORT

\_\_\_\_\_ DRAINAGE REQUIREMENTS

\_\_\_\_\_ OTHER \_\_\_\_\_ (SPECIFY)

DATE SUBMITTED:

BY:

4/11/94

3700  
4th NW