

DRAINAGE PLAN

The following item concerning the Sign Art Drainage Plan are contained hereon.

1. Vicinity Map
2. Grading Plan
3. Calculations

The proposed improvements, as shown by the Vicinity Map, are located on the east side of 2nd Street NW, just north of Veranda Road. The site is currently used as a storage yard with one existing building. The lands surrounding the site are fully developed. An "AO-1" flood zone encroaches on the site.

The site is basically flat. The site is approximately level with the surrounding sites. There is probably a commingling of onsite and offsite waters. However, there are no obvious significant offsite flows.

The Grading Plan shows 1) existing and proposed grades, indicated by spot elevations and contours at 1'-0" intervals, 2) continuity between existing and proposed elevations, 3) the limit and character of existing improvements and 4) the limit and character of proposed improvements. As shown by this plan, the proposed improvements consist of an office/warehouse type facility with associated parking and landscaping. The existing building will remain. The new building will be constructed two (2) feet above the existing curb flowline. The building and asphalt area will be graded to drain to an inlet. Approximately half of the site will not be developed, and will remain in the current condition.

The calculations, which appear below, analyze both the existing and proposed conditions for the 100-year, 6-hour rainfall event. The analysis is in accordance with the City of Albuquerque Development Process Manual, Volume II. As shown by these calculations, the rate of runoff and the volume of runoff will increase by a small amount. The control of the runoff is in compliance with the pre-design conference.

CALCULATIONS

Precipitation Zone = 2  
Area of Site = 0.50 acres

Existing Conditions  
Land Treatment

	A	B	C	D
Basin A	0.00	0.00	0.23	0.02
Basin B	0.00	0.00	0.25	0.00

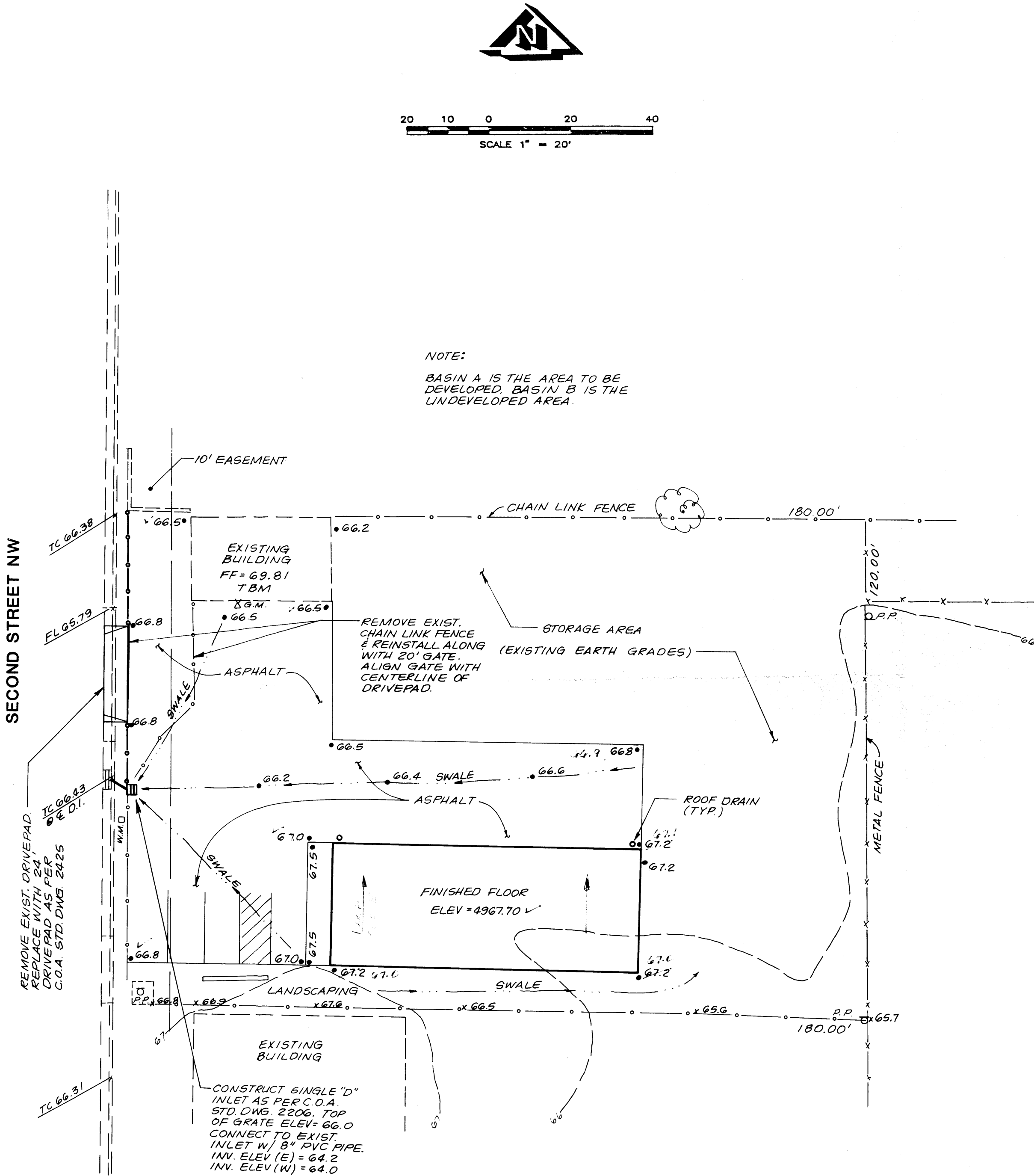
EA =  $(1.13 \times 0.23 + 2.12 \times 0.02) / 0.25 = 1.21$  inches  
VA =  $1.21 \times 0.25 / 12 = 0.03$  acft  
QA =  $3.14 \times 0.23 + 4.70 \times 0.02 = 0.82$  cfs  
EB =  $1.13 \times 0.25 / 0.25 = 1.13$  inches  
VB =  $1.13 \times 0.25 / 12 = 0.02$  acft  
QB =  $3.14 \times 0.25 = 0.79$  cfs  
VT =  $0.03 + 0.02 = 0.05$  acft  
QT =  $0.82 + 0.79 = 1.61$  cfs

Developed Conditions  
Land Treatment

	A	B	C	D
Basin A	0.03	0.00	0.00	0.22
Basin B	0.00	0.00	0.25	0.00

EA =  $(0.53 \times 0.03 + 2.12 \times 0.22) / 0.25 = 1.93$  inches  
VA =  $1.93 \times 0.25 / 12 = 0.04$  acft  
QA =  $1.56 \times 0.03 + 4.70 \times 0.22 = 1.08$  cfs  
EB =  $1.13 \times 0.25 / 0.25 = 1.13$  inches  
VB =  $1.13 \times 0.25 / 12 = 0.02$  acft  
QB =  $3.14 \times 0.25 = 0.79$  cfs

Increase in Volume =  $0.04 - 0.03 = 0.01$  acft  
Increase in Rate =  $1.08 - 0.82 = 0.26$  cfs





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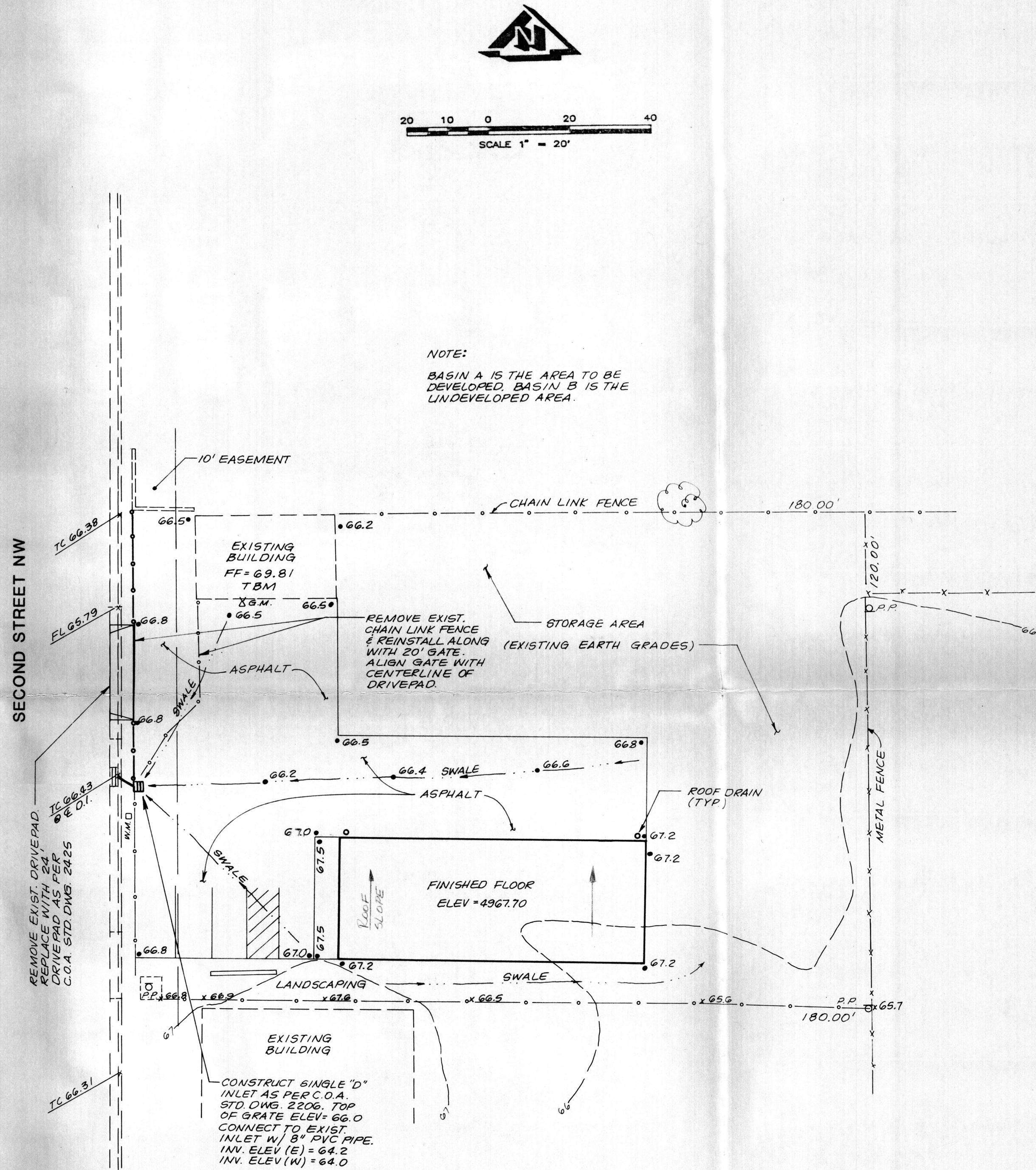
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Land Treatment

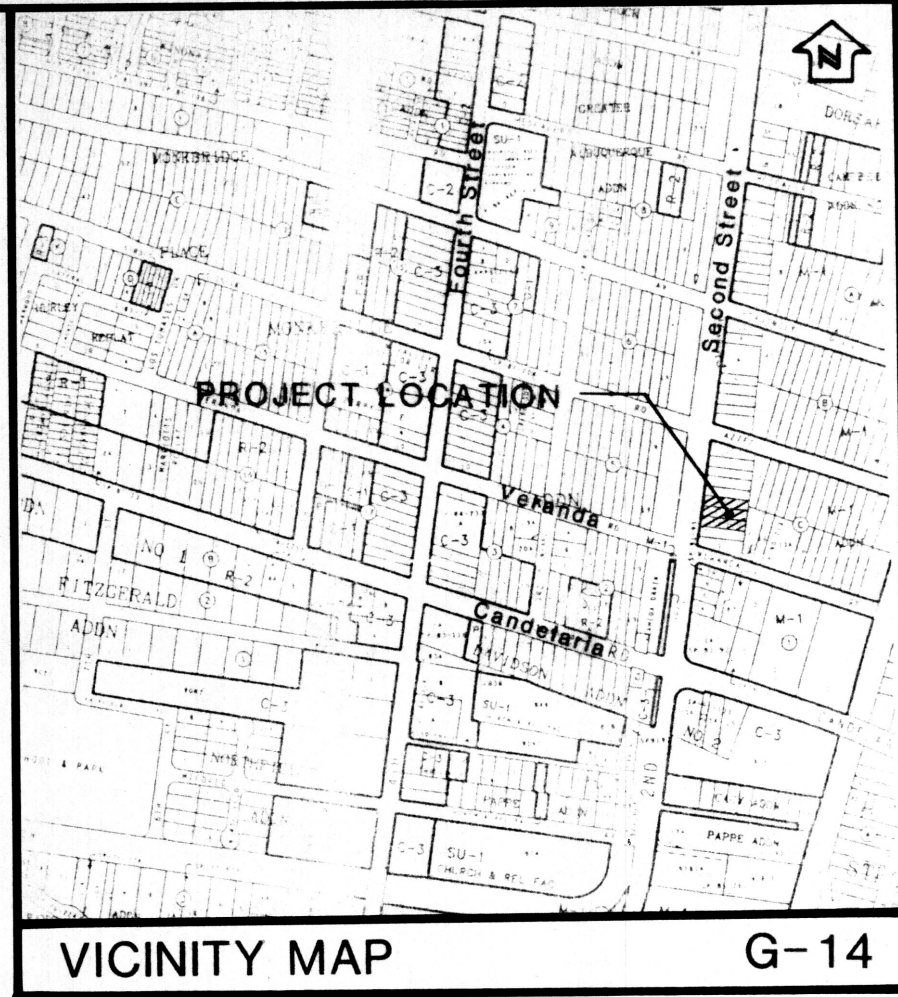
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NOTE:  
BASIN A IS THE AREA TO BE DEVELOPED. BASIN B IS THE UNDEVELOPED AREA.



LEGAL DESCRIPTION

Lots 3, 4 & 5, Block C  
Monkbridge Addition

BENCHMARK

ASC Brass Cap 6-G15 located on the north side of Candelaria east of the railroad tracks. Elev = 4975.80

ADDRESS

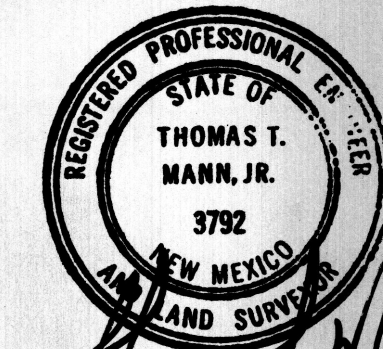
Second Street NW

LEGEND

- 65.7 EXISTING SPOT ELEVATION
- 66.4 NEW SPOT ELEVATION
- EXISTING CONTOUR
- SWALE

NOTICE TO CONTRACTOR

1. An excavation/construction permit will be required before beginning any work within City right-of-way. An approved copy of these plans must be submitted at the time of application for this permit.
2. All work detailed on these plans to be performed, except as otherwise stated or provided hereon, shall be constructed in accordance with City of Albuquerque Standard Specifications for Public Works Construction, 1985, latest update.
3. Two working days prior to any excavation, contractor must contact Line Locating Service, 260-1990, for location of existing utilities.
4. Prior to construction, the contractor shall excavate and verify the horizontal and vertical locations of all facilities. Should a conflict exist, the contractor shall notify the engineer so that the conflict can be resolved with a minimum amount of delay.
5. Backfill compaction shall be according to ARTERIAL street use.
6. Maintenance of these facilities shall be the responsibility of the Owner of the property served.



APPROVALS	NAME	DATE
HYDROLOGY SECTION	B. Matting	9/14/94
INSPECTOR		
ACE FIELD		

GRADING AND DRAINAGE PLAN  
SIGN ART

SEPTEMBER 1994