

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

June 14, 2024

Fred Arfman, PE
Isaacson & Arfman, Inc
128 Monroe St. NE
Albuquerque, NM 87108

Re: Seven Clover Dispensary
3641 12th St. NW
30-Day Temporary Certificate of Occupancy
Transportation Development Final Inspection
Engineer's Stamp dated 05-15-24 (G14-D062)
Certification dated 06-05-24

Dear Mr. Arfman,

Based upon the information provided in your submittal received 06-07-24, Transportation Development has no objection to a 30-day Temporary Certificate of Occupancy based. This letter serves as a "green tag" from Transportation Development for a 30-day Temporary Certificate of Occupancy to be issued by the Building and Safety Division.

Prior to the issuance of a permanent Certificate of Occupancy, the following items must be addressed:

- The ADA accessible parking sign must have the required language per 66-7-352.4C NMSA 1978 **"Violators Are Subject to a Fine and/or Towing."** Please call out detail and location of signs
- Anchor down bike rack.

Once these corrections are complete, email pictures to malnajira@cabq.gov for release of Final CO.

If you have any questions, please contact me at (505) 924-3675.

Sincerely,

Marwa Al-najjar

Marwa Al-najjar
Associate Engineer, Planning Dept.
Development Review Services

Ma via: email

C: CO Clerk, File

TRAFFIC CIRCULATION LAYOUT PLAN CERTIFICATION

I, Fred C. Arfman, NMPE No. 7322 OF THE FIRM ISAACSON & ARFMNA, INC, HEREBY CERTIFY THAT THIS PROJECT IS IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE **TCL** APPROVED PLAN DATED 05-15-24. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY Fred C. Arfman OF THE FIRM Isaacson & Arfman, Inc. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON 06-06-2024 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE As-Built DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR Permanent Certificate of Occupancy.

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE TRAFFIC ASPECTS OF THIS PROJECT. THOSE RELYING ON THE RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.


Fred C. Arfman, PE



06-05-24
Date



City of Albuquerque

Planning Department
Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (DTIS)

Project Title: _____ Hydrology File # _____

Legal Description: _____

City Address, UPC, OR Parcel: _____

Applicant/Agent: _____ Contact: _____

Address: _____ Phone: _____

Email: _____

Applicant/Owner: _____ Contact: _____

Address: _____ Phone: _____

Email: _____

TYPE OF DEVELOPMENT: Plat (# of lots) _____ Single Family Home
All other Developments

RE-SUBMITTAL: YES NO

DEPARTMENT: TRANSPORTATION HYDROLOGY/DRAINAGE

Check all that apply under Both the Type of Submittal and the Type of Approval Sought:

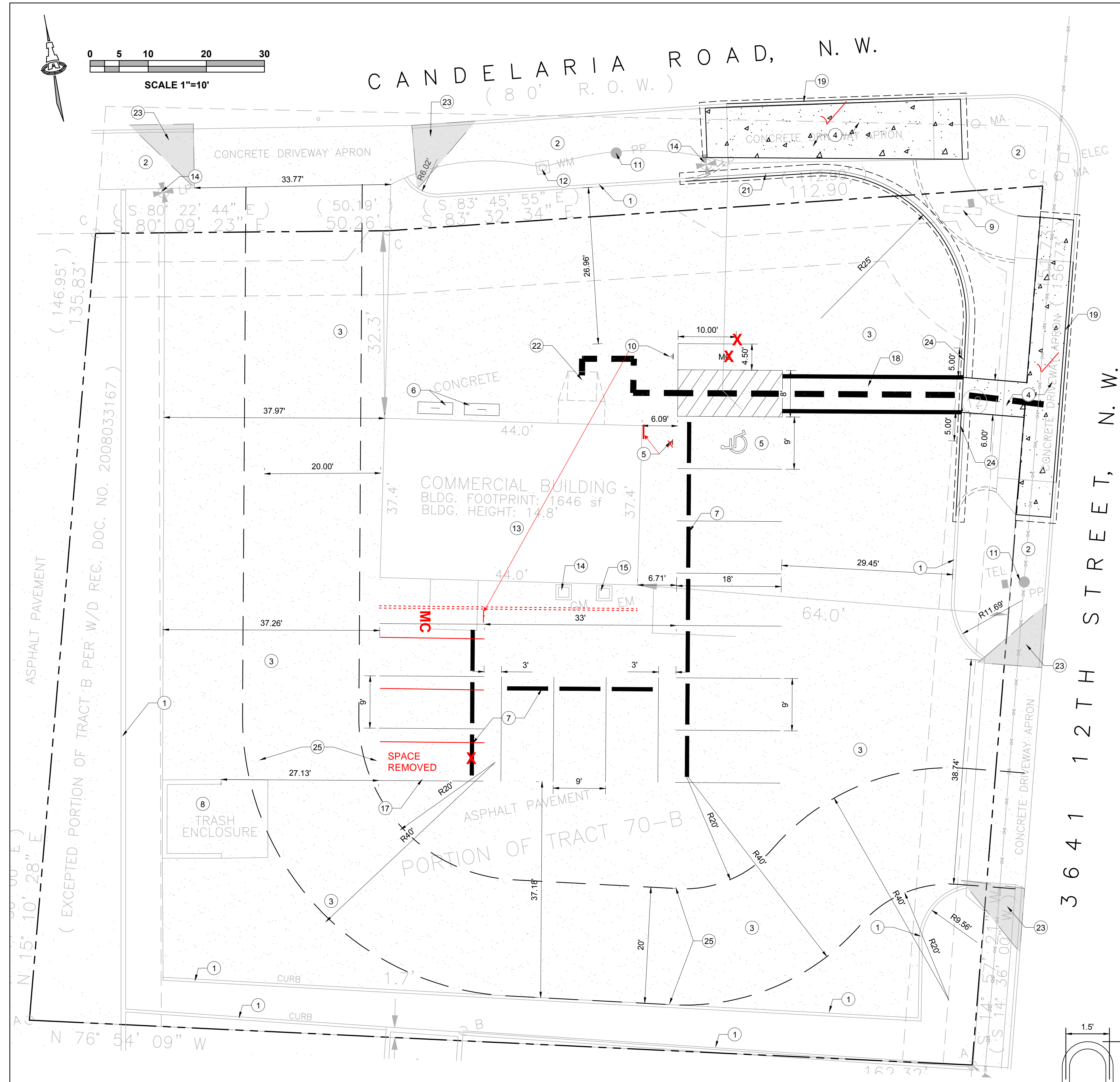
TYPE OF SUBMITTAL:

Engineering / Architect Certification
Conceptual Grading & Drainage Plan
Grading & Drainage Plan, and/or Drainage Report
Drainage Report (Work Order)
Drainage Master Plan
Conditional Letter of Map Revision (CLOMR)
Letter of Map Revision (LOMR)
Floodplain Development Permit
Traffic Circulation Layout (TCL) – Administrative
Traffic Circulation Layout (TCL) – DFT Approval
Traffic Impact Study (TIS)
Street Light Layout
OTHER (SPECIFY) _____

TYPE OF APPROVAL SOUGHT:

Pad Certification
Building Permit
Grading Permit
Paving Permit
SO-19 Permit
Foundation Permit
Certificate of Occupancy - Temp Perm
Preliminary / Final Plat
Site Plan for Building Permit - DFT
Work Order (DRC)
Release of Financial Guarantee (ROFG)
CLOMR / LOMR
Conceptual TCL - DFT
OTHER (SPECIFY) _____

DATE SUBMITTED: _____



NOTE:
ALL BROKEN OR CRACKED
SIDEWALK MUST BE
REPLACED WITH SIDEWALK
AND CURB & GUTTER.

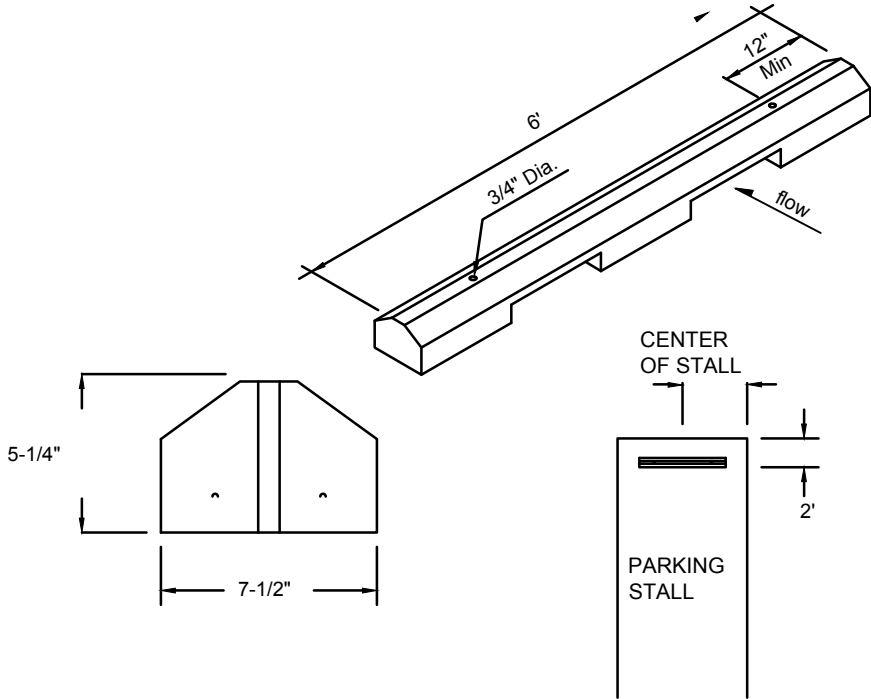
**TRAFFIC CIRCULATION
LAYOUT APPROVED**

Sertil A. Kanbar 5/21/2024

Signed _____ Date _____



Approved for access by the Solid Waste Department.
All containers must be made accessible for pick up
between the hours of 5AM and 8PM.
Reviewer: Herman Gallegos
Date: 05-16-24
Recycle declined
See General Note J

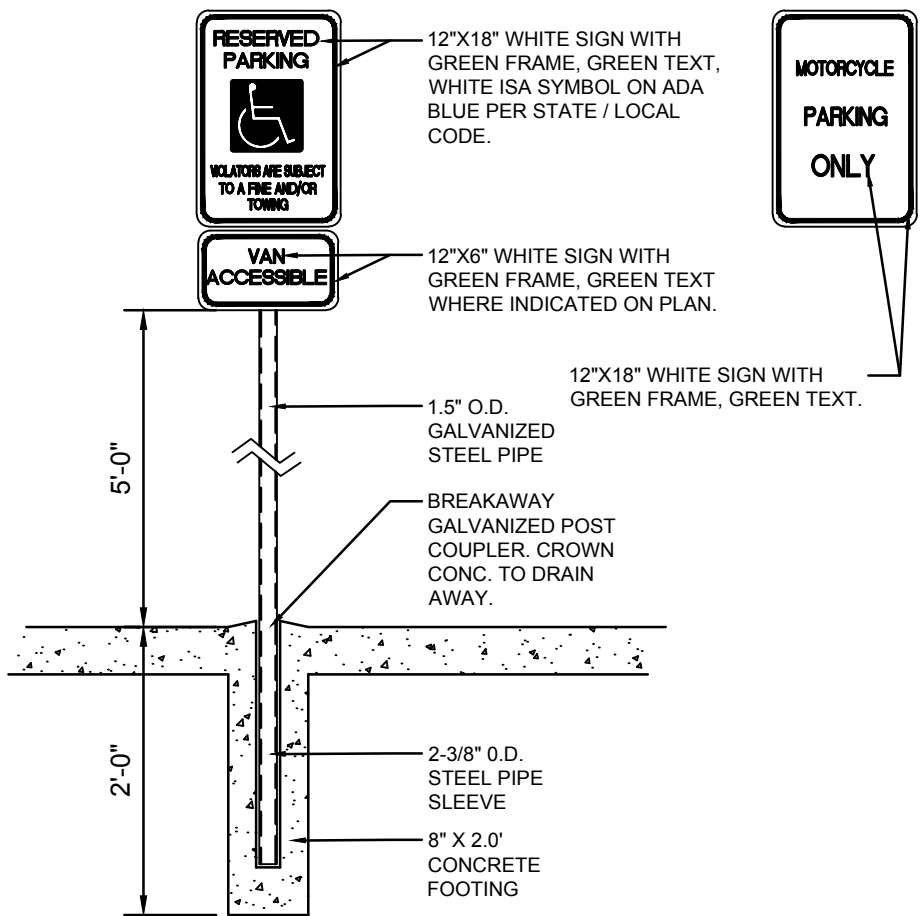


CONSTRUCTION NOTES

1. WHEEL STOPS TO BE PLACED 2' BACK, CENTERED IN THE PARKING STALL. WHEEL STOPS CAN BE PAINTED IN A CONTRASTING COLOR SUCH AS GRAY, YELLOW OR BLACK.
2. BLUE SHALL BE USED FOR HANDICAP PARKING STALLS.
3. INSTALL EACH WITH TWO DOWELS PER MANUFACTURERS SPECIFICATIONS.

CONCRETE WHEEL STOP

SCALE: N.T.S.



SIGNAGE DETAIL

SCALE: N.T.S.

C.O.A. VICINITY MAP



PROJECT INFORMATION

LEGAL DESCRIPTION: MRGCD MAP 34 TRACT 70B2B CONT 0.58 AC
SITE AREA: 0.58 ACRES(25264.8 SF)
ZONING: MX-L
BUILDING CALCULATIONS: GROSS FLOOR AREA (GFA)=1,646 SF ±
PARKING CALCULATIONS:
REQUIRED: 7 SPACES
(4 SPACE PER 1000 GFA= 7 SPACES) (IDO TABLE
PROVIDED: 14.5 SPACES (INCLUDING 2 COMPACT SPACES)
ADA REQUIRED: 1 SPACES (1 VAN SPACE) (NMBC TABLE 1106.1)
ADA PROVIDED: 1 SPACES (1 VAN SPACE)
MOTORCYCLE REQUIRED: 1 SPACES (IDO TABLE 5-5-4)
MOTORCYCLE PROVIDED: 12 SPACES
BICYCLE REQUIRED: 3 SPACES (IDO TABLE 5-5-8)
BICYCLE PROVIDED : 4 SPACES

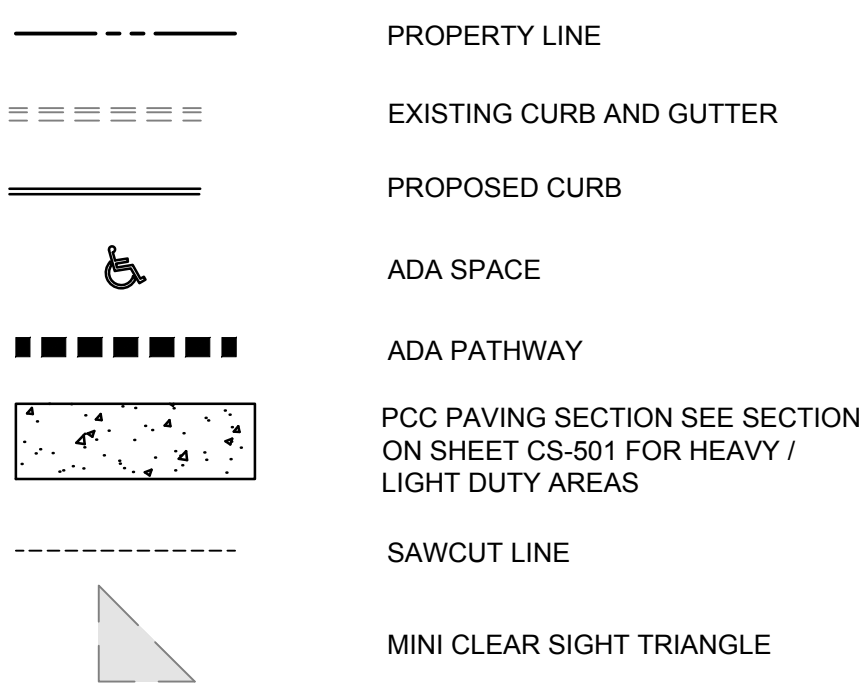
GENERAL NOTES

- A. DIMENSIONS ARE TO FACE OF CURB, OR WALL, OR EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
- B. CURBS AND ACCESSIBLE RAMPS WILL BE DESIGNED AND BUILT ACCORDING TO THE CITY OF ALBUQUERQUE STANDARDS.
- C. STREETS, PARKING SPACES AND ASSOCIATED DRIVES TO BE ASPHALT UNLESS NOTED OTHERWISE.
- D. LANDSCAPE AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. SIGNS, WALLS AND PLANTING BETWEEN 3 FEET AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE PERMITTED IN THE CLEAR SIGHT TRIANGLE.
- E. ALL LIGHTING SHALL BE PLACED SO AS TO DIRECT LIGHT AWAY FROM RESIDENTIAL DISTRICTS AND SHALL BE FULLY SHIELDED TO COMPLY WITH THE NM NIGHT SKY PROTECTION ACT AND IDO SECTION 14-16-5-8 OUTDOOR LIGHTING. MAXIMUM HEIGHT FOR LIGHT POLES SHALL BE 16 FEET TALL.
- F. ALL SIDEWALKS TO HAVE A MAXIMUM RUNNING SLOPE OF $\frac{1}{8}$ (5%), AND A MAXIMUM CROSS SLOPE OF $\frac{1}{8}$ (2%).
- G. ALL IMPROVEMENTS DONE IN THE RIGHT OF WAY MUST BE INCLUDED ON THE WORK ORDER.
- H. LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN THREE (3) AND EIGHT (8) FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.
- I. CONTRACTOR TO VERIFY ADA COMPLIANCE.
- J. BOTH DRIVES OFF OF 12TH ST. AND CANDELARIA RD. WILL ACCOMMODATE FOR BIDIRECTIONAL MOVEMENTS.

KEYED NOTES

1. EXISTING CURB & GUTTER TO REMAIN.
2. EXISTING SIDEWALK TO REMAIN.
3. EXISTING ASPHALT TO REMAIN.
4. PCC SIDEWALK, PER COA DETAIL #2430, MATCH EXISTING COLOR.
5. ADA PARKING AND SIGNAGE, PER DETAIL THIS SHEET.
6. BICYCLE RACK, PER DETAIL THIS SHEET.
7. CONCRETE WHEEL STOP, PER DETAIL THIS SHEET.
8. EXISTING REFUSE ENCLOSURE TO REMAIN
9. EXISTING SITE MOUNTAIN SIGNAGE:
10. SIGNAGE: MOTORCYCLE PARKING, PER DETAIL THIS SHEET.
11. EXISTING POWERPOLE
12. EXISTING WATER METER TO REMAIN
13. EXISTING BUILDING TO REMAIN
14. EXISTING LIGHT POLE TO REMAIN
15. ELECTRIC METER TO REMAIN
16. GAS METER TO REMAIN
17. 4" WIDE WHITE PARKING SPACE STRIPING
18. CROSS WALK STRIPING, 8" SOLID WHITE
19. 8" STANDARD CURB AND GUTTER PER COA DETAIL #2415A ONLY IN PUBLIC ROW
20. NOT USED
21. PROPOSED 6" MEDIAN CURB & GUTTER PER COA DETAIL #2415A.
22. EXISTING ADA COMPLIANT RAMP TO REMAIN
23. MINI CLEAR SIGHT TRIANGLE
24. TRANSITION FROM STD CURB HEIGHT TO FLUSH CURB OVER 5'
25. SOLID WASTE AND FIRE ACCESS PATH (SHOWN FOR REFERENCE)

LEGEND



ACCESSIBILITY SYMBOL

SCALE: N.T.S.

ADA PARKING DETAIL

SCALE: N.T.S.

BICYCLE RACK

SCALE: N.T.S.

SEVEN CLOVER DISPENSARY

DESIGN DEVELOPMENT

ISSUE: 28441
PROJECT NUMBER: IA --
FILE: 2876 TCL-100.dwg
DRAWN BY: BGK
CHECKED BY: --
DATE: 4/24/2024

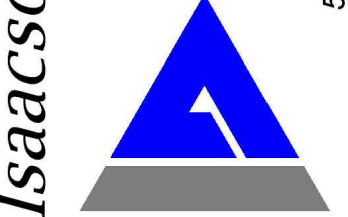
SHEET TITLE

CIVIL SITE PLAN

SHEET NUMBER

CS-101

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Civil Engineering Consultants
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Albuquerque, NM 87108
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ALBUQUERQUE, 87122