

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

December 21, 2023

Donald Dudley, RA
Penny Design, LLC
302 Sandia Rd NW
Albuquerque, NM 87107

**Re: Seven Clover
3641 12th St NW
Site Plan
Architect's Stamp 12-20-23 (G14D062)**

Dear Mr. Dudley,

The TCL submittal received 12-21-2023 is approved for Building Permit by Transportation. A copy of the stamped and signed plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation.

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

When the site construction is completed and an inspection for Certificate of Occupancy (C.O.) is requested, use the original City stamped approved TCL for certification. Redline any minor changes and adjustments that were made in the field. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification, the TCL, and a completed Drainage and Transportation Information Sheet to the PLNDRS@cabq.gov for log in and evaluation by Transportation.

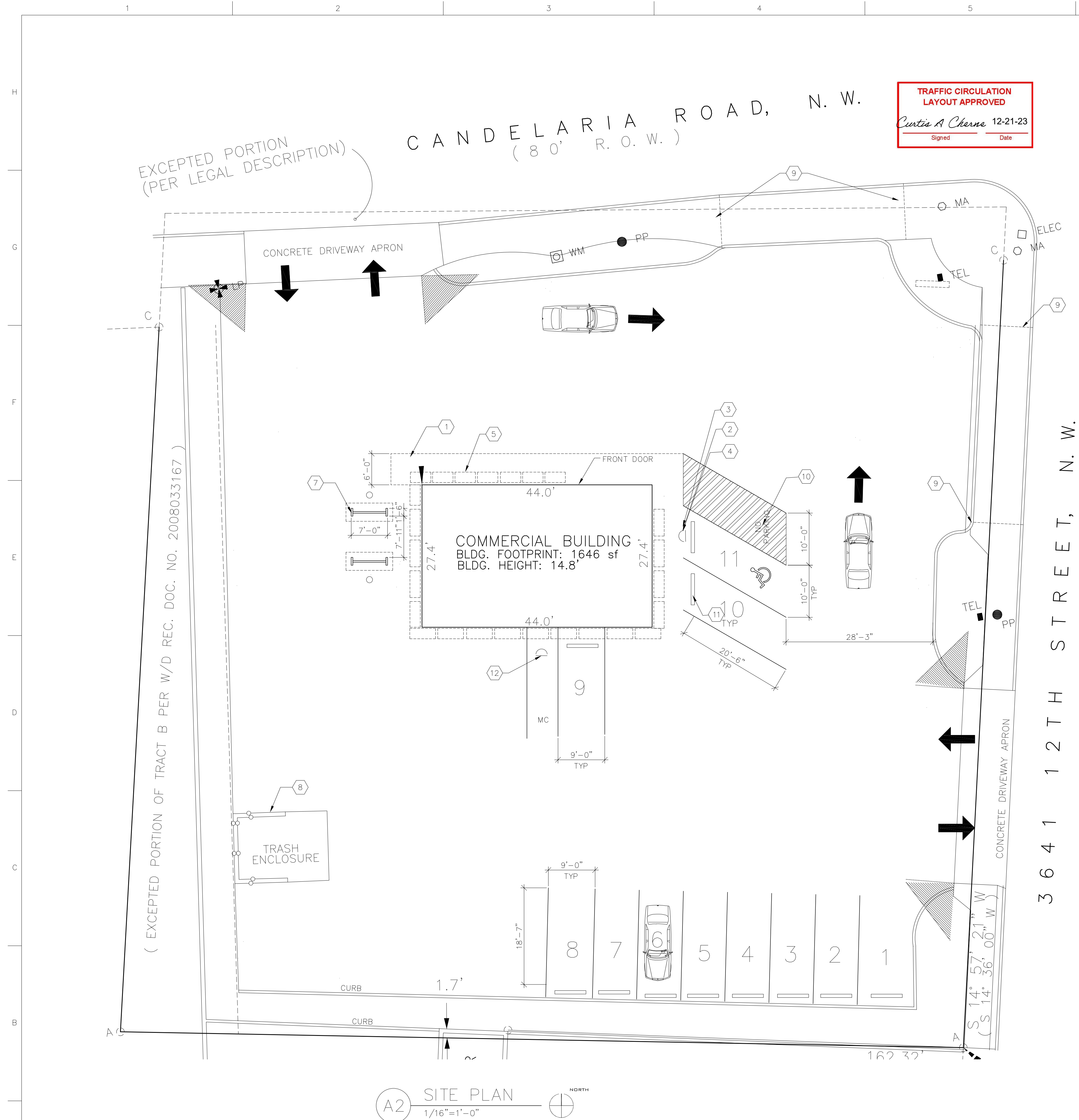
Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3690.

Sincerely,

Curtis A Cherne

Curtis Cherne, P.E.
Senior Engineer, Planning Dept.
Development Review Services

C: File



TRAFFIC CIRCULATION
LAYOUT APPROVED

Curtis A Cherne 12-21-23

Signed Date

NOTE 1: EXISTING LANDSCAPE AND SIGNAGE TO REMAIN. ALL NEW LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.

NOTE 2: N/A

NOTE 3: SIGNAGE FOR ADA PARKING MUST BE IN ALL CAPS - "VIOLATORS ARE SUBJECT TO A FINE AND/OR TOWING"

NOTE 4: OWNER PROVIDED. BIKE RACK SHALL BE MINIMUM 30" TALL AND 18" WIDE. RACK SHALL BE SUPPORTED 2 OR MORE PLACES.

COMB/TOASTER RACKS NOT ALLOWED. RACK DESIGNED TO SUPPORT BIKE IN UPRIGHT POSITION. RACK MUST ALLOW VARYING BIKE FRAMES/STYLES. USER NOT REQUIRED TO LIFT BIKE ONTO RACK. EACH BIKE PARKING SPACE ACCESSIBLE W/OUT MOVING ANOTHER BIKE.

NOTE 5: BIKE RACK STURDY/ANCHORED TO CONCRETE PAD W/1'-0" CLEAR ZONE.



E6 ADA SIGN
1/16"=1'-0"

PARKING REQUIREMENTS: § Table 5-5-2

CANNABIS RETAIL: 4 SPACES PER 1,000 SF
REQUIRED: 1.6 X 4 EQUALS 6.4 = 6
PROVIDED: 11

§ Table 5-5-4

MOTORCYCLE: 1-25 = 1 SPACE REQ 1 PROVIDED
BICYCLE: 3 SPACES OR 10% OF REQ. OFF-STREET
SPACES, WHICHEVER IS GREATER = 3 REQ 3 PROVIDED



B6 BIKE RACK
NTS

GENERAL SHEET NOTES

- DO NOT SCALE DRAWINGS.
- ALL RESTROOM DOORS SHALL BE EQUIPPED WITH SELF CLOSING MECHANISMS

SHEET KEYNOTES

1. EXISTING 6' PED CONCRETE PATH TO REMAIN.
2. POSTED SIGN - VIOLATOR'S SUBJECT TO A FINE AND OR TOWING
3. POSTED SIGN - SEE NOTE 2 & 3. SEE DETAIL E6/AS101
4. NOT USED
5. 2' X 5'-2" - GABION - TYP - OWNER CHOOSE
6. POSTED FREE STANDING MOTORCYCLE PARKING SIGN
7. BIKE RACKS TO BE OWNER PROVIDED. SEE B6/AS101
8. CURRENT WASTE ENCLOSURE TO REMAIN
9. Remove existing drive entrance. Replace with curb and gutter per COA STD Dwg 2415A and construct sidewalk per COA STD DWG 2430, matching adjacent sidewalk width and color.
10. "NO PARKING" EACH OF WHICH SHALL BE AT LEAST ONE FOOT HIGH AND AT LEAST TWO INCHES WIDE, PLACED AT THE REAR OF THE PARKING SPACE SO AS TO BE CLOSE TO WHERE AN ADJACENT VEHICLES REAR TIRE WOULD BE PLACED.
11. PARKING BUMPER
12. MOTORCYCLE SIGN = SIGN IS MINIMUM 18"x12", NO LESS THAN 4' ABOVE GRADE.

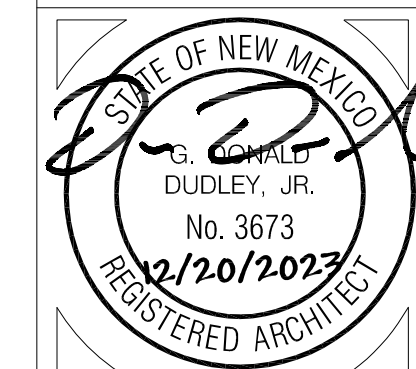
LEGEND

A	10/22/2023	PLAN REVIEW COMMENTS
MARK DATE:		DESCRIPTION

DATE:12/20/2023
DRAWN BY:pd
CHECKED BY:gdd
SET NO:
SHEET TITLE:

AS101

P e n n y D e s i g n , L L C
302 SANDIARD NW
ALBUQUERQUE, NEW MEXICO 87107
505 . 280 . 5439



SEVEN CLOVER
3641 12th Street NW
Albuquerque, New Mexico 87107



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

BP-2023-34342

Project Title: Seven Clover Building Permit # Hydrology File # N/A

DRB# N/A EPC# N/A

Legal Description: MRGCD MAP 34 TRACT 70B2B CONT 0.58 AC City Address OR Parcel 3641 12TH ST NW

Applicant/Agent: Penny Design, LLC Contact: Penny Dudley

Address: 302 Sandia Rd NW Phone: 505.280.5439

Email: penny@pennydesign.net

Applicant/Owner: GTE Family Trust Contact: Rob O'Niell

Address: 10801 Lagrima de Oro Rd NE Apt 868 Phone: 505.463.6617

Email: rob@oniells.com

TYPE OF DEVELOPMENT: PLAT (#of lots) RESIDENCE DRB SITE ADMIN SITE: X **TCL**
RE-SUBMITTAL: YES X NO

DEPARTMENT: X TRANSPORTATION HYDROLOGY/DRAINAGE

Check all that apply:

TYPE OF SUBMITTAL:

- ENGINEER/ARCHITECT CERTIFICATION
- PAD CERTIFICATION
- CONCEPTUAL G&D PLAN
- GRADING PLAN
- DRAINAGE REPORT
- DRAINAGE MASTER PLAN
- FLOOD PLAN DEVELOPMENT PERMIT APP.
- ELEVATION CERTIFICATE
- CLOMR/LOMR
- X TRAFFIC CIRCULATION LAYOUT (TCL)
- ADMINISTRATIVE
- TRAFFIC CIRCULATION LAYOUT FOR DRB APPROVAL
- TRAFFIC IMPACT STUDY (TIS)
- STREET LIGHT LAYOUT
- OTHER (SPECIFY)
- PRE-DESIGN MEETING?

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- X BUILDING PERMIT APPROVAL
- CERTIFICATE OF OCCUPANCY
- CONCEPTUAL TCL DRB APPROVAL
- PRELIMINARY PLAT APPROVAL
- SITE PLAN FOR SUB'D APPROVAL
- SITE PLAN FOR BLDG PERMIT APPROVAL
- FINAL PLAT APPROVAL
- SIA/RELEASE OF FINANCIAL GUARANTEE
- FOUNDATION PERMIT APPROVAL
- GRADING PERMIT APPROVAL
- SO-19 APPROVAL
- PAVING PERMIT APPROVAL
- GRADING PAD CERTIFICATION
- WORK ORDER APPROVAL
- CLOMR/LOMR
- FLOOD PLAN DEVELOPMENT PERMIT
- OTHER (SPECIFY)

DATE SUBMITTED: 11/2/2023